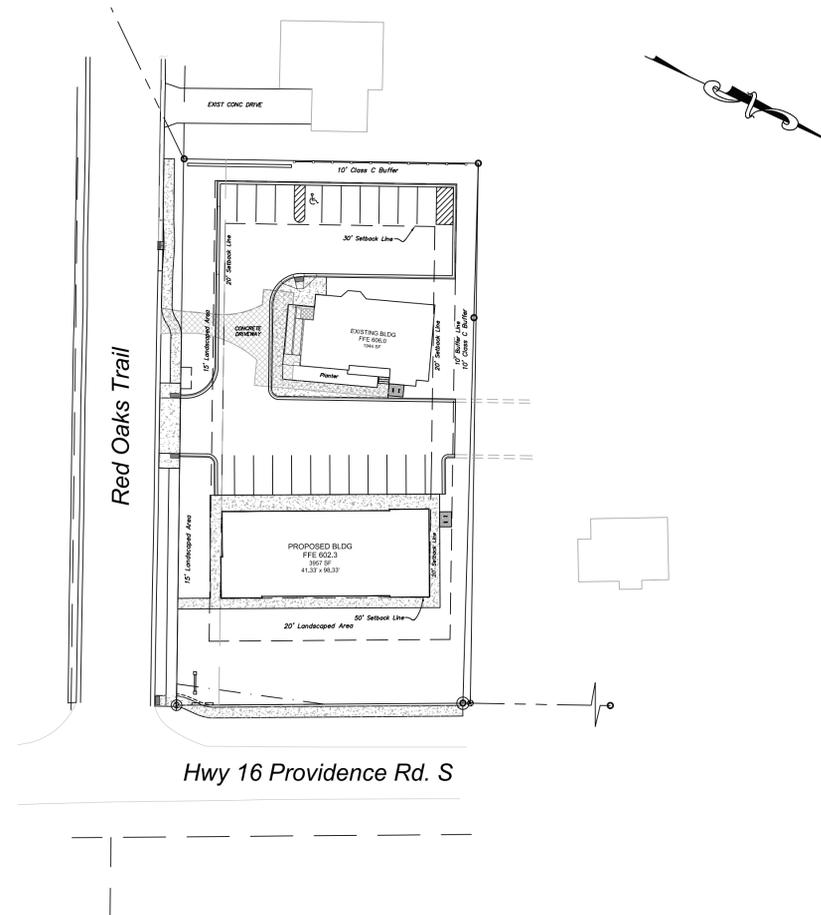


VICINITY MAP  
NOT TO SCALE

# 3808 Providence Road South Waxhaw, NC Union County Commercial Site Construction Plans Case No. NRPR-009961-2020

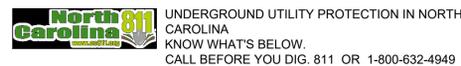


REFERENCE PLAN  
SCALE: 1" = 40'

### List of Drawings

Cover Sheet .....	C-0
Survey .....	
Layout Plan .....	C-1
Grading & Erosion Control.....	C-2
Utility Plan .....	C-3
Landscape Plan .....	C-4
Post-Dev Drainage Map.....	C-5
Site Details .....	C-6
Site Details .....	C-7
Site Details .....	C-8
Water & Sewer Details .....	C-9
NCDEMLR Form 8082019.....	C-10

Address: 3808 Providence Road South, Waxhaw, Union County NC  
 Owner/Developer: Michael Anspach  
 Parcel ID: 06138001  
 Project Area: 0.813 Ac.  
 Proposed: Proposed single-story building (3,900 sf)



3rd SUBMITTAL  
June 21, 2020

No.	Date	By	Comments
1	05/11/20	RM	REVISED PER TOWN COMMENTS
2	06/21/20	RM	REVISED PER TOWN COMMENTS

Engineer  
**Richard L. Modlin, PE**  
 7215 Terrace Drive  
 Charlotte, NC 28211  
 980.322.4191  
 richardmodlin@att.net

Owner/Developer  
**3808 Providence, LLC**  
 1306 Waynewood Drive  
 Waxhaw, NC 28173  
 Michael Anspach 631.335.3452  
 michael@dountopartners.com

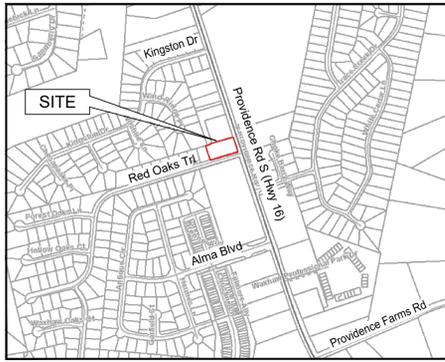
Project Name  
**3808 Providence Road South**  
 Waxhaw, NC 28173  
 Sheet Title  
**Construction Site Plans**  
**COVER SHEET**

Project No.  
190404  
 Scale  
NONE  
 Drawn by  
R. MODLIN  
 Date  
Feb 12, 2020



Sheet No.  
**C-0**





VICINITY MAP  
NOT TO SCALE

**SITE INFORMATION**

CASE NUMBER: NRPR-009961-2020  
 PROPERTY OWNER: MICHAEL ANSPACH  
 DEVELOPER: MICHAEL ANSPACH  
 SUBJECT PROPERTY: PARCEL 06138001  
 CURRENT ZONING: C1  
 PROPOSED ZONING: C1  
 TOTAL SITE AREA: 0.813 AC

EXISTING LAND USE: SINGLE FAMILY HOME  
 PROPOSED LAND USE: EXISTING BUILDING - PERSONAL CARE SERVICES  
 PROPOSED BUILDING - MEDICAL OFFICE

PROP DEVELOPMENT: RENOVATED APPROXIMATELY 2,000 SF BUILDING  
 CONSTRUCTION OF 41,333 x 98.33' BUILDING FOR MEDICAL OFFICES

INDIVIDUAL WATER SERVICES TO EACH BUILDING LOT WILL BE PROVIDED.  
 PROPOSED DRIVEWAY ENTRANCE WILL SERVE BOTH BUILDINGS.

**SETBACKS**

FRONT (PROVIDENCE RD) 50 FT  
 REAR (R4) 30 FT  
 SIDE (R3) 20 FT  
 SIDE (RED OAKS TRAIL) 20 FT

**BUFFERS**

REAR (ZONED R4) 10 FT  
 SIDE (ZONED R3) 10 FT

**REQUIRED LANDSCAPED AREAS**

PROVIDENCE RD 20 FT  
 RED OAKS TRAIL 15 FT

EXISTING BUILDING  
 GROSS FLOOR AREA 1,944 SF

**PROPOSED BUILDING**

NUMBER: 1  
 DIMENSIONS 41.33' x 98.33'  
 MAXIMUM HEIGHT 45'-0"  
 GROSS FLOOR AREA 3,957 SF  
 Proposed Building shall comply with UDO Section 20 Architectural Standards.

**PARKING BREAKDOWN**

PARKING REQUIREMENTS BASED ON:

EXISTING BUILDING - PERSONAL CARE SERVICES (SALON)  
 2 SP PER TREATMENT STATION = 2 x 5 = 10 SPACES  
 BUT NOT LESS THAN 4.3 SP / 1000 GFA = 1944 / 1000 x 4.3 = 9

PROPOSED BUILDING - MEDICAL OFFICE  
 4.5 SP PER 1,000 SF GFA = 3,957 / 1000 x 4.5 = 18 SPACES  
 TOTAL PARKING SPACES REQUIRED = 28 SPACES  
 REQUEST FOR 20% REDUCTION PER SECTION 12.4  
 NET ADJUSTED TOTAL PARKING SPACES REQUIRED: 22 SPACES  
 NET TOTAL PARKING SPACES PROVIDED: 23 SPACES  
 HANDICAP PARKING SPACES REQUIRED: 1 SPACE  
 HANDICAP PARKING SPACES PROVIDED: 1 SPACE

ZONING ADMINISTRATOR HAS APPROVED 20% REDUCTION IN THE PARKING MINIMUM PER UDO SECTION 12.4

ZONING ADMINISTRATOR HAS WAIVED: UDO SECTION 12.8 LOADING SPACE REQUIREMENTS.  
 UDO SECTION 12.4.2 LANDSCAPED ISLANDS EVERY 10 SPACES.  
 UDO SECTION 12.4.5 PARKING AREA SEPARATION FROM BUILDING.  
 UDO SECTION 20.2.2.A.1.a MINIMUM PITCH OF SLOPED ROOF SHALL BE 8:12.

**BICYCLE RACKS**

ONE PER BLDG PER SECTION 12.3.H.b = 2 TOTAL

**STORMWATER MANAGEMENT**

STORM WATER WILL BE DIRECTED OVER PERVIOUS AND PAVED SURFACES AND DIRECTED TO EXISTING COLLECTION SYSTEM FOR RED OAKS TRAIL.

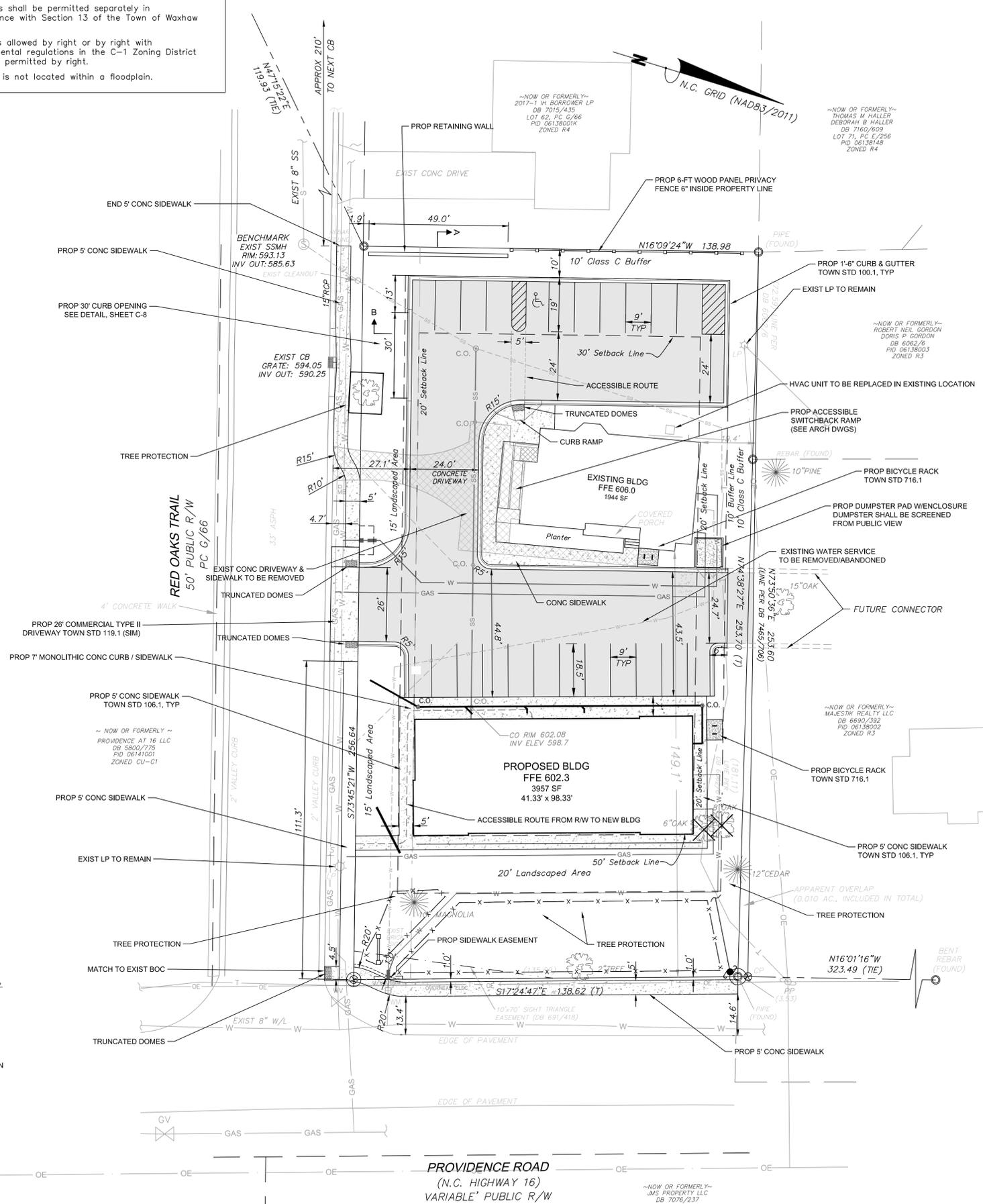
THE GENERAL DIRECTION OF RUNOFF FROM THE POST-DEVELOPED SITE IS MAINTAINED FROM THAT OF THE PRE-DEVELOPED CONDITIONS.

DESIGN SHALL MEET THE STORM DRAINAGE DESIGN REQUIREMENTS OF THE TOWN OF WAXHAW.

**IMPERVIOUS AREA**

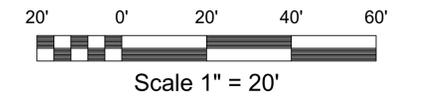
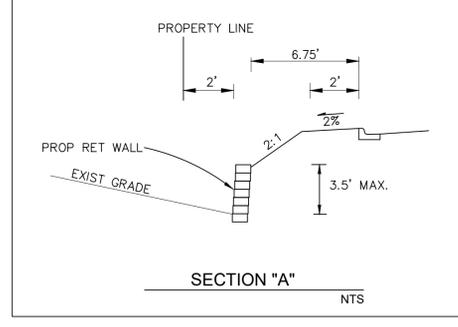
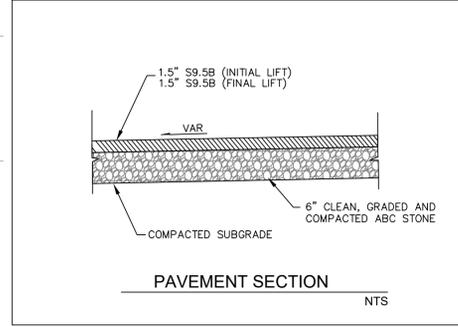
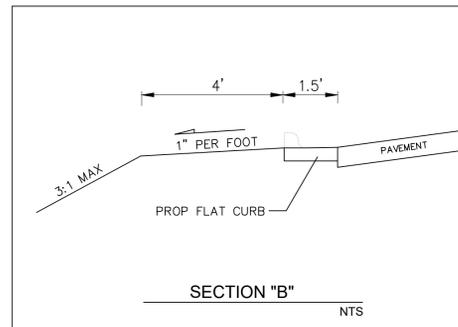
IMPERVIOUS AREA FOR DEVELOPED SITE: 21,327 SF (REFER TO IMPERVIOUS AREA SUMMARY, SHEET C-5)  
 ZONING ADMINISTRATOR HAS WAIVED UDO SECTION 12.12.2 LIGHTING PLAN REQUIREMENT.

- All signs shall be permitted separately in accordance with Section 13 of the Town of Waxhaw U.D.O.
- All uses allowed by right or by right with supplemental regulations in the C-1 Zoning District shall be permitted by right.
- Project is not located within a floodplain.



**LEGEND**

PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
EXISTING CONTOUR	---600---
PROPOSED CONTOUR	---604---
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN	---
EXISTING CURB	---
PROPOSED CURB & GUTTER	---
PROPOSED SIDEWALK	---
PROPOSED RETAINING WALL	---
EXISTING TREE	○
PROPOSED TREE	○
EXISTING LIGHT	○
EXISTING DRAINAGE STRUCTURE	□
PROPOSED DRAINAGE STRUCTURE	□
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
CLEANOUT	○
OVERHEAD ELECTRIC	---
WATER LINE	---
LIGHT POLE	○
POWER POLE	○
GAS LINE	---
VALVE	○
CONCRETE REMOVAL	---



No.	Date	By	Comments
1	05/11/20	RM	REVISED PER TOWN COMMENTS
2	06/21/20	RM	REVISED PER TOWN COMMENTS

Engineer  
**Richard L. Modlin, PE**  
 7215 Terrace Drive  
 Charlotte, NC 28211  
 980.322.4191  
 richardmodlin@att.net

Owner/Developer  
**3808 Providence, LLC**  
 1306 Waywood Drive  
 Waxhaw, NC 28173  
 Michael Anspach 631.335.3452  
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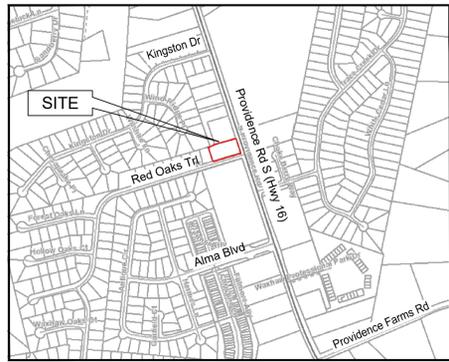
Project Name  
**3808 Providence Road South**  
 Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
**LAYOUT PLAN**

Project No. 190404  
 Scale 1" = 20"  
 Drawn by R MODLIN  
 Date Feb 12, 2020



Sheet No.  
**C-1**



VICINITY MAP  
NOT TO SCALE

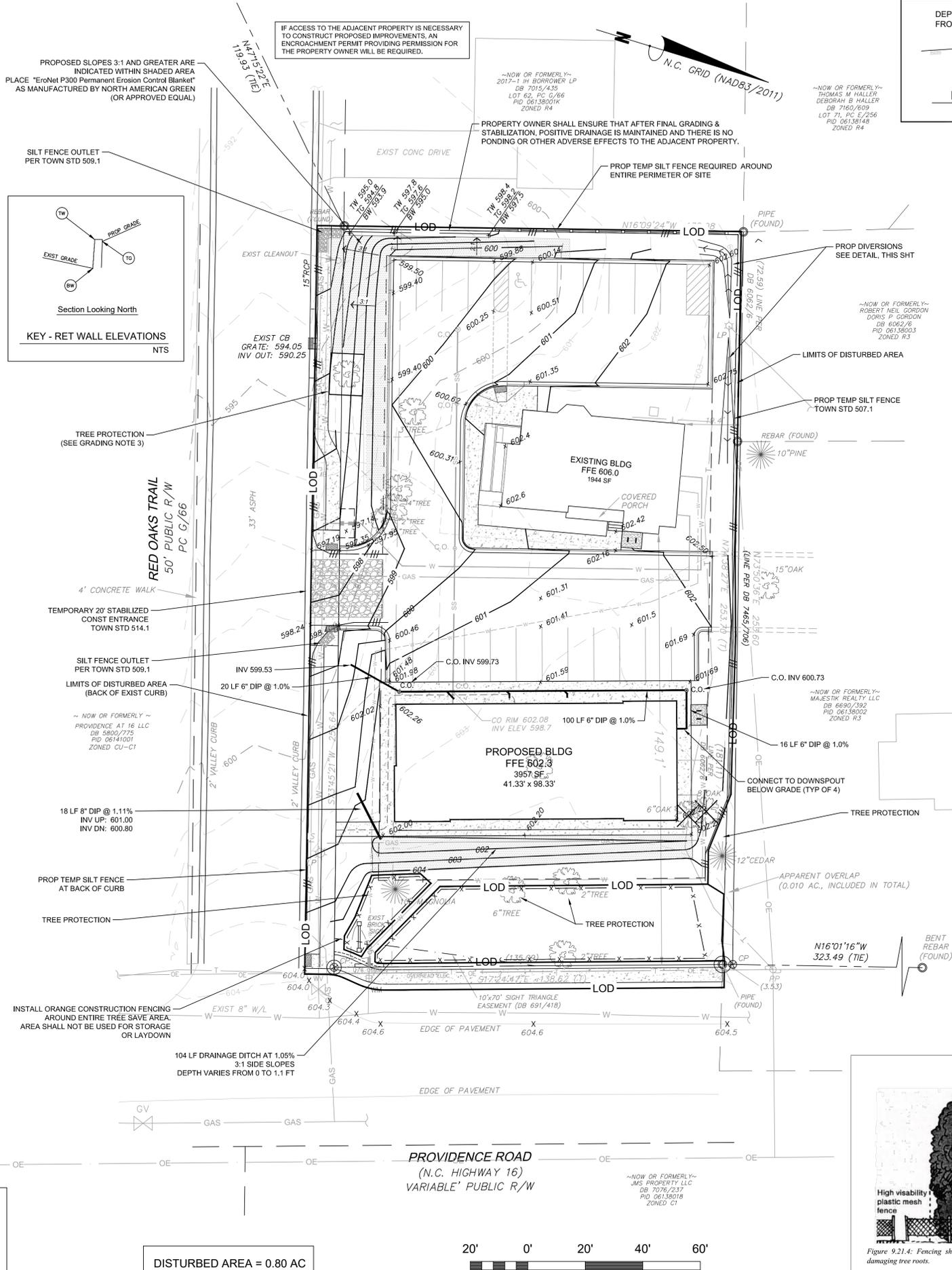
**EROSION CONTROL NOTES:**

- Ground cover on exposed slopes shall be applied within 14 calendar days following completion of any phase of grading. Slopes shall be graded no steeper than 2:1. Slopes left exposed shall, (within 14 calendar days of completion of any phase of grading) be planted or otherwise provided with temporary or permanent ground cover, devices or structures sufficient to restrain erosion.
- Any grading beyond the denuded limits shown on the plan is a violation of the Town's Erosion control Ordinance and is subject to a fine. No land disturbing activity, except that which is required to install erosion control measures, may commence prior to approval by the Director of Development Services.
- Additional erosion control measures may be required based upon specific site conditions.
- Contact the Town of Waxhaw Development Services Department, at 704-843-2195, for a pre-construction meeting prior to any land disturbing activity.
- DEMLR Monitoring Form 08012013, or equivalent, is to be used for recording all erosion control inspection results. A copy of Form 08012013 is provided on Sheet C-10.
- Copies of all required erosion control inspections shall be kept on-site and available to sedimentation and erosion control inspector at all times.
- Remove all temporary erosion control devices and structures only after site is fully stabilized and approval has been obtained from the Town of Waxhaw Development Services Department.
- All erosion control measures shall be in accordance with the Town of Waxhaw Engineering, Standards and Procedures Manual and the NCDPQ Erosion and Sedimentation Control Planning and Design Manual, latest edition.
- Contractor shall keep streets clear of mud and other debris.
- The Town of Waxhaw is not responsible for the accuracy and adequacy of the design, dimensions and elevations, which shall be confirmed and correlated at the job site. The Town of Waxhaw, through the approval of this document, assumes no responsibility for the completeness and/or accuracy of this document.
- Silt sacks shall be placed in catch basins/inlets along roadways prior to commencing grading. Silt sacks shall be placed in all proposed catch basins/curb inlets at time of installation.

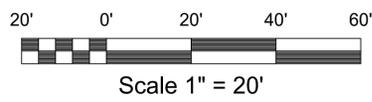
**CONSTRUCTION SEQUENCE:**

- Obtain Grading/Erosion Control plan approval from the Town of Waxhaw Engineering Department.
- Set up an on-site pre-construction conference with Erosion Control Inspector of the Town Engineering Department prior to commencing installation of erosion control measures. Failure to schedule such conference 48 hours prior to any land disturbing activity is a violation of Chapter 17 of the Town Code and is subject to fine.
- Install silt fence, inlet protection, sediment traps, diversion ditches, tree protection, and other measures as shown on plans, clearing only as necessary to install these devices.
- Call for on-site inspection by Inspector. When approved, Inspector issues the Grading Permit and clearing and grubbing may begin. No work can commence, except for installation of erosion controls, prior to passing the sedimentation and erosion control inspection.
- The contractor shall diligently and continuously maintain all erosion control devices and structures. Erosion control measures are required to be inspected once a week and within 24 hours after any 0.5-inch or greater rain event.
- For phased erosion control plans, contractor shall meet with Erosion Control Inspector prior to commencing with each phase of erosion control measures.
- Stabilize site as areas are brought to finished grade.
- Coordinate with Erosion Control Inspector prior to removal of erosion control measures.
- All erosion control measures shall be constructed in accordance with the N. C. Erosion and Sediment Control Planning and Design Manual, U. S. Dept. of Agriculture and the Town of Waxhaw Erosion Control Ordinance.

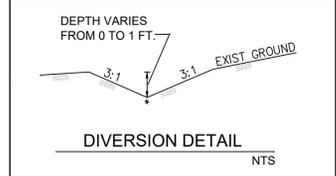
Ground cover on exposed slopes shall be applied within 14 working days following completion of any phase of grading. Permanent ground cover for all disturbed areas shall be applied within 15 working days or 60 calendar days, whichever is sooner. Slopes left exposed will, within 14 calendar days of completion of any phase of grading, be planted or otherwise provided with temporary or permanent ground cover, devices, or structures sufficient to restrain erosion.



DISTURBED AREA = 0.80 AC



Scale 1" = 20'



**LEGEND**

PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN	---
EXISTING CURB	---
PROPOSED CURB & GUTTER	---
PROPOSED SIDEWALK	---
PROPOSED RETAINING WALL	---
EXISTING TREE	○
PROPOSED TREE	○
EXISTING LIGHT	○
EXISTING DRAINAGE STRUCTURE	□
PROPOSED DRAINAGE STRUCTURE	□
CONCRETE REMOVAL	□
PROPOSED SILT FENCE	---
PROPOSED SILT FENCE OUTLET	---
LIMITS OF DISTURBED AREA	---
PROPOSED SAFETY FENCE	---
PROPOSED SLOPES 3:1 OR GREATER	---

**PERMANENT SEEDING SCHEDULE**

SEEDING MIXTURE	GENTLE SLOPES	STEEP SLOPES
	80 lbs./acre of tall fescue	100 lbs./acre tall fescue 30 lbs./acre Sericea lespedeza (unscarified after August 15) 10 lbs./acre Kobe lespedeza
SEEDING DATES	Fall: August 25 - October Late Winter: Feb 15 - April 15 To extend spring seeding into June, add 15 lbs./acre hulled Bermudagrass. Overseeding of Kobe lespedeza over full-seeded tall fescue is very effective.	
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests or 4,000 lbs./acre limestone and 1,000 lbs./acre 10-10-10 fertilizer.	

**NOTES:**

- Ground cover: Protective cover must be established on all disturbed areas within 14 calendar days after land disturbing activity is completed or has temporarily ceased.
- Graded slopes and fills: Protective cover must be established on all graded slopes and fills within 14 calendar days after a phase of grading is completed or has temporarily ceased.
- For temporary seeding, use Town of Waxhaw Std. 521.1, Sheet C-7.

**GRADING NOTES:**

- SOIL TYPE IS TATUM GRAVELLY SILTY CLAY LOAM, 8 TO 15 PERCENT ERODED (TbC2), HYDROLOGIC SOIL GROUP B.
- FILL MATERIAL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS.
- HIGH-VISIBILITY PLASTIC MESH FENCING SHALL BE PLACED TO PREVENT TRUCKS AND EQUIPMENT FROM DAMAGING TREE ROOTS. SEE FIG 9.21.4 THIS SHEET.
- CRITICAL ROOT PROTECTION ZONE FOR TREES SHALL BE A RADIUS SHALL BE EQUAL TO THE GREATER OF THE FOLLOWING: 6 FT, THE OUTER LIMITS OF THE DRIPLINE, 1.5 FT PER 1 INCH OF TREE DIAMETER (DBH). SEE FIGURE 9.21.1 THIS SHEET.
- ALL FILL WITHIN LIMITS OF PROPOSED BUILDING AND AND PAVEMENT AREAS SHALL BE COMPACTED TO 100% STD. PROCTOR. FILL IN GRASSED AREAS SHALL BE COMPACTED TO MINIMUM 90% PROCTOR.
- PLACE "EroNet P300 Permanent Erosion Control Blanket" AS MANUFACTURED BY NORTH AMERICAN GREEN (OR APPROVED EQUAL) ON ALL SLOPES 3:1 AND STEEPER.
- THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 3710447300J, WITH A DATE OF IDENTIFICATION OF 10/16/2008.
- TOTAL IMPERVIOUS AREA FOR DEVELOPED SITE: 21,557 SF (REFER TO IMPERVIOUS AREA SUMMARY, SHEET C-5)

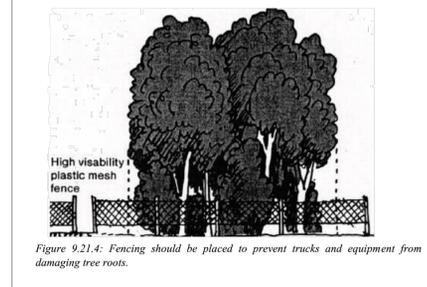


Figure 9.21.4: Fencing should be placed to prevent trucks and equipment from damaging tree roots.

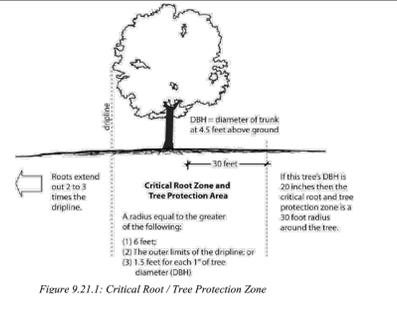


Figure 9.21.1: Critical Root / Tree Protection Area

No.	Date	By	Comments
1	05/11/20	RM	REVISED PER TOWN COMMENTS
2	06/21/20	RM	REVISED PER TOWN COMMENTS
3	07/08/20	RM	REVISED NOTE PROPERTY OWNER

Engineer  
**Richard L. Modlin, PE**  
7215 Terrace Drive  
Charlotte, NC 28211  
980.322.4191  
richardmodlin@att.net

Owner/Developer  
**3808 Providence Road South**  
1306 Waynewood Drive  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
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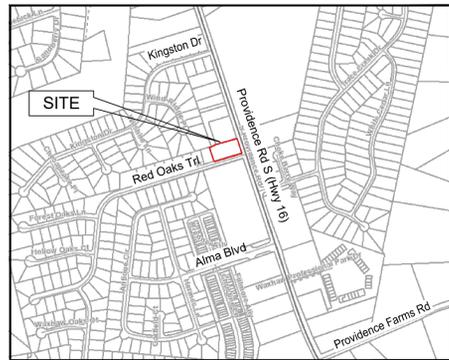
Project Name  
**3808 Providence Road South**  
Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
GRADING & EROSION CONTROL

Project No. 190404  
Scale 1" = 20'  
Drawn by R MODLIN  
Date Feb 12, 2020



Sheet No.



**VICINITY MAP**  
NOT TO SCALE

**UTILITY SERVICE CONNECTION NOTES:**

1. PROPOSED BUILDING SEWER LATERALS TO BE 4" SCHEDULE 40 PVC AND SHALL HAVE A MINIMUM 3 FEET OF COVER. PVC FITTINGS SHALL CONFORM TO ASTM D2466.
2. DOMESTIC WATER SERVICE FOR EXISTING BUILDING TO BE PROVIDED BY 3/4-INCH TAP OFF EXISTING WATER MAIN ALONG RED OAKS TRAIL. DOMESTIC SERVICE FOR PROPOSED BUILDING TO BE PROVIDED BY EXISTING 3/4-INCH TAP AT PROVIDENCE RD. EACH BUILDING WILL HAVE ITS OWN DOMESTIC METER AND BACKFLOW PREVENTER.
3. PROPOSED WATER SERVICES TO BE INSTALLED AT LEAST 3' BELOW FINISHED GRADE.
4. WATER LINE CONNECTIONS AND BACKFLOW PREVENTORS SHALL BE IN ACCORDANCE WITH UNION COUNTY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
5. DEVELOPER IS RESPONSIBLE FOR NEW WATER & SEWER TAPS.

**DOMESTIC WATER / WASTEWATER FLOW CALCULATIONS**

MINIMUM DESIGN DAILY FLOW RATE PER 15A NCAC 02T.0114:  
 ONE (1) PROPOSED SALON IN EXISTING BUILDING AT 1,944 SF  
 BEAUTY SHOPS: 125 GAL / DAY / BOOTH = 625 GAL / DAY  
 125 GAL / DAY / BOOTH x 5 BOOTHS = 625 GAL / DAY

ONE (1) PROPOSED OFFICE BUILDING AT 3,900 SF  
 MEDICAL OR DENTAL OFFICES: 250 GAL / PRACTITIONER / SHIFT  
 DAY SHIFT ONLY.  
 ESTIMATE MAXIMUM OF FOUR (4) PRACTITIONERS  
 4 PRACTITIONERS x 250 GAL / DAY / PRACTITIONERS = 1,000 GAL / DAY

ESTIMATED TOTAL DAILY DOMESTIC WATER FLOW = 1,625 GAL / DAY  
 ESTIMATED TOTAL DAILY WASTEWATER FLOW = 1,625 GAL / DAY

**SUMMARY OF ESTIMATED FLOWS:**

DOMESTIC WATER: 1,625 GPD  
 FIRE FLOW: 1,750 GPM FOR 2 HRS @ 20 PSI RES PRESSURE  
 SANITARY SEWER: 2,325 GPD

**FIRE FLOW CALCULATIONS:**

FIRE FLOW DETERMINED FOR SINGLE BUILDING.  
 FIRE FLOW CALCULATION AREA: 3,957 SF  
 INTERNATIONAL BUILDING CODE BLDG TYPE: V-B (UNPROT. UNSPRINKLERED)  
 FROM TABLE B105.1 OF THE 2012 NC FIRE CODE, APPENDIX B  
 "FIRE-FLOW REQUIREMENTS FOR BUILDINGS":  
 FIRE FLOW: 1,750 GPM FOR 2 HOURS @ 20 PSI RESIDUAL PRESSURE

**PROPOSED WATER METER:**

ONE (1) NEW 3/4" DOMESTIC WATER METER

**PROPOSED CONSTRUCTION SCHEDULE:**

CONSTRUCTION ANTICIPATED TO BEGIN JULY 2020 AND WILL INCLUDE:  
 CONSTRUCTION OF NEW BUILDING, RELATED PARKING, STORM DRAINAGE AND  
 INSTALLATION OF WATER AND SEWER SERVICES.  
 ANTICIPATED COMPLETION OF CONSTRUCTION BY SEPTEMBER 2020.

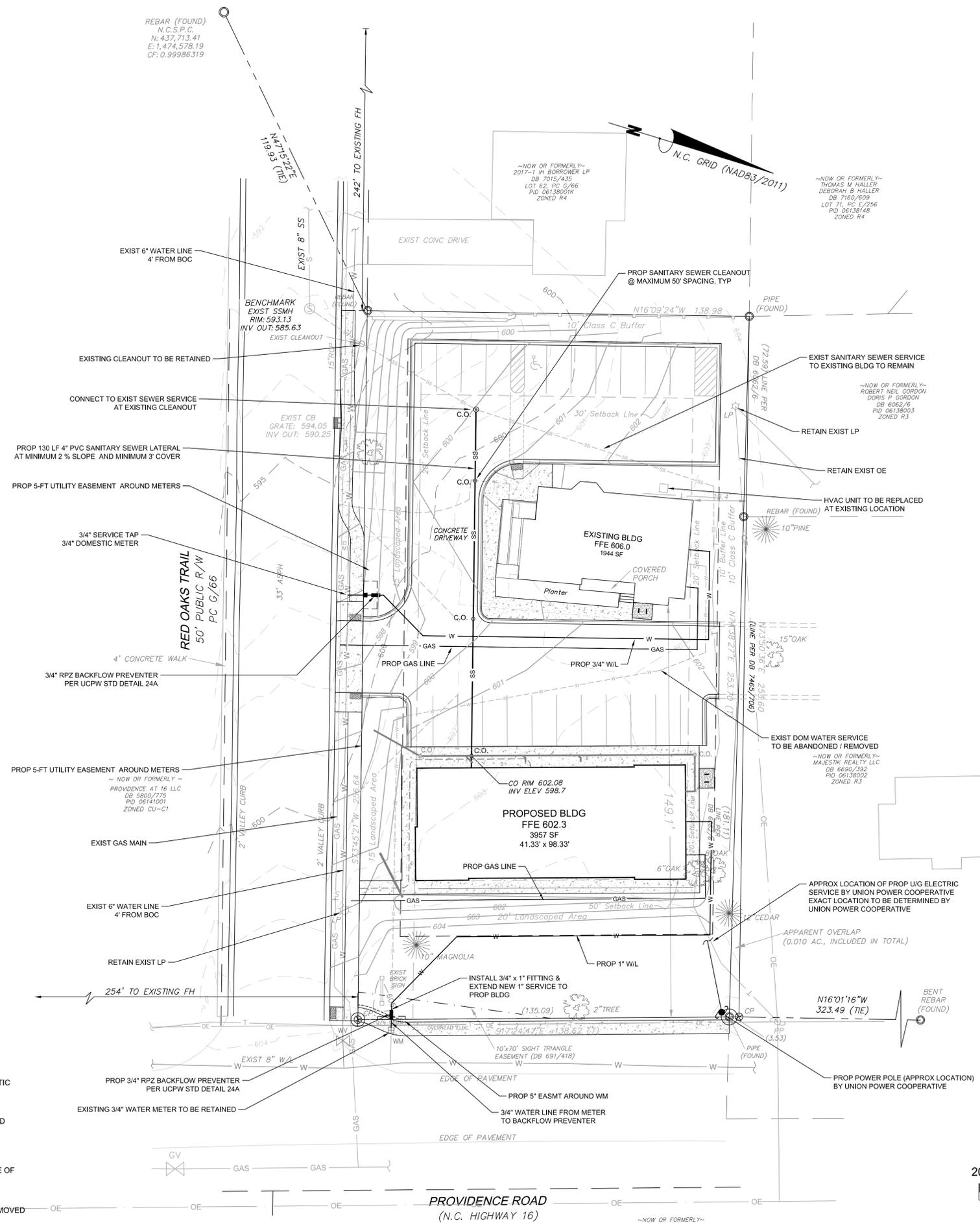
**EXISTING WELLS & WASTEWATER DISPOSAL SYSTEMS**

BASED ON ANECDOTAL EVIDENCE, THE ORIGINAL BUILDING ON THIS SITE WAS ON PRIVATE WELL AND SEPTIC SYSTEM. HOWEVER, NO SPECIFIC DOCUMENTATION WAS FOUND INDICATING THE LOCATION OF EXISTING WELLS OR ON-SITE WASTEWATER DISPOSAL SYSTEMS ON THE SITE.

TO THE EXTENT POSSIBLE, THE CONTRACTOR SHALL LOCATE PREVIOUS WELLS AND SEPTIC SYSTEMS AND SHALL IDENTIFY PREVIOUS AND EXISTING WATER AND SEWER SERVICES ON THE SITE.

IN THE EVENT THAT EXISTING WELLS OR ON-SITE WASTEWATER SYSTEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT TRACI COLLEY (704.283.3717) [tracolley@unioncountync.gov](mailto:tracolley@unioncountync.gov) WITH UNION COUNTY ENVIRONMENTAL HEALTH FOR THE PROPER SEQUENCE OF EVENTS AND OTHER PERTINENT INFORMATION.

EXISTING WELLS WILL NEED TO BE CAPPED & ABANDONED UNDER PERMIT ISSUED BY UNION COUNTY ENVIRONMENTAL HEALTH. EXISTING ON-SITE WASTEWATER DISPOSAL SYSTEMS MUST BE PROPERLY REMOVED IN ACCORDANCE WITH STATE AND UNION COUNTY ENVIRONMENTAL HEALTH REQUIREMENTS.



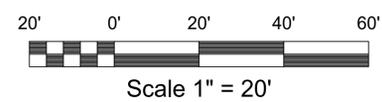
**LEGEND**

PROPERTY LINE	---
EASEMENT LINE	- - - - -
SETBACK LINE	---
EXISTING CONTOUR	--- 600 ---
PROPOSED CONTOUR	--- 604 ---
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN	---
EXISTING CURB	---
PROPOSED CURB & GUTTER	---
PROPOSED SIDEWALK	---
PROPOSED RETAINING WALL	---
EXISTING TREE	⊙
PROPOSED TREE	⊙
EXISTING DRAINAGE STRUCTURE	⊙
PROPOSED DRAINAGE STRUCTURE	⊙
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
CLEANOUT	C.O. ⊙
OVERHEAD ELECTRIC	OE
WATER LINE	W
LIGHT POLE	LP
POWER POLE	PP
GAS LINE	GAS
VALVE	⊙
CONCRETE REMOVAL	⊗

All Utilities shall be screened from public view.

**UTILITY NOTES:**

1. Meters will not be set if water meter boxes, sewer cleanouts, valve boxes or their appurtenances are damaged or improperly positioned.
2. Refer to Union County Specifications, Union County Water and Sewer Extension Policy and to Union County Water and Sewer Extension Ordinance.
3. De-watering: The contractor shall at all times provide and maintain ample means and equipment with which to remove and properly dispose of any and all water entering the excavation or other parts of the work and keep all excavations dry until such time as pipe laying and grading is completed and structures to be built therein are completed. No water shall be allowed to rise around the pipe in unbackfilled trenches nor shall it be allowed to rise over masonry until the concrete or mortar has set (minimum 24 hours). All water pumped or drained from the work shall be disposed of in such a manner as to prevent siltation and erosion to adjacent property or other construction.
4. Verification has been made by Richard L. Modlin that each lot is capable of having gravity sewer service to the center of the lot at the front setback.
5. Engineer verifies design has been based on ground survey.
6. If well and/or septic systems are encountered, then contact Traci Colley (704.283.3717) with Environmental Health for their sequence of events and other pertinent information.
7. Design Engineer shall confirm that water and sewer mains as well as service lines, meter boxes, fire hydrants, water services and laterals will not be in conflict with any proposed utility installations, landscaping and/or driveways. Any conflicts shall be at the Developer's expense to coordinate and resolve and could result in delay of water meters being set.
8. Any changes made to the plans for other disciplines (stormwater, erosion, trees, landscaping, etc.) must be shown and identified by revision # and clouding. Failure to do so will delay the approval of this project.
9. All water and sewer taps, materials and installation to be by the Developer.
10. A Union County Public Works Utility Right-of-Way shall exist on all sanitary sewer laterals, water meters and fire hydrants. The utility right-of-way is located 5 feet all sides from the cleanout, water meter or fire hydrant to the public or private road right-of-way.
11. Only UCPW personnel shall operate active valves which includes the tapping valve.



No.	Date	By	Comments
1	05/11/20	RM	REVISED PER TOWN COMMENTS
2	06/21/20	RM	REVISED PER TOWN COMMENTS

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Owner/Developer  
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 Waxhaw, NC 28173  
 Michael Anspach 631.335.3452  
[michael@dountopartners.com](mailto:michael@dountopartners.com)

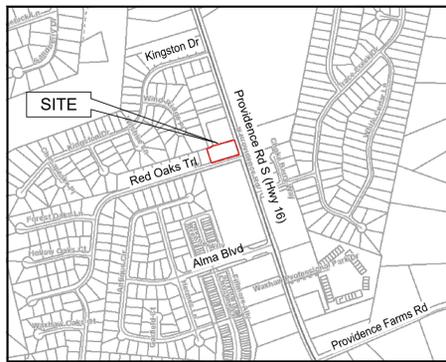
Project Name  
**3808 Providence Road South**  
 Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
**UTILITY PLAN**

Project No. 190404  
 Scale 1" = 20'  
 Drawn by R MODLIN  
 Date Feb 12, 2020



Sheet No.  
**C-3**



VICINITY MAP  
NOT TO SCALE

**X** DENOTES TREE OUTSIDE "BUILDABLE AREA" TO BE REMOVED  
The tree removal and replacement provisions apply to naturally occurring trees located outside the buildable area site. For these purposes, "buildable area" means all areas located outside of:  
Required zoning district setbacks;  
1. Existing and proposed street rights-of-way and easements;  
2. Utility easements.

**Tree Schedule**

Parking Lot Area									
SYMBOL	ID#	KEY	BOTANICAL NAME	COMMON NAME	QTY	SPACING	CALIPER @ PLANTING	HEIGHT @ PLANTING	HEIGHT @ MATURITY
	P-1 - P-9	QS	<i>Quercus shumardii</i> Buckl.	Shumard Oak	9	40'	3"	10'	40-60'
	P-10 - P-12	HT	<i>Helesia carolina</i> "Crushed Velvet"	Carolina Silverbell	3	20'	3"	12'	30'
Buffer Areas									
Rear (West) Buffer									
	B1 - B3	HT	<i>Helesia carolina</i> "Crushed Velvet"	Carolina Silverbell	3	20'	2.5"	12'	30'
Side (North) Buffer									
	B4-B5	JV	<i>Juniperus virginiana</i>	Eastern Redcedar	2	30'	2.5"	8'	40'
Landscaped Areas									
Providence Road S. (20-ft landscape area)									
	L1	QS	<i>Quercus shumardii</i> Buckl.	Shumard Oak	1	40'	3"	10'	40-60'
	L2-L3	HT	<i>Helesia carolina</i> "Crushed Velvet"	Carolina Silverbell	2	25'	3"	12'	30'
Red Oaks Trail (15-ft landscape area)									
	L4	QS	<i>Quercus shumardii</i> Buckl.	Shumard Oak	1	40'	3"	10'	40-60'
	L5-L7	HT	<i>Helesia carolina</i> "Crushed Velvet"	Carolina Silverbell	3	25'	3"	12'	30'
Mitigated Trees									
	M1-M2	QS	<i>Quercus shumardii</i> Buckl.	Shumard Oak	2	40'	3"	10'	40-60'
					<b>TOTAL TREES</b>	<b>26</b>			

**Shrub Schedule**

KEY	BOTANICAL NAME	COMMON NAME	QTY	SPACING	HEIGHT @ PLANTING	HEIGHT @ MATURITY
	<i>Loropetalum chinense</i> "Purple Diamond"	Loropetalum	78	4'	30"	4-5'
	<i>Distylium</i> "Emerald Heights"	Dystylium	105	4'	30"	5-6'
			<b>TOTAL SHRUBS</b>	<b>183</b>		

**BUFFER PLANTINGS**

**Rear (West) Buffer**  
Length: 114' Width: 10' Trees per 100 ft: 2 Trees Required: 3  
Shrubs per 100 ft: 20 Shrubs Required: 30

**Side (North) Buffer**  
Gross Length: 254' - 29' driveway = 225'  
Net Length: 225' Width: 10' Trees per 100 ft: 2 Trees Required: 3\*  
Shrubs per 100 ft: 20 Shrubs Required: 45  
Existing trees to remain: 1 - 12" cedar (included for buffer tree reqmt \*)

**LANDSCAPED AREA PLANTINGS**

**Providence Rd**  
Length: 114' Width: 20' 1 Tree per 40 ft Trees Required: 3  
Shrubs @ 5' OC Shrubs Required: 23

**Red Oaks Trail**  
Gross Length: 256' - driveway and sight triangles = 256' - 66' = 190'  
Net Length: 190' Width: 15' 1 tree per 40 ft Trees Required: 5\*  
Shrubs @ 5' OC Shrubs Required: 38  
Existing trees to remain: 1 - 28" oak (included for landscaped area tree reqmt \*)

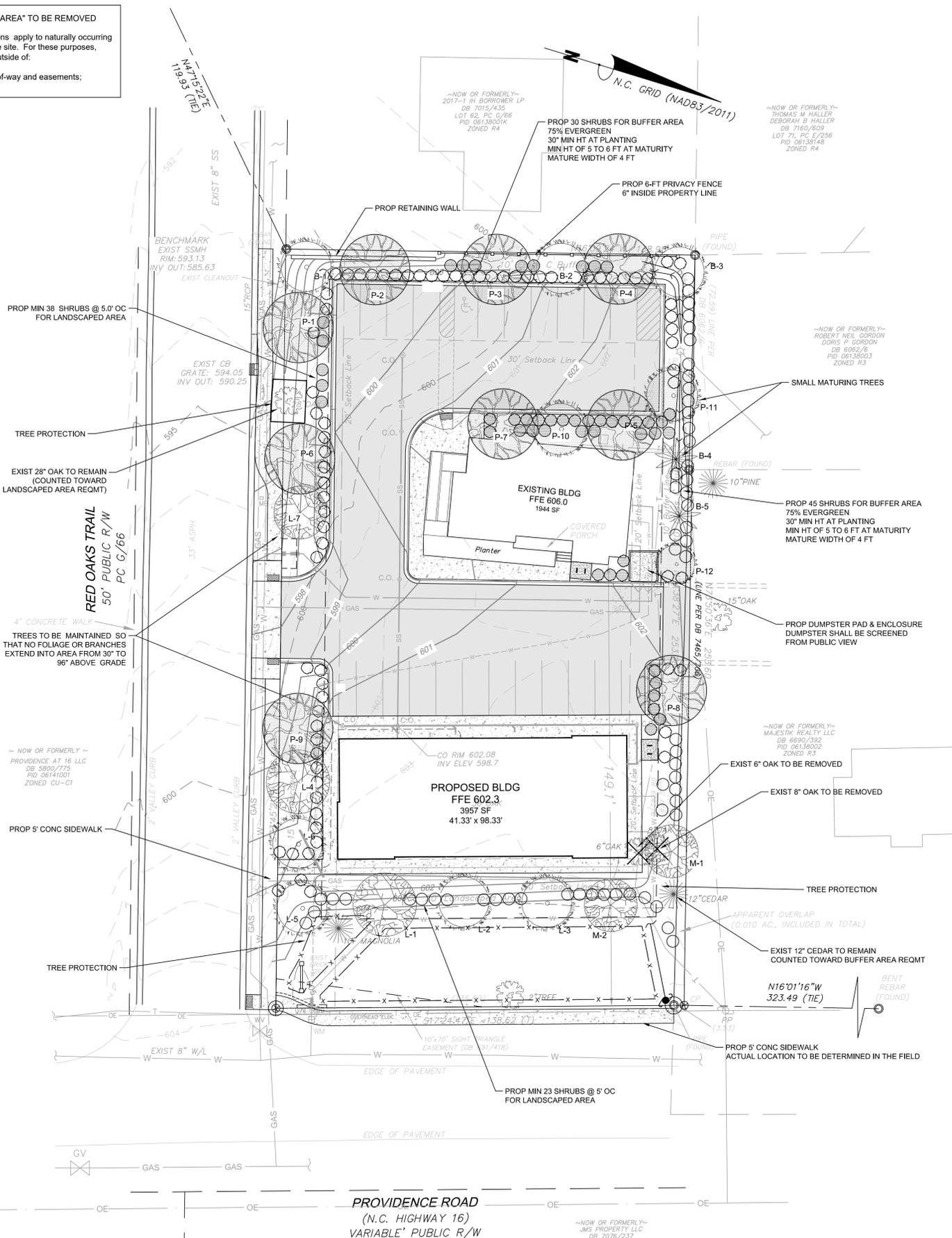
**PARKING LOT LANDSCAPING**

VEHICULAR USE AREA: 11,629 SF  
REQUIRED PLANTING: ONE DECIDUOUS TREE AND 4 SHRUBS PER 1,000 SF OF VEHICULAR USE AREA  
CALCULATIONS: 11,629 / 1000 x 1 = 12 TREES (9 LARGE MATURING)  
11,629 / 1000 x 4 = 47 SHRUBS  
PROVIDED: 9 LARGE MATURING TREES  
3 SMALL MATURING TREES  
47 SHRUBS

**MITIGATED TREES**

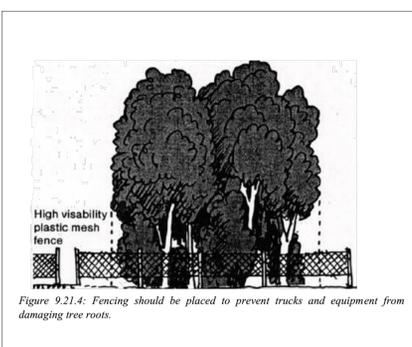
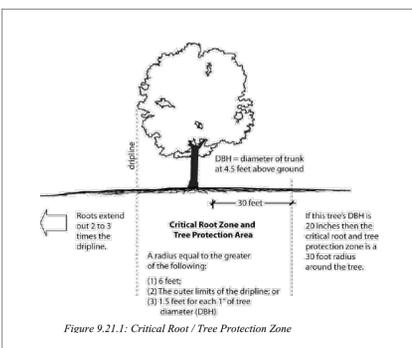
No. trees to be removed: 2  
Total DBH to be removed: 14 in.  
No. mitigation trees required: 2 (2-1/2" caliper)\*

\* from Waxhaw UDO Section 9.8 part 5A 5:  
Where existing trees are approved for removal, mitigation / replacement tree plantings shall be installed at a rate of (1) replacement tree with 2 1/2" caliper for each eight (8) inches of cumulative existing trunk diameter removed.



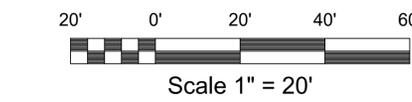
**LEGEND**

PROPERTY LINE	---
EASEMENT LINE	- - - -
SETBACK LINE	---
EXISTING CONTOUR	--- 600 ---
PROPOSED CONTOUR	--- 604 ---
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN	---
EXISTING CURB	---
PROPOSED CURB & GUTTER	---
PROPOSED SIDEWALK	---
PROPOSED RETAINING WALL	---
EXISTING TREE	
PROPOSED TREE	
EXISTING LIGHT	
EXISTING DRAINAGE STRUCTURE	
PROPOSED DRAINAGE STRUCTURE	
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
CLEANOUT	C.O. @
OVERHEAD ELECTRIC	OE
WATER LINE	W
LIGHT POLE	LP
GAS LINE	GAS
VALVE	
REMOVAL	



**KEY - PROPOSED TREE NUMBERING**

P-X	PARKING AREA TREES
M-X	MITIGATED TREES
L-X	LANDSCAPED AREA TREES
B-X	BUFFER TREES



No.	Date	By	Comments
1	05/11/20	RM	REVISED PER TOWN COMMENTS
2	06/21/20	RM	REVISED PER TOWN COMMENTS

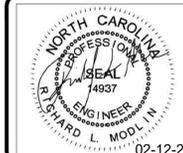
Engineer  
**Richard L. Modlin, PE**  
7215 Terrace Drive  
Charlotte, NC 28211  
980.322.4191  
richardmodlin@att.net

Owner/Developer  
**3808 Providence, LLC**  
1306 Waynewood Drive  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
michael@dountopartners.com

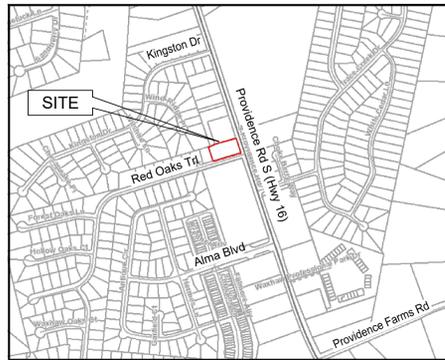
Project Name  
**3808 Providence Road South**  
Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
**LANDSCAPE PLAN**

Project No. 190404  
Scale 1" = 20'  
Drawn by R MODLIN  
Date Feb 12, 2020



Sheet No. **C-4**



VICINITY MAP  
NOT TO SCALE

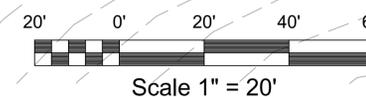
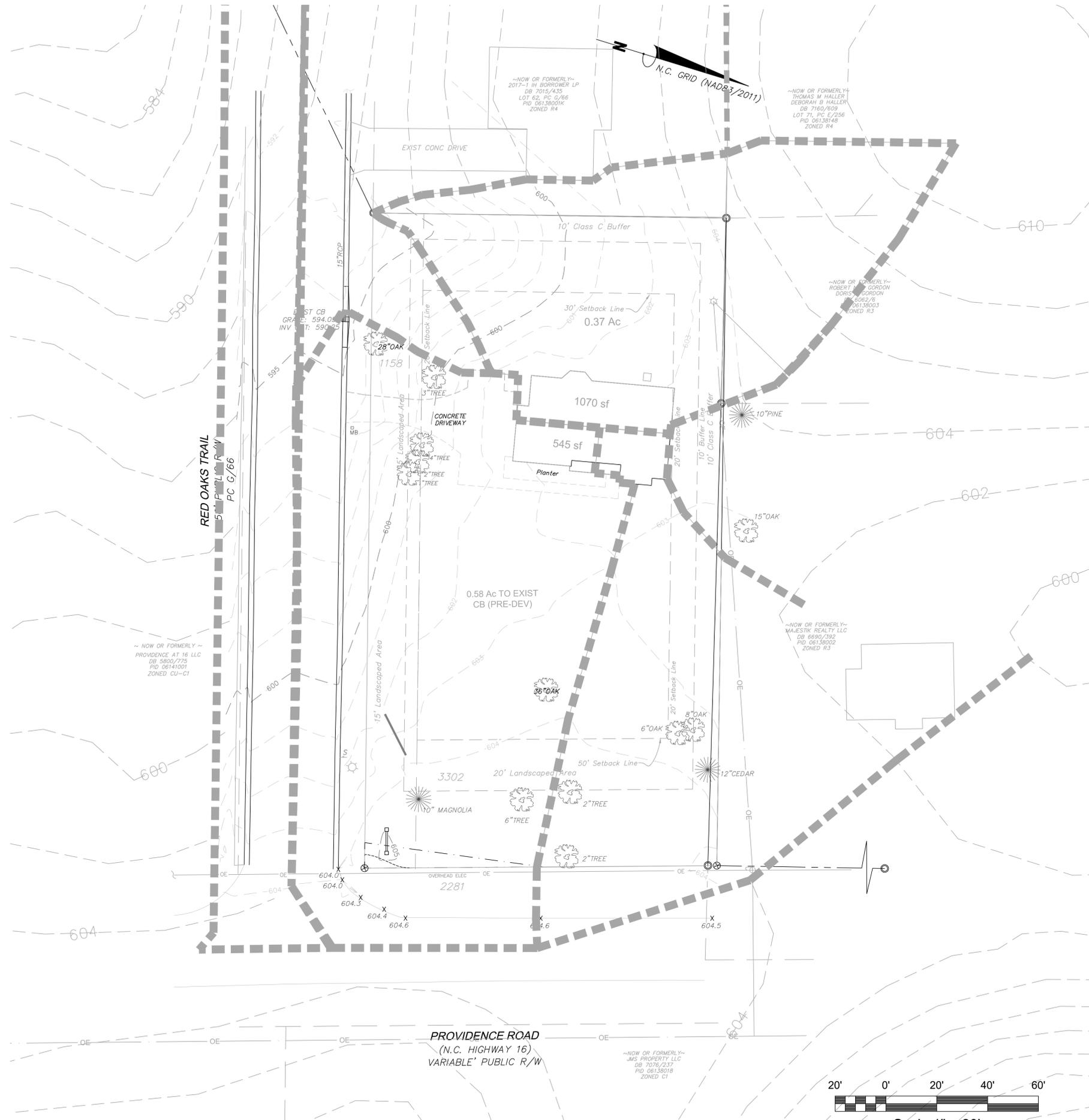
LEGEND	
PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
EXISTING CONTOUR	- - - - - 600
PROPOSED CONTOUR	— 604
EXISTING STORM DRAIN	=====
PROPOSED STORM DRAIN	=====
EXISTING CURB	=====
PROPOSED CURB & GUTTER	=====
PROPOSED SIDEWALK	=====
PROPOSED RETAINING WALL	=====
EXISTING TREE	
PROPOSED TREE	
EXISTING LIGHT	
EXISTING DRAINAGE STRUCTURE	
PROPOSED DRAINAGE STRUCTURE	
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
CLEANOUT	C.O. @
OVERHEAD ELECTRIC	OE
WATER LINE	W
LIGHT POLE	LP
GAS LINE	GAS
VALVE	
CONCRETE REMOVAL	

DRAINAGE AREA KEY

PRE-DEVELOPMENT	---
POST-DEVELOPMENT	=====

Impervious Area Summary

Total existing impervious area	3,685 sf
Existing impervious area to remain	
Building	1,944
Covered porch	82
	2,026 sf
Existing impervious area to be removed	
Driveway & sidewalk	1,659 sf
Proposed new impervious area	
New Building	3,957
Bit. Pavement	11,629
Switchback ramp	220
Sidewalk (exist bldg)	850
Sidewalk (new bldg)	1,817
Retaining wall	45
Curb & gutter	1,013
	19,531 sf
Totals	
Existing impervious area to remain	2,026
Existing impervious area to be removed	1,659
Proposed new impervious area	19,531
Property area:	0.81ac 35,284 sf
Total impervious area PRE-DEVELOPMENT	3,685 sf
Total impervious area POST-DEVELOPMENT	21,557 sf
Percent impervious PRE-DEVELOPMENT	10.4%
Percent impervious POST-DEVELOPMENT	61.1%



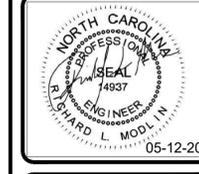
No.	Date	By	Comments
1	05/12/20	RM	NEW DRAWING
2	06/21/20	RM	REVISED PAVEMENT AREA

Engineer  
**Richard L. Modlin, PE**  
7215 Terrace Drive  
Charlotte, NC 28211  
980.322.4191  
richardmodlin@att.net

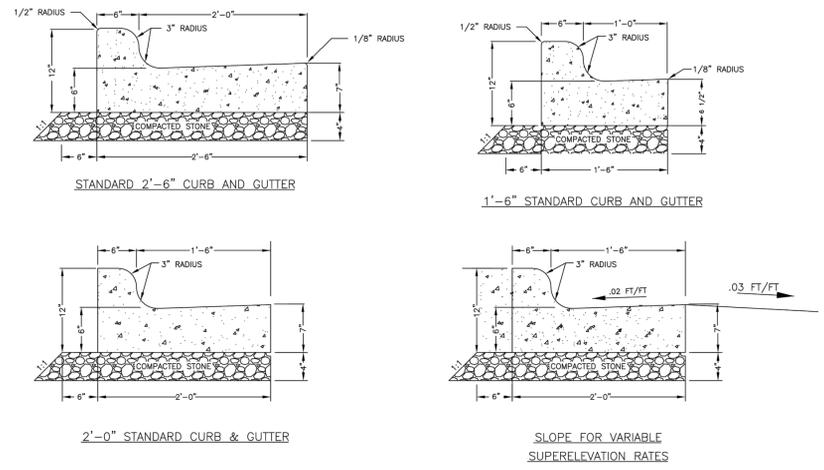
Owner/Developer  
**3808 Providence, LLC**  
1306 Waynewood Drive  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
michael@dountopartners.com

Project Name  
**3808 Providence Road South**  
Waxhaw, NC 28173  
Sheet Title  
**Construction Site Plans**  
PRE-DEV DRAINAGE MAP

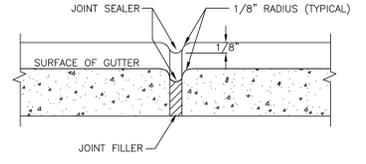
Project No.  
190402  
Scale  
1" = 20'  
Drawn by  
R MODLIN  
Date  
May 12, 2020



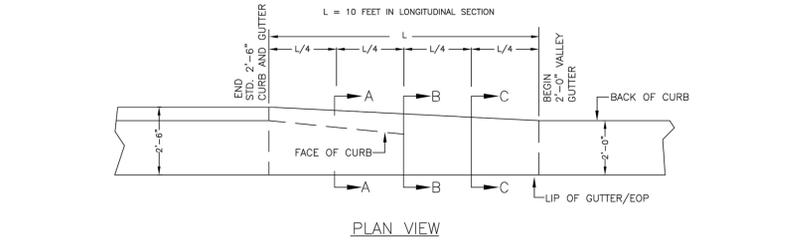
Sheet No.  
**C-5**



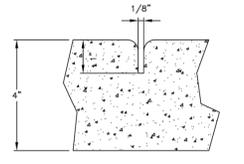
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
STANDARD CURB AND GUTTER  
STD. NO. 100.1



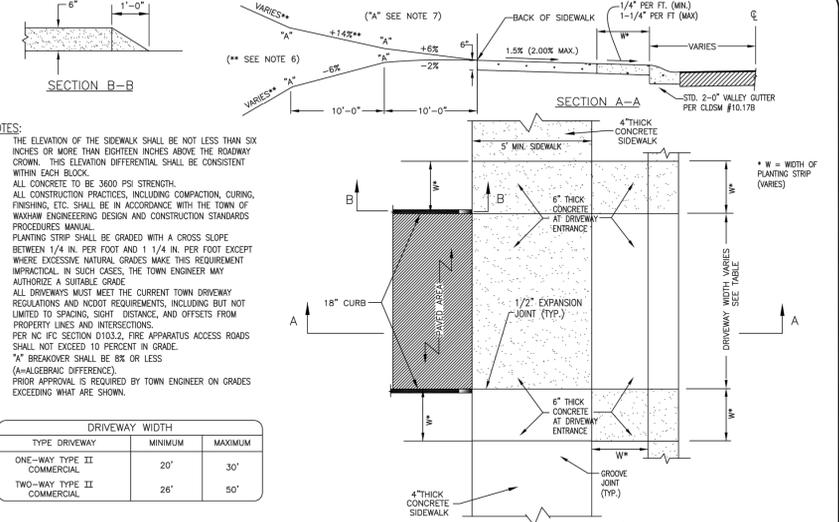
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
TRANSVERSE EXPANSION JOINT  
NOT TO SCALE  
NOTES:  
1. CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. FOR VALLEY GUTTER, A 15-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE TOWN ENGINEER TO PREVENT UNCONTROLLED CRACKING.  
2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2\"/>



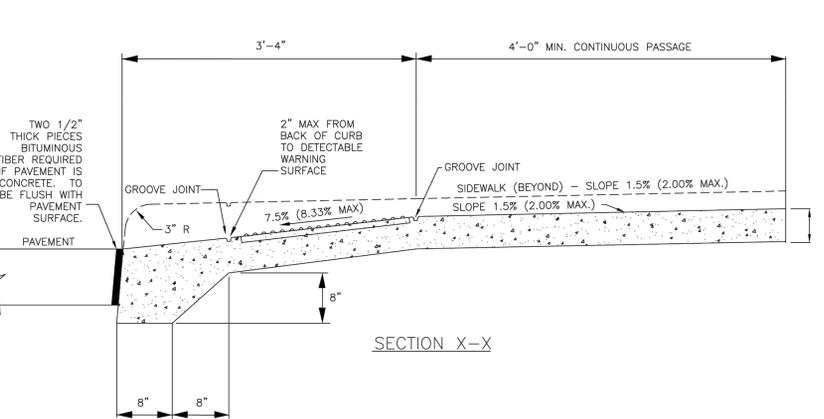
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
CURB TRANSITION  
2'6\"/>



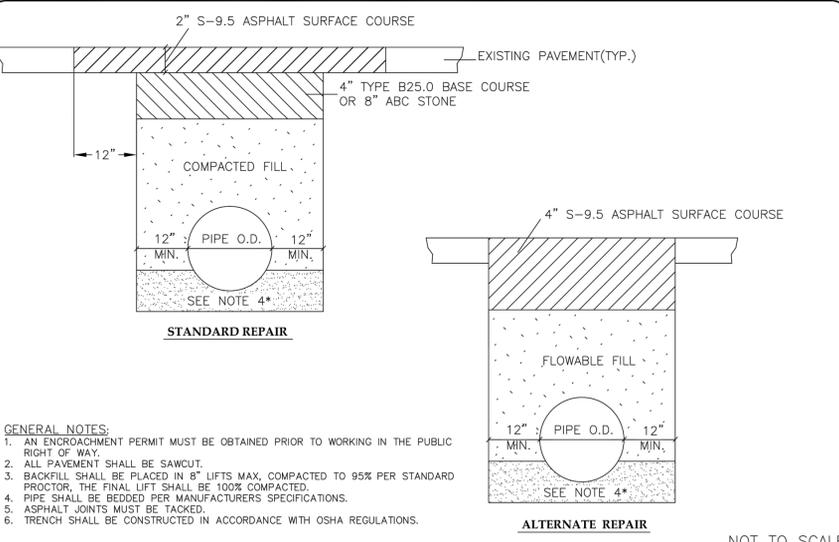
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
CONCRETE SIDEWALKS  
NOT TO SCALE  
GENERAL NOTES:  
1. A GROOVE JOINT 1\"/>



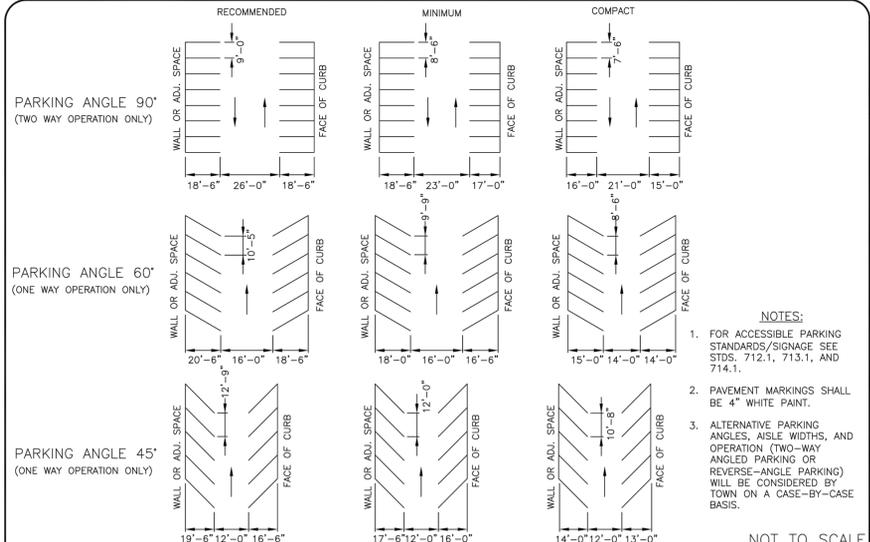
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
COMMERCIAL TYPE II DRIVEWAY FOR 2'-0\"/>



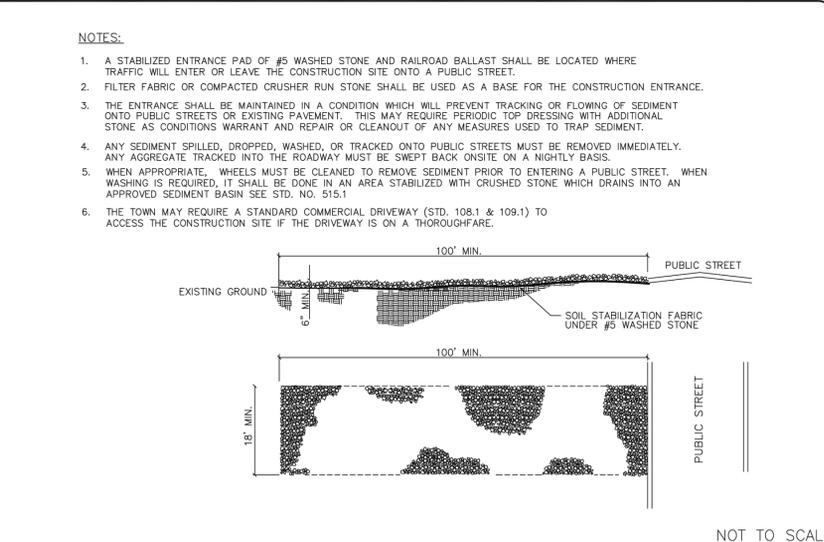
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
ACCESSIBLE RAMP SECTIONS MONOLITHIC CURB AND SIDEWALK  
NOT TO SCALE



TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
FINAL PAVEMENT REPAIR OF UTILITY CUTS TYPICAL SECTION  
REV. DATE 8/19  
STD. NO. 290.1



TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
PARKING STANDARDS  
NOT TO SCALE



TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS  
STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

No.	Date	By	Comments

Richard L. Modlin, PE  
7215 Terrace Drive  
Charlotte, NC 28211  
980.322.4191  
richardmodlin@att.net

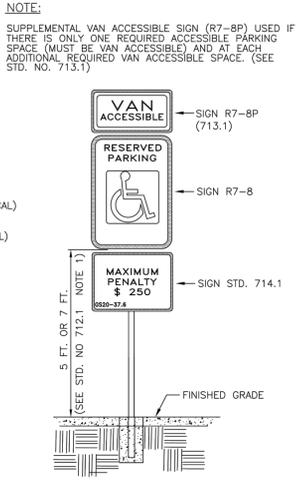
3808 Providence Road South  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
michael@dountopartners.com

3808 Providence Road South  
Waxhaw, NC 28173  
Construction Site Plans  
SITE DETAILS

Project No. 190404  
Scale NONE  
Drawn by R MODLIN  
Date Feb 12, 2020



Sheet No. C-6



LEGEND AND BORDER - GREEN  
BACKGROUND - WHITE

SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6

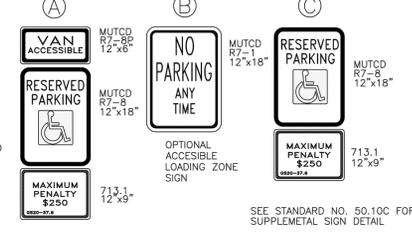
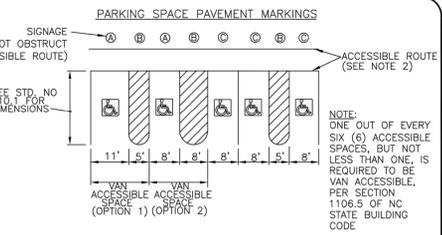
THIS PENALTY SIGN IS REQUIRED TO ACCOMPANY ALL R7-8  
PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990

NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	SUPPLEMENTAL ACCESSIBLE PENALTY SIGN	STD. NO.	REV.
		714.1	

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF SPACES REQUIRED	MINIMUM NUMBER OF SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	2
301 TO 400	8	2
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 6 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 6 ACCESSIBLE SPACES

REFERENCE: SECTION 1106 OF NC BUILDING CODE

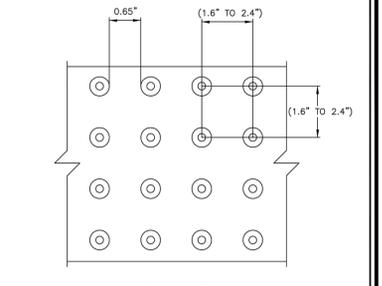
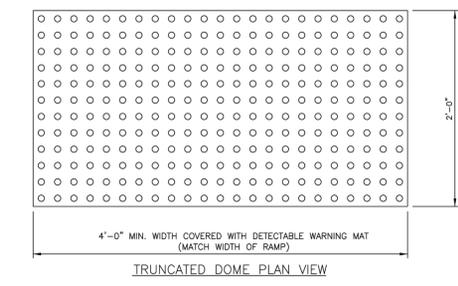


NOTES:

- ALL 12"x18" ACCESSIBLE SIGNS (R7-8 & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
- IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA. MAINTAIN MIN. 4" WIDE CONTINUOUS PASSAGE.
- VERTICAL CLEARANCE FOR VANS MUST BE GREATER THAN 98-INCHES.
- THIS DETAIL IS TO PROVIDE GENERAL GUIDANCE FOR PARKING LAYOUT AND DESIGN; REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT AND NC BUILDING CODE FOR ADDITIONAL INFORMATION.

NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	ACCESSIBLE PARKING AND SIGNAGE STANDARDS	STD. NO.	REV.
		712.1	

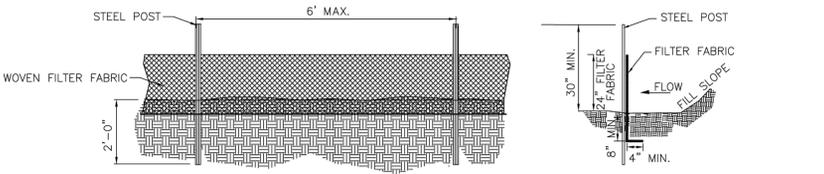


NOTES:

- ALL DETECTABLE WARNING DEVICES USED IN NEW CONSTRUCTION SHALL BE OF A RIGID PRECAST OR EMBEDDED PRODUCT APPROVED BY THE TOWN ENGINEER. RETRO FIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMPS WITH PRIOR APPROVAL OF THE TOWN ENGINEER FOR MATERIAL TYPE AND INSTALLATION (E. RESURFACING).
- RAMP AND DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET IN WIDTH, BUT NOT BE LESS THAN THE WIDTH OF SIDEWALK LEADING TO BACK OF RAMP.
- DETECTABLE WARNING SURFACES SHALL EXTEND 2.0 FT MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
- THE ROWS OF TRUNCATED DOMES IN DETECTABLE WARNING SURFACES SHOULD BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP RUN AND THE STREET, WHERE DETECTABLE WARNING SURFACES ARE PROVIDED ON A SURFACE WITH A SLOPE THAT IS LESS THAN 5 PERCENT. DOME ORIENTATION IS LESS CRITICAL.
- DETECTABLE WARNING AREA SHALL BE COLORED BLACK IN ALL LOCATIONS.
- IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6" THICK AND CAST FROM 5000 PSI CONCRETE.
- MATS ARE TO BE RIGID WITH TURN DOWN EDGES EMBEDDED IN CONCRETE TO ELIMINATE TRIP HAZARD.
- DIMENSIONS PER NCDOT 848.06

NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	TRUNCATED DOMES PLAN AND CROSS-SECTION	STD. NO.	REV.
		132.1	8/19



GENERAL NOTES:

- WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
- STEEL POSTS SHALL BE 5"-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- TURN SILT FENCE UP SLOPE AT ENDS.
- ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
- DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
- SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
- DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

MAINTENANCE NOTES:

- FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	TEMPORARY SILT FENCE	STD. NO.	REV.
		507.1	

FOR LATE WINTER AND EARLY SPRING:

SOIL AMENDMENTS:  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

SEEDING MIXTURE:  
RYE (GRAIN) - 120 LB/ACRE  
ANNUAL LESPEDEZA (KOBÉ) - 50 LB/ACRE  
(OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE)

SEEDING DATES:  
JAN. 1 - MAY 1

MULCH:  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

FOR SUMMER:

SOIL AMENDMENTS:  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

SEEDING MIXTURE:  
GERMAN MILLET - 40 LB/ACRE  
(A SMALL-STEMMED SUDAGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)

SEEDING DATES:  
MAY 1 - AUG. 15

MULCH:  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

FOR FALL:

SOIL AMENDMENTS:  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER

SEEDING MIXTURE:  
RYE (GRAIN) - 120 LB/ACRE

SEEDING DATES:  
AUG. 15 - DEC 30

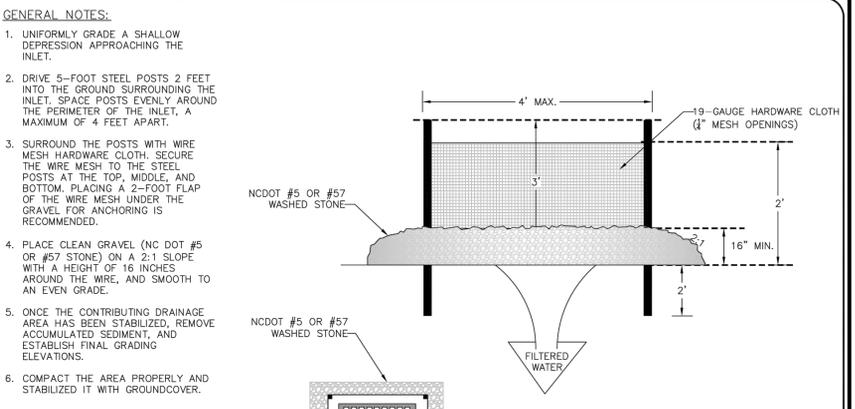
MULCH:  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:  
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBÉ LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCDCE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10, FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED. REFER TO NCDCE ESCPDM SECTION 6.11.

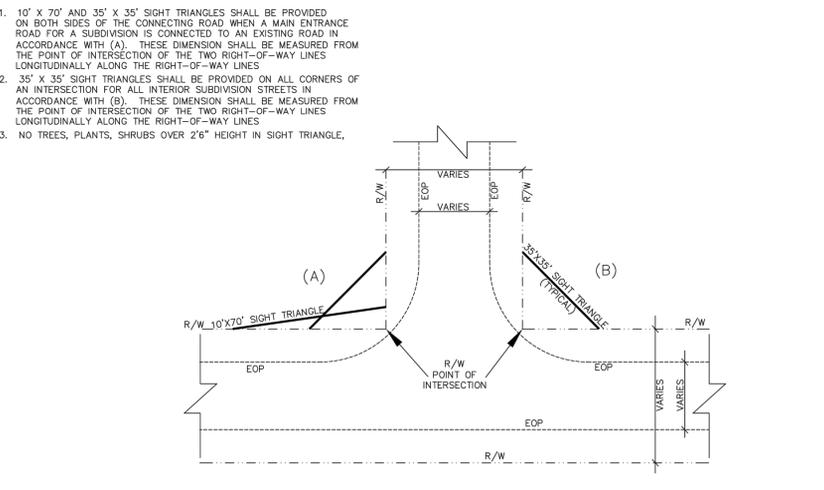
NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	TEMPORARY SEEDING SCHEDULE	STD. NO.	REV.
		521.1	



NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	STD. NO.	REV.
		512.1	



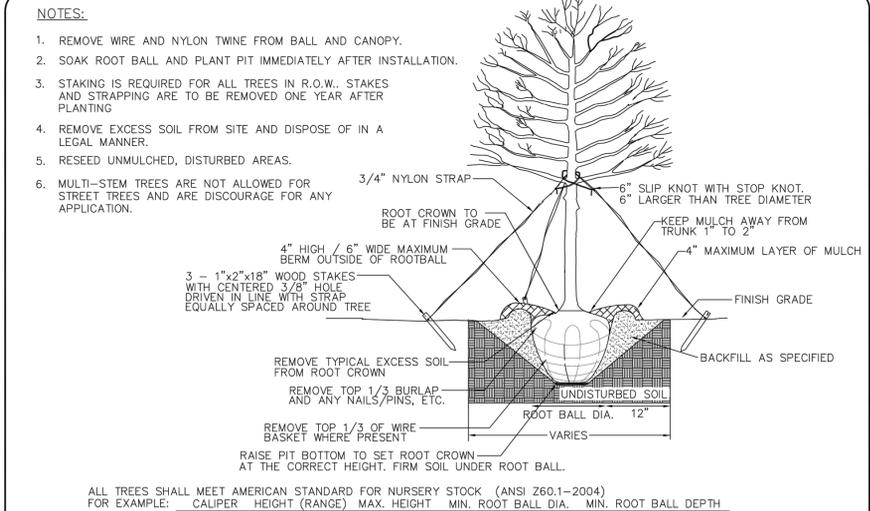
1. 10' X 70' AND 35' X 35' SIGHT TRIANGLES SHALL BE PROVIDED ON BOTH SIDES OF THE CONNECTING ROAD WHEN A MAIN ENTRANCE ROAD FOR A SUBDIVISION IS CONNECTED TO AN EXISTING ROAD IN ACCORDANCE WITH (A). THESE DIMENSION SHALL BE MEASURED FROM THE POINT OF INTERSECTION OF THE TWO RIGHT-OF-WAY LINES LONGITUDINALLY ALONG THE RIGHT-OF-WAY LINES

2. 35' X 35' SIGHT TRIANGLES SHALL BE PROVIDED ON ALL CORNERS OF AN INTERSECTION FOR ALL INTERIOR SUBDIVISION STREETS IN ACCORDANCE WITH (B). THESE DIMENSION SHALL BE MEASURED FROM THE POINT OF INTERSECTION OF THE TWO RIGHT-OF-WAY LINES LONGITUDINALLY ALONG THE RIGHT-OF-WAY LINES

3. NO TREES, PLANTS, SHRUBS OVER 26' HEIGHT IN SIGHT TRIANGLE.

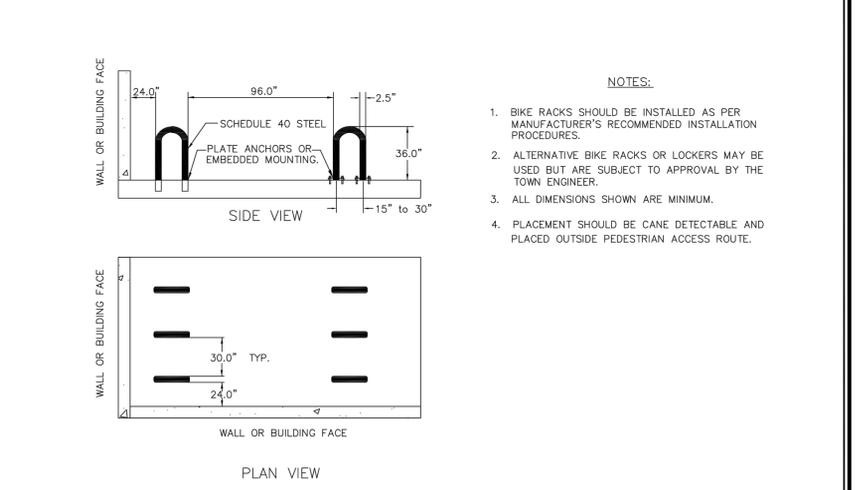
NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	TYPICAL SIGHT TRIANGLES	REV. DATE
		726.1



NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)	STD. NO.	REV.
		600.1	



NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	INVERTED "U" RACK FOR BICYCLE PARKING	STD. NO.	REV.
		716.1	

No.	Date	By	Comments

Engineer  
**Richard L. Modlin, PE**  
7215 Terrace Drive  
Charlotte, NC 28211  
980.322.4191  
richardmodlin@gmail.com

Owner/Developer  
**3808 Providence Road South**  
1306 Waynewood Drive  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
michael@dountopartners.com

Project Name  
**3808 Providence Road South**  
Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
SITE DETAILS

Project No.  
190404

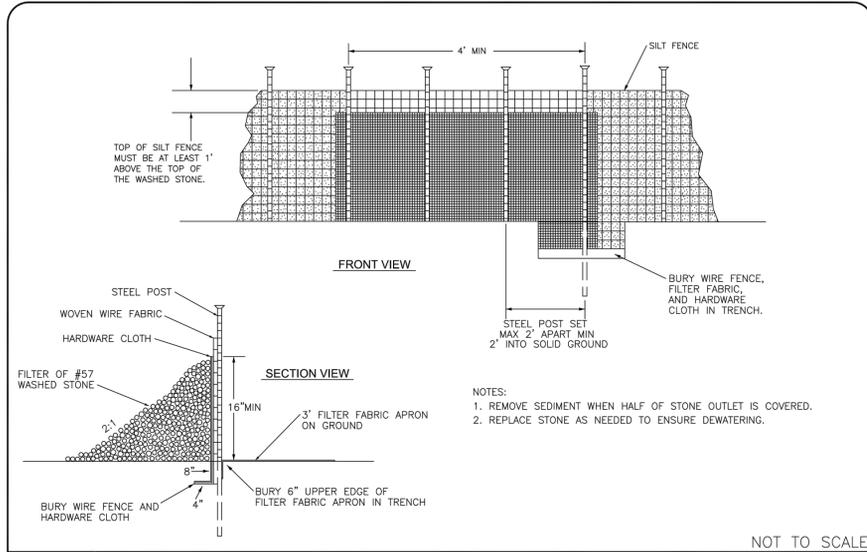
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Drawn by  
R MODLIN

Date  
Feb 12, 2020

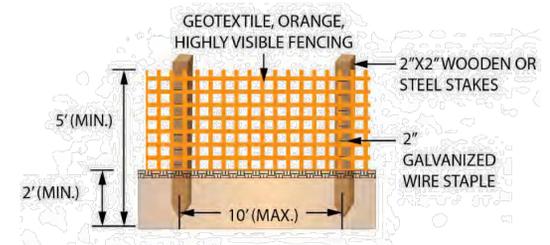


Sheet No.  
**C-7**



NOT TO SCALE

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	STANDARD SILT FENCE OUTLET	STD. NO. 509.1	REV.
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(A) Safety Fencing

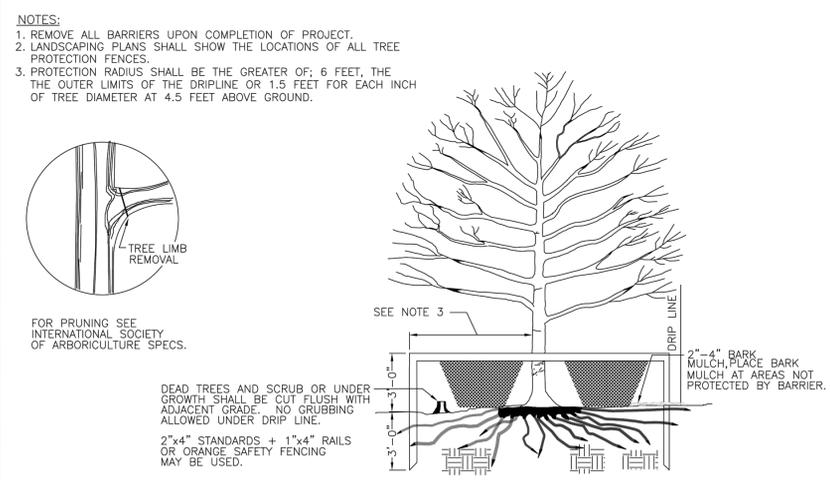
Posts shall be set at a maximum spacing of 10 ft., maintained in a vertical position and hand set or set with a post driver. Posts shall be installed a minimum of 2 ft. into the ground. If hand set, all backfill material shall be thoroughly tamped. Wood posts may be sharpened to a dull point if post driver. Posts damaged by power driving shall be removed and replaced prior to final acceptance. The tops of all wood posts shall be cut at a 30-degree angle. The wood posts may, at the option of the Contractor, be cut at this angle either before or after the posts are erected.

The fence geotextile shall be attached to the wood posts with one 2" galvanized wire staple across each cable or to the steel posts with wire or other acceptable means.

Place construction stakes to establish the location of the safety fence in accordance with Article 105-9 or Article 801-1 of the Standard Specifications. No direct pay will be made for the staking of the safety fence. All stakeouts for safety fence shall be considered incidental to the work being paid for as "Construction Surveying", except that where there is no pay item for construction surveying, all safety fence stakeout will be performed by state forces.

NOT TO SCALE

SAFETY FENCE DETAIL	
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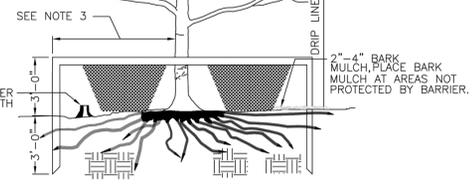


NOTES:  
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.  
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.  
3. PROTECTION RADIUS SHALL BE THE GREATER OF: 6 FEET, THE OUTER LIMITS OF THE DRIPLINE OR 1.5 FEET FOR EACH INCH OF TREE DIAMETER AT 4.5 FEET ABOVE GROUND.



FOR PRUNING SEE INTERNATIONAL SOCIETY OF ARBORICULTURE SPECS.

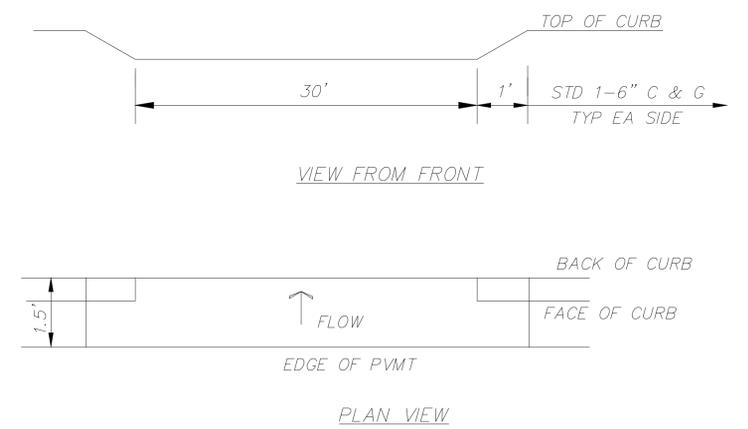
DEAD TREES AND SCRUB OR UNDER GROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. NO GRUBBING ALLOWED UNDER DRIP LINE.  
2"x4" STANDARDS + 1"x4" RAILS OR ORANGE SAFETY FENCING MAY BE USED.



TREE PROTECTION DETAIL

STD. NO.	REV.
601.1	

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS	TREE PROTECTION DETAIL	STD. NO. 601.1	REV.
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NOT TO SCALE

CURB OPENING DETAIL	
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No.	Date	By	Comments
1	05/11/20	RM	DETAILS PER TOWN COMMENTS

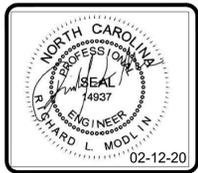
Engineer  
**Richard L. Modlin, PE**  
7215 Terrace Drive  
Charlotte, NC 28211  
980.322.4191  
richardmodlin@att.net

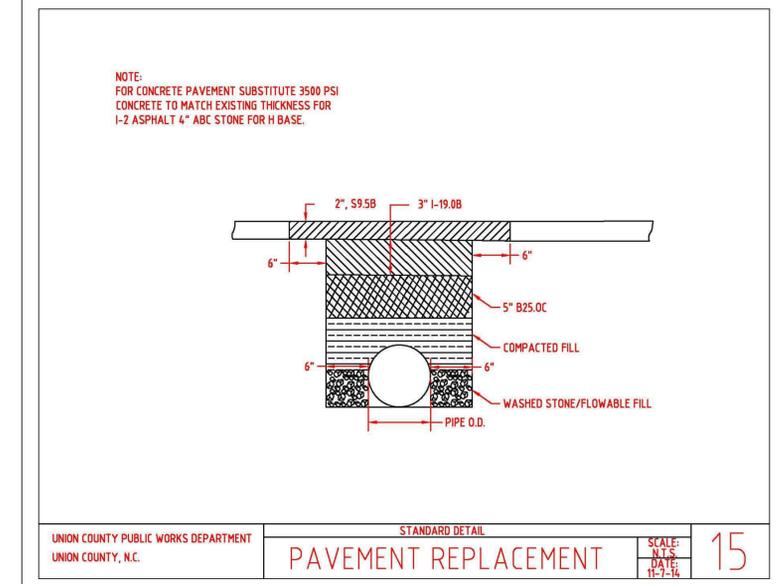
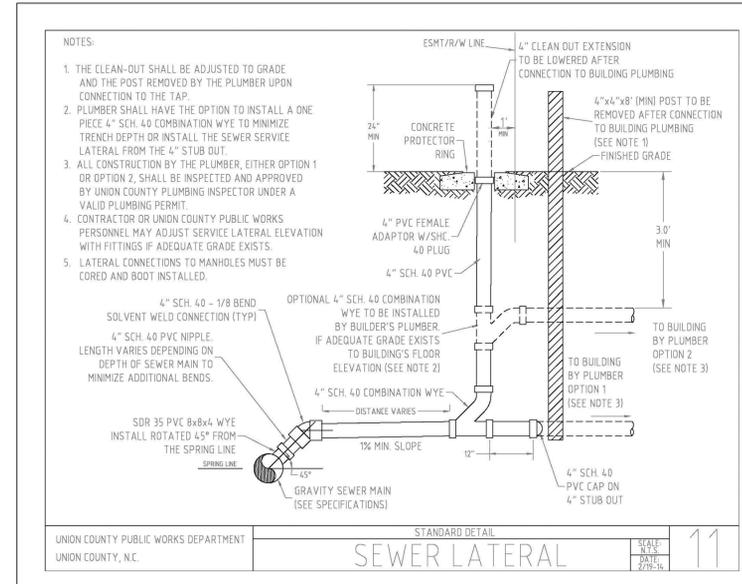
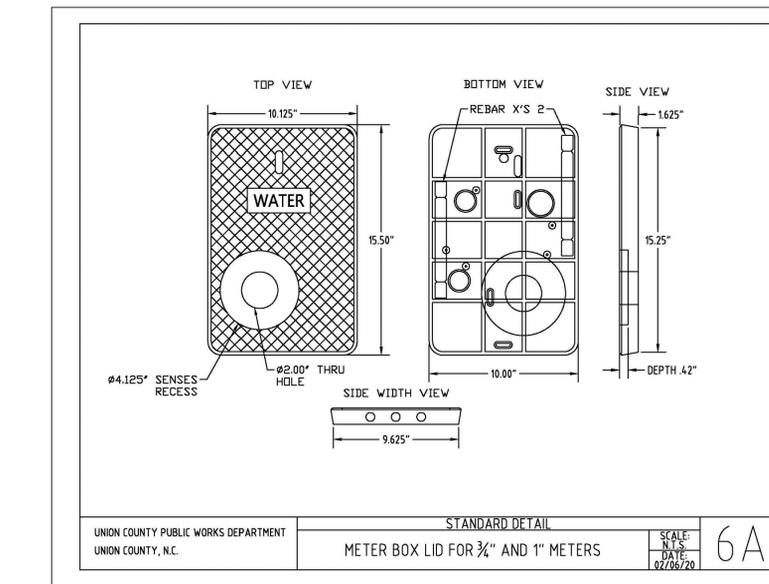
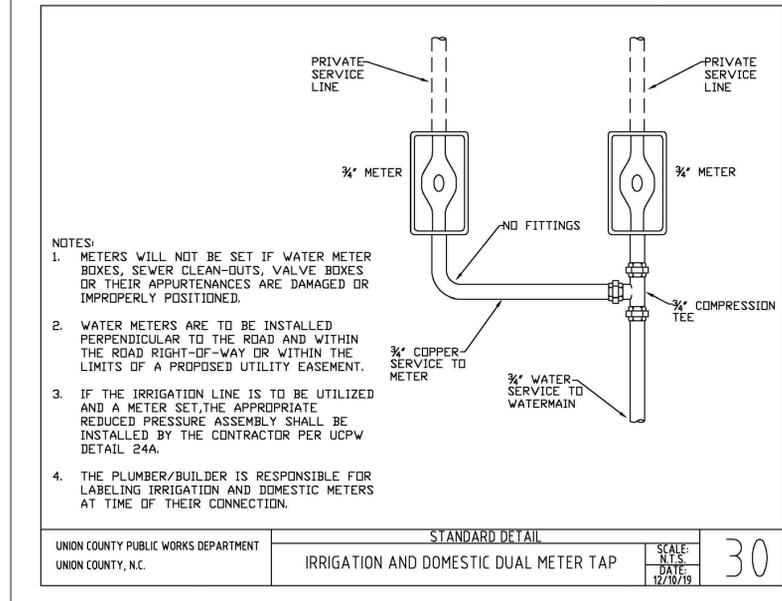
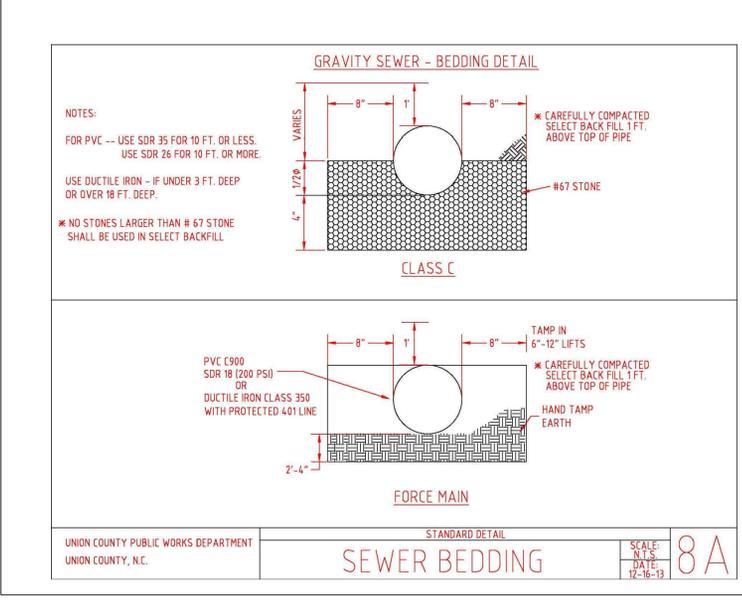
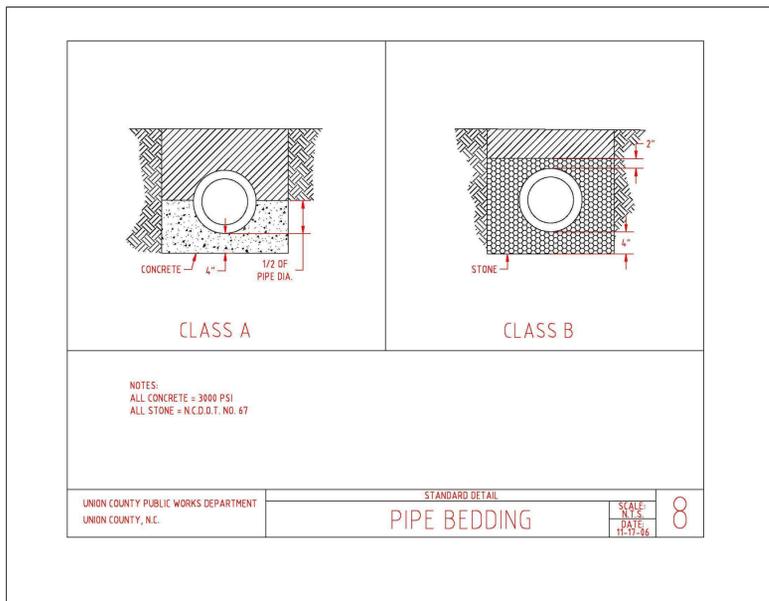
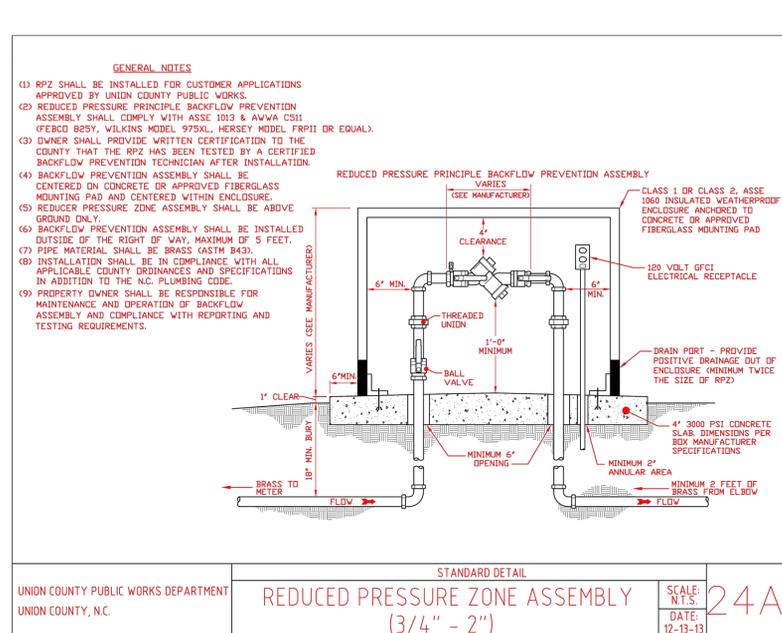
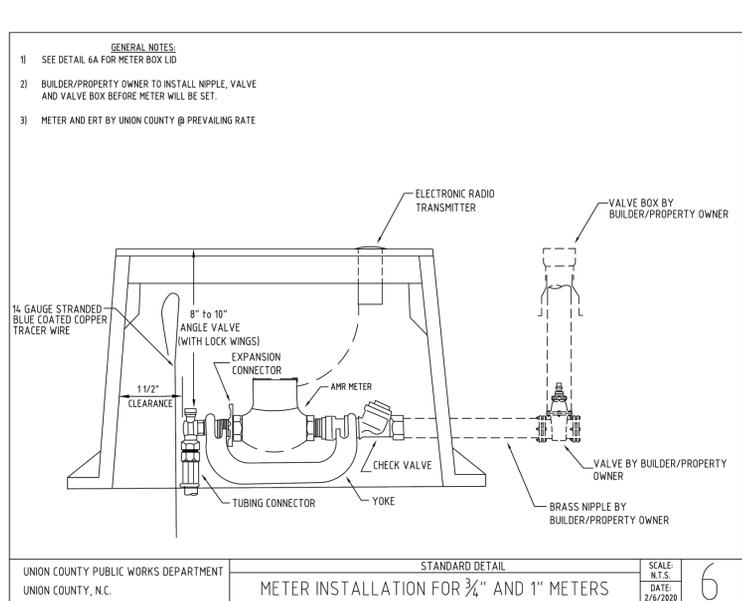
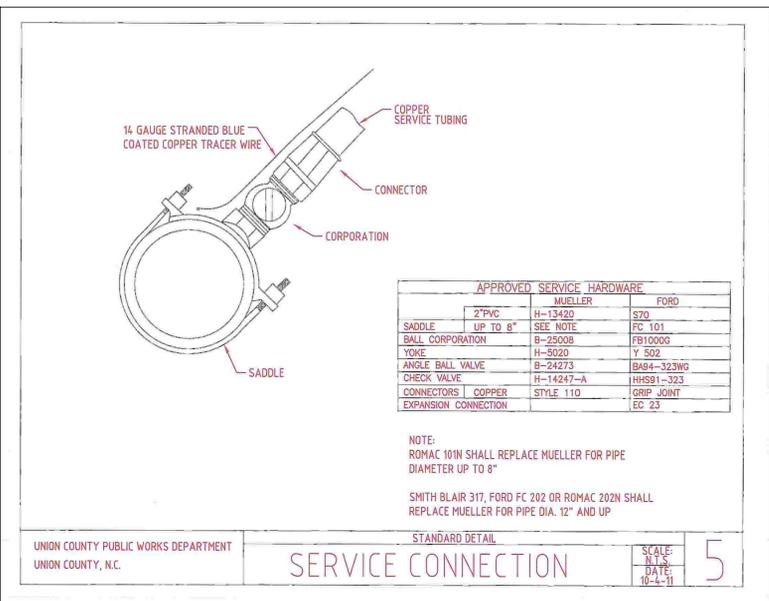
Owner/Developer  
**3808 Providence, LLC**  
1306 Waynewood Drive  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
michael@dountopartners.com

Project Name  
**3808 Providence Road South**  
Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
SITE DETAILS

Project No.	Scale	Drawn by	Date
190404	NONE	R. MODLIN	Feb 12, 2020





No.	Date	By	Comments
1	05/11/20	RM	REVISED PER UCPW COMMENTS
2	06/21/20	RM	ADDED DETAIL 6

Engineer  
**Richard L. Modlin, PE**  
72715 Terrace Drive  
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360.322.4191  
richardmodlin@sat.net

Owner/Developer  
**3808 Providence, LLC**  
1306 Waynewood Drive  
Waxhaw, NC 28173  
Michael Anspach 631.335.3452  
michael@douttopartners.com

Project Name  
**3808 Providence Road South**  
Waxhaw, NC 28173

Sheet Title  
**Construction Site Plans**  
WATER & SEWER DETAILS

Project No.	190404
Scale	NONE
Drawn by	R MODLIN
Date	Feb 11, 2020



Sheet No.  
**C-9**

INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NCG010000 AND SELF-INSPECTION RECORDS FOR LAND DISTURBING ACTIVITIES PER G.S. 113A-54.1

Table with Project Name, Approving Authority, NCG010000 Certificate of Coverage Number, Land Quality or Local Program Project/Permit #, Expiration Date, and Date of Issuance.

PART 1A: Rainfall Data

Table for Part 1A: Rainfall Data with columns for Day / Date, Rain Amt (Inches) Daily Rainfall Required, and checkboxes for M, T, W, Th, F, Sat, Sun.

PART 1B: Phase(s) of the Plan

Table for Part 1B: Phase(s) of the Plan with columns for Check ALL applicable box(es) that apply to completed & current phases and Date Noted as Corrected.

Are there any site or project conditions that limit completion of inspection? If yes, explain conditions and areas of site that were inaccessible.

PART 2: STORMWATER PLANS AND CONTROLS: For each question below, mark the corresponding box as Yes, No or N/A. For all items marked "No", note in Part 2A or 3A the Reference letter and provide the Corrective Action and location of the deficiency, the original date noted, and the date it was noted as being corrected. NOTE: Reference letters may be used multiple times.

Table for Part 2: Stormwater Plans and Related Documents with columns for Reference, Part 2A: Storm Water Plans and Related Documents, Yes, No, N/A, and Corrective Actions.

Table for Part 2B: Stormwater Pollutant Controls with columns for Reference, Part 2B: Stormwater Pollutant Controls, Yes, No, N/A.

Table for Part 2C: Non-Storm Water Pollutant Controls with columns for Reference, Part 2C: Non-Storm Water Pollutant Controls, Yes, No, N/A.

For any items listed in this section, a full description of sedimentation is required in Part 3A. This includes, but may not be limited to: location, estimated amount of sediment that has left the site and/or entered waters, apparent causes of the sediment loss, and what corrective actions need to be taken to prevent this from recurring.

Table for Part 2D: Sedimentation with columns for Reference, Part 2D: Sedimentation, Yes, No, N/A.

PART 3A: EROSION AND SEDIMENTATION CONTROL MEASURES: Measures must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD.

Table for Part 3A: Erosion and Sedimentation Control Measures Inspected with columns for Measure ID or Location and Description, Reference(s), Operating Properly?, Inspection Date, Describe Actions Needed, and Date Noted as Corrected.

PART 3B: STORMWATER DISCHARGE OUTFALLS (SDOs): SDOs must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD.

Table for Part 3B: Stormwater Discharge Outfalls Inspected with columns for Stormwater Discharge Outfall ID or Location, Any Visible Sedimentation, Any Increase in Stream Turbidity, Any Visible Erosion, Any visible oil sheen, floating or suspended solids or discoloration?, Inspection Date, Describe Actions Needed, and Date Noted as Corrected.

Report visible sedimentation into streams or wetlands to the appropriate DEQ Regional Office via phone call or email within 24 hours of discovery. https://deq.nc.gov/contact/regional-offices

PART 3C: GROUND STABILIZATION: Must be recorded, at a minimum, after each phase.

Table for Part 3C: Ground Stabilization with columns for Site Area Description, Time, Have stabilization measures been installed?, Temporary or Permanent Stabilization (T/P), Is Ground Cover Sufficient to Restrain Erosion?, Original Inspection Date, Describe Actions Needed, and Date Noted as Corrected.

Table for Ground Stabilization Timeframes with columns for Site Area Description, Stabilization, and Timeframe Variations.

PART 3D: NEW OR REVISED MEASURES: Erosion and sedimentation control measures, installed since the last inspection and as approved, should be documented here or by initialing and dating each measure or practice shown on a copy of the approved erosion and sedimentation control plan. Revisions or removal of measures should also be documented. List dimensions of measures such as Sediment Basins and Dissipator Pads. Corrective actions should be included in Part 3A.

Table for Part 3D: New or Revised Measures with columns for Measure ID or Location and Description, Proposed Dimensions (ft.), Actual Dimensions (ft.), Significant Deviation\* from Plan?, Date measure noted as installed, revised or removed, and Installed (I) Revised (R) Removed (X).

\*Significant deviation means any omission, alteration or relocation of an erosion or sedimentation control measure that prevents it from performing as intended.

PART 4: Signature of Inspector

Form for Part 4: Signature of Inspector with fields for Financially Responsible Party (FRP) / Permittee, Inspector Type (Mark), FRP/Permittee Agent/Designee, and Date & Time of Inspection.

Table for Project No., Scale, Drawn by, Date, No., Date, By, Comments, RM, SHT ADDED PER TOWN COMMENTS.

Richard L. Modlin, PE
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980.322.4191
richardmodlin@att.net

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Michael Anspach 631.335.3452
michael@dountopartners.com

3808 Providence Road South
Waxhaw, NC 28173
Construction Site Plans
NCDEMLR MONITORING FORM

Project No. 190404
Scale NONE
Drawn by R MODLIN
Date May 12, 2020

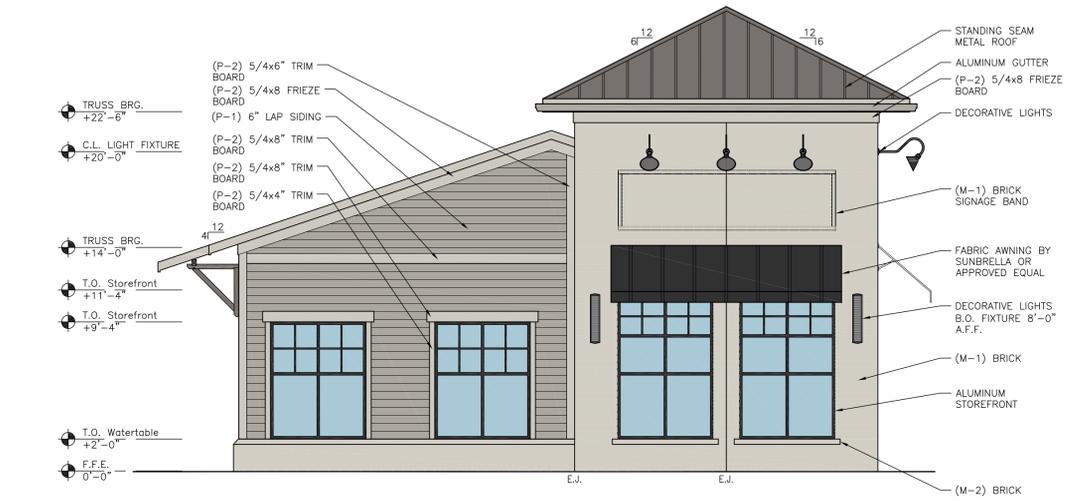


Sheet No. C-10

EXTERIOR FINISH SCHEDULE				
MASONRY				
MASONRY NO.	MATERIAL	STYLE NAME	COLOR NO.	MANUFACTURER
M-1 (Field Brick)	Modular Brick	DOVER WHITE	-	BRICK: TRIANGLE
M-2 (Watertable Brick)	Modular Brick	DOVER WHITE	-	BRICK: TRIANGLE
M-3 (Soldier Brick)	Modular Brick	DOVER WHITE	-	BRICK: TRIANGLE
Mortar Color: "Ivory Buff" made w/ white sand; G.C. to review final color with owner.				
<b>SUBMITTALS:</b> Submit two samples of each type of brick required. Include in each set the full range of color and texture to be expected in the completed work. Architect review will be for color and texture only. Compliance with all other requirements is the exclusive responsibility of the Contractor.				
ALUMINUM STOREFRONT				
ITEM	MATERIAL	COLOR NAME	COLOR NO.	MANUFACTURER
STOREFRONT	Aluminum	BLACK	UC70570	U.S. Aluminum Series or approved equal
SEE SHEET A9.1 FOR GLASS TYPE & ADDITIONAL INFORMATION.				
SIDING				
SIDING & TRIM BY LP BUILDING PRODUCTS PRECISION SERIES OR JAMES HARDIE PRODUCTS				
ROOFING				
ITEM	MATERIAL	COLOR NAME	COLOR NO.	MANUFACTURER
SHINGLES	Asphalt	MOIRE BLACK		CertainTeed (Landmark)
STANDING SEAM METAL	Aluminum	CHARCOAL GRAY		Firestone Una-Clad
GUTTERS & DOWNSPOUTS	Aluminum	SLATE GRAY		Firestone Una-Clad
COPING CAP	Aluminum	CHARCOAL GRAY		Firestone Una-Clad
PAINT & DECORATIVE ITEMS				
PAINT NO.	MATERIAL	COLOR NAME	COLOR NO.	MANUFACTURER
P-1	Paint	DORIAN GRAY	SW7017	Sherwin Williams
P-2	Paint	REPOSE GRAY	SW7015	Sherwin Williams
P-3	Paint	GAUNTLET GRAY	SW7019	Sherwin Williams
Awning	Fabric	BLACK	Pre-Finished	Carolina Canopies or Approved Equal
NOTES				
1. PROVIDE 12" x 12" SAMPLE OF EACH COLOR. ALL COLORS TO BE APPROVED BEFORE APPLICATION. SUBSTITUTIONS CAN BE MADE WITH OWNER/ARCHITECT'S APPROVAL.				
<b>MOCK-UP PANELS:</b> Erect one sample wall panel at project site. Build panels 4'-0" long and 4'-0" high. General Contractor to fabricate for inspection full scale assemblies, depicting framing, structural connections, transition connections, flashing, and finishes prior to commencement of construction. If masonry is used for the project, panels shall be the standard of construction of all masonry and shall show proposed material, method of laying, workmanship, installation of reinforcing, and color of mortar. General Contractor shall be responsible for maintaining sample panels throughout the construction period and the removal of panels after the job is completed.				
<b>PRODUCT HANDLING:</b> Store materials under cover, in dry place, and in manner to prevent damage or intrusion of foreign matter.				

**URBAN ARCHITECTURAL GROUP**  
 704.841.1899 tel 1242 Mann Drive Suite 200  
 841.8440 fax Matthews, North Carolina 28105  
 www.UrbanAIA.com

Seals:



**THE OAKS SHELL BUILDING**  
 Shell Building

3808 Providence Road South  
 Waxhaw, North Carolina 28173

Date:	April 22, 2020
Project Number:	2020-11
Issued For:	
Construction Only:	04.22.20

**EXTERIOR ELEVATIONS**

# A2.1

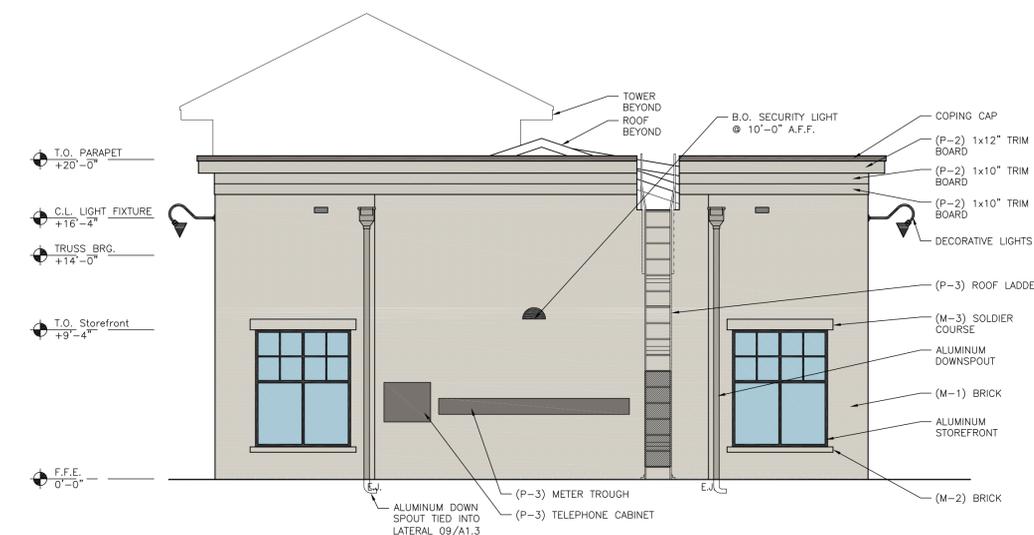
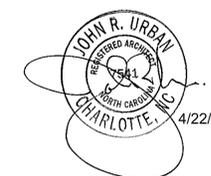
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ARCHITECTURAL GROUP

704.841.1899 tel 1242 Mann Drive Suite 200  
 841.8440 fax Matthews, North Carolina 28105  
 www.UrbanAIA.com

Seals:



**02** ELEVATION: Left Side  
 3/16" = 1'-0"



**01** ELEVATION: Rear Facing Providence Rd.  
 3/16" = 1'-0" (3/32" = 1'-0" when 11x17)

**THE OAKS SHELL BUILDING**  
 Shell Building

3808 Providence Road South  
 Waxhaw, North Carolina 28173

Date:	April 22, 2020
Project Number:	2020-11
Issued For:	
Construction Only:	04.22.20

EXTERIOR ELEVATIONS

**A2.2**