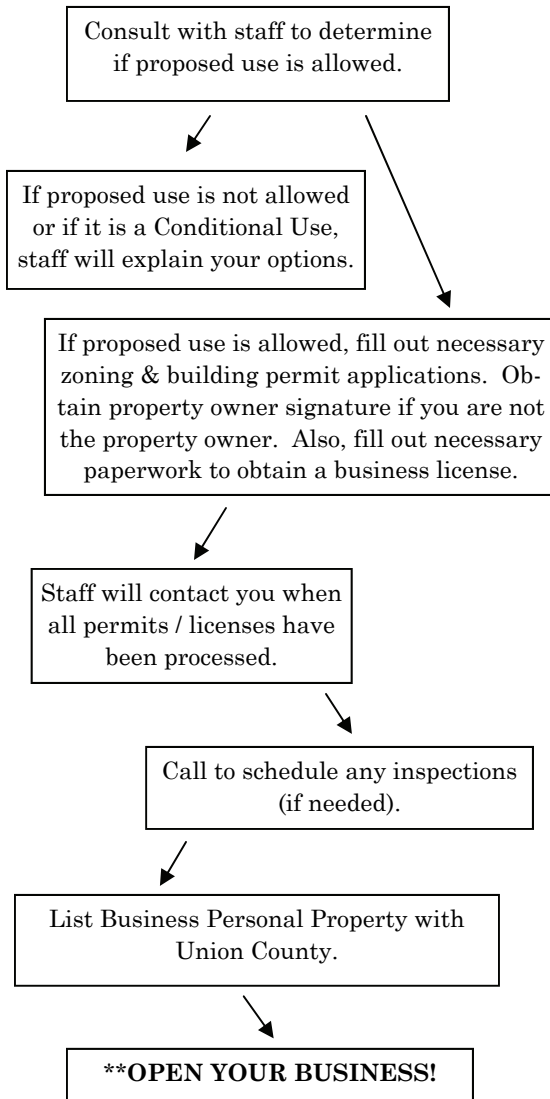


## Process Overview



\*\*If you are proposing a restaurant, you will need to contact: the Union County Fire Marshal Office, Union County Dept. of Environmental Health and the NC Alcohol Beverage Control Commission (if serving alcohol / beer) prior to opening your business.



www.waxhaw.com

Town of Waxhaw  
 Planning & Community Development  
 P.O. Box 617  
 316 N. Church St.  
 Waxhaw, NC 28173  
 Phone: (704) 843-2195  
 Fax: (704) 243-3276

### Fees

Zoning Use Permit:	\$30.00
Sign Permit:	\$40.00 (Permanent) \$11.00 (Temporary)
Business License:	\$30.00 (New Business) 0.15 per \$1,000.00 of gross receipts thereafter [minimum \$30.00]
Upfit (Building):	Depends on square footage
Technology Fee:	10% added to all permits

*Based on the 2013-2014 Fee schedule—subject to change*

### Contact Information

- ◆ Director of Planning and Community Development  
Greg Mahar (704) 843-2195 ext. 232
- ◆ Planning and Zoning Administrator  
Lori Oakley (704) 843-2195 ext. 230
- ◆ Planner II  
Lisa McCarter (704) 843-2195 ext. 238  
Chris Rice (704) 843-2195 ext. 236
- ◆ GIS Planner  
Maxx Oliver (704) 843-2195 ext. 239
- ◆ Chief Building Inspector  
William Whaley (704) 843-2195 ext. 231
- ◆ Building Inspector / Code Enforcement Officer  
Frank Bellini (704) 843-2195 ext. 233  
Kari Lanning (704) 843-2195 ext. 241
- ◆ Permit Technician & Privilege License Administrator  
Debra Leftwich (704) 843-2195 ext. 234

## DOING BUSINESS IN HISTORIC DOWNTOWN



## WAXHAW NORTH CAROLINA

Tel: (704) 843-2195

*Proud of Our Past...Passionate About Our Future*

This brochure is a product of the Small Town Main Street program — Economic Restructuring Committee

# CODES, PERMITS & INSPECTIONS...WHAT YOU NEED TO KNOW

Before you contact staff about opening up a business in downtown Waxhaw, there are several things that you need to know:

- ◆ What kind of business do I wish to open?
- ◆ Will I have any signage?
- ◆ If I am not the property owner, do I have permission from the property owner?
- ◆ Do I plan on making any changes to the exterior of the building?
- ◆ Will I be doing any renovations (electrical, mechanical, plumbing, building) to the inside of the building?
- ◆ Where will my customers park?

For more information about the uses permitted in the C-4 Zoning District, which encompasses most of the downtown, please contact the planning staff or view our webpage at:

[www.waxhaw.com](http://www.waxhaw.com)

Departments—Planning & Community Development

Unified Development Ordinance (UDO)

The Table of Uses [list all permitted uses in the C-4 District]

Section 13 Sign Regulations [C-4 Zoning District]

*"The price of success is hard work" -Vince Lombardi*

## RESOURCES FOR BUSINESSES

Waxhaw Business Association  
[www.waxhawbusinessassociation.com](http://www.waxhawbusinessassociation.com)

Union County Chamber of Commerce  
[www.unioncountycoc.com](http://www.unioncountycoc.com)

## PREPARING FOR SUCCESS

Downtown Waxhaw is a great environment in which to do business. Prior to leasing or purchasing a building, be sure to check the following issues:

1. **Permits:** Obtain all necessary permits prior to opening your business. Typical permits include a zoning use permit, a sign permit, a business license and an upfit permit for any interior modifications. Other permits may be required.
2. **Signage:** A sign permit is required prior to installing an outdoor sign. Be sure to review the Town UDO prior to ordering or purchasing any signage. The Planning staff can also provide you with information relating to the number, location, size and type of signs allowed in downtown Waxhaw.
3. **Change of use:** If a building is changing use from one activity to another, such as going from a retail shop to a restaurant, the space might require major renovation to meet planning, building and fire codes, like adding additional restrooms, handicap access, sprinklers and other improvements. Proper permits need to be obtained.
4. **Parking:** Be sure to evaluate the parking needs for customers and employees.
5. **Trash Removal:** The Town of Waxhaw does not provide trash pick-up for commercial businesses. You will need to hire a private contractor to haul away your trash. If you would like to install a dumpster on-site, please discuss this option with staff. All dumpsters have to be screened in accordance with the UDO.

*"Before everything else, getting ready is the secret to success" -Henry Ford*

## IMPORTANT CONTACT INFORMATION

Planning & Community Development  
Permits & Inspections  
(704) 843-2195 option 2 (Planning & Zoning)  
(704) 843-2195 option 3 (Inspections)  
[www.waxhaw.com](http://www.waxhaw.com)

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Business License Information  
(704) 843-2195 ext. 234—Debra Leftwich

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Fire Inspections  
(704) 283-3524—Union Co. Fire Marshal  
[www.co.union.nc.us](http://www.co.union.nc.us)

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Union County  
Department of Environmental Health  
(704) 283-3553  
[www.co.union.nc.us](http://www.co.union.nc.us)

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Union County Public Works  
(704) 296-4210  
[www.co.union.nc.us](http://www.co.union.nc.us)

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NC Alcoholic Beverage Control Commission  
(919) 779-0700  
[www.ncabc.com](http://www.ncabc.com)

The information contained in this brochure is designed to assist entrepreneurs in opening a business in Waxhaw. Please contact the Town of Waxhaw or any agency listed in this brochure for more information.