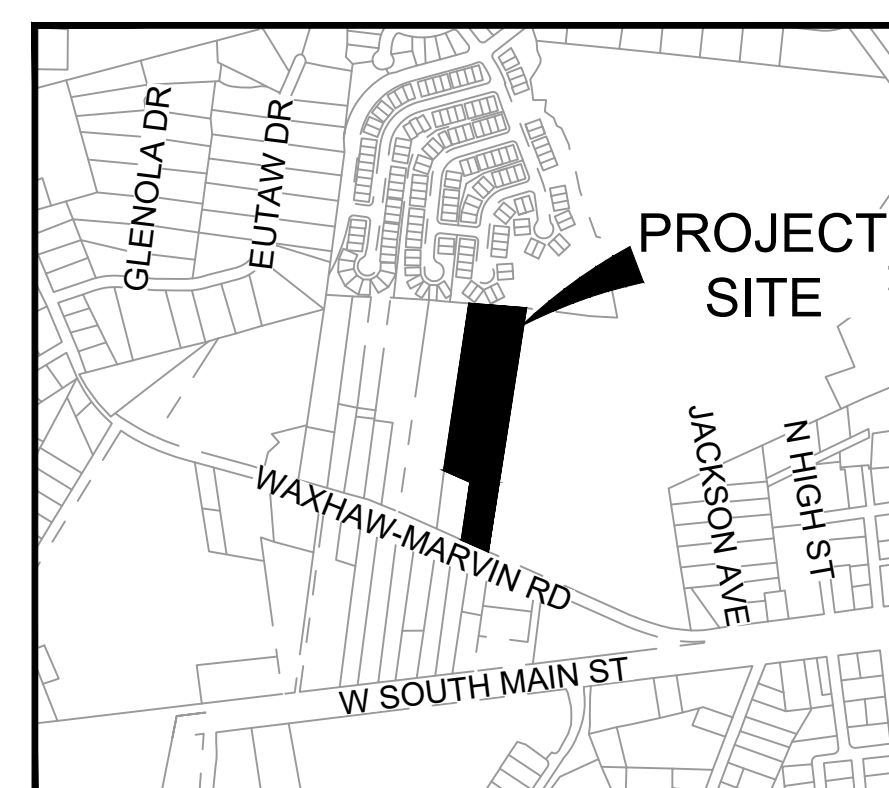


VILLAGES AT WAXHAW PRELIMINARY PLAN LOCATED IN WAXHAW, UNION COUNTY, NORTH CAROLINA



VICINITY MAP
N.T.S.

GENERAL NOTES:
BOUNDARY INFORMATION:
BOUNDARY INFORMATION OBTAINED FROM SURVEY PREPARED BY GPA INC. SIGNED MARCH 2ND.

- ACCESS POINTS/DRIVEWAYS/STREETS:**
- PROPOSED PROJECT SITE ENTRANCE LOCATIONS ARE CONSIDERED PRELIMINARY IN NATURE & SUBJECT TO CHANGE. PROPOSED ENTRANCES NEED TO BE VERIFIED FOR ADEQUATE SIGHT DISTANCE.
 - ALL ROADWAY & STREET SYSTEMS ARE CONSIDERED TO BE PRELIMINARY & WILL NEED TO BE VERIFIED FOR SUFFICIENCY TO SATISFY OR EXCEED MINIMUM REQUIREMENTS ESTABLISHED IN THE TOWN OF WAXHAW ZONING & SUBDIVISION ORDINANCES, & APPLICABLE STANDARDS IDENTIFIED BY NCDOT. STREET CONNECTIONS ARE CONCEPTUAL & MAY BE SUBJECT TO CHANGE BASED ON AGENCY INPUT & REVIEW.

CONTACT INFORMATION:

OWNER: CALATLANTIC GROUP, INC.
CONTACT: MARK HENNINGER
EMAIL: MARK.HENNINGER@LENNAR.COM
ADDRESS: 6701 CARMEL RD, SUITE 425
CHARLOTTE, NC 28226
(704) 759-6000

DEVELOPER: LENNAR CAROLINAS
CONTACT: JASON GALLOWAY
OWNER: JASON W. GALLOWAY@LENNAR.COM
ADDRESS: 6701 CARMEL RD, SUITE 425
CHARLOTTE, NC 28226
(704) 771-4468

CIVIL ENGINEER: WK DICKSON & CO., INC.
CONTACT: WESTON BOLES, PE
EMAIL: WBOLES@WKDICKSON.COM
ADDRESS: 1213 W MOREHEAD ST.
CHARLOTTE, NC 28208
PHONE: (704) 305-2331

UTILITY PROVIDERS:

WATER & SEWER:
UNION COUNTY PUBLIC WORKS
500 N. MAIN ST.
MONROE, NC 28112

CABLE & INTERNET:
SPECTRUM CABLE
7910 CRESCENT EXECUTIVE DR.
CHARLOTTE, NC 28217

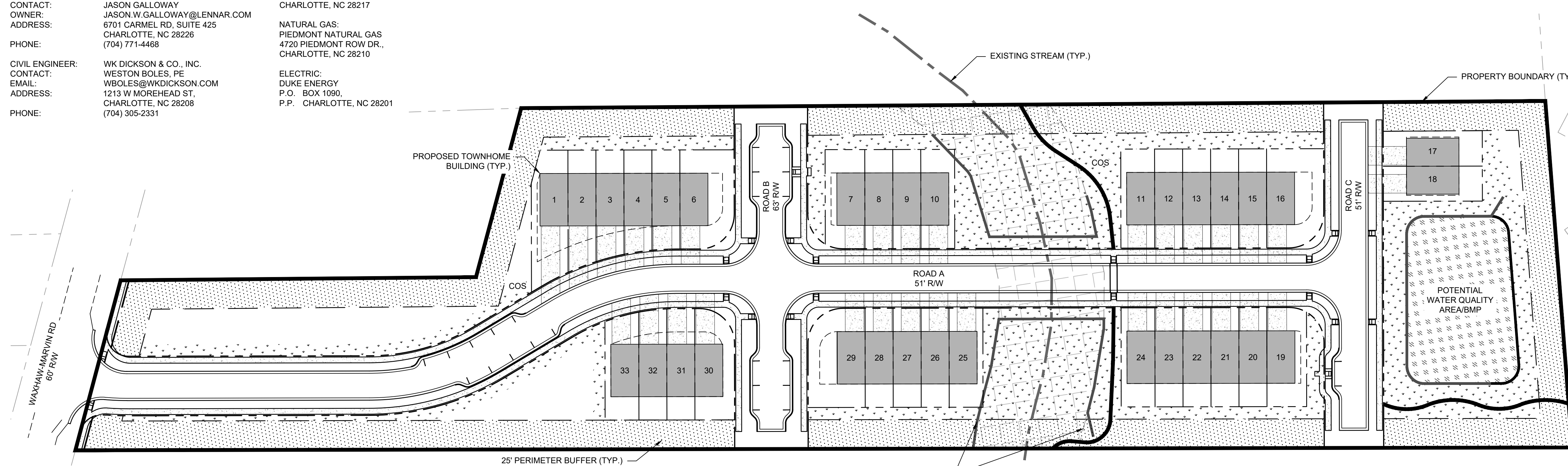
NATURAL GAS:
PIEDMONT NATURAL GAS
4720 FREDMONT ROW DR.,
CHARLOTTE, NC 28210

ELECTRIC:
DUKE ENERGY
P.O. BOX 1090,
P.P. CHARLOTTE, NC 28201

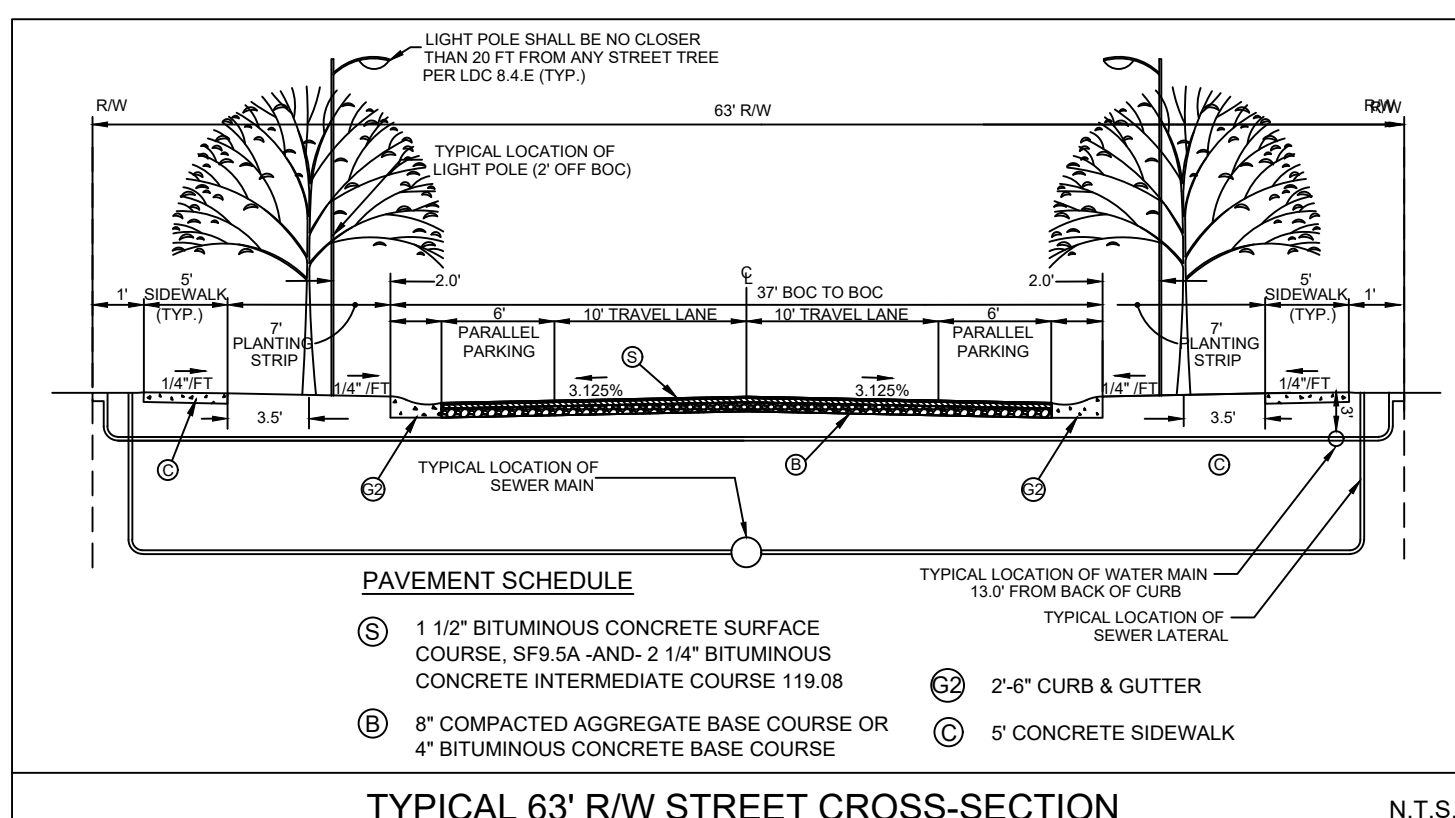
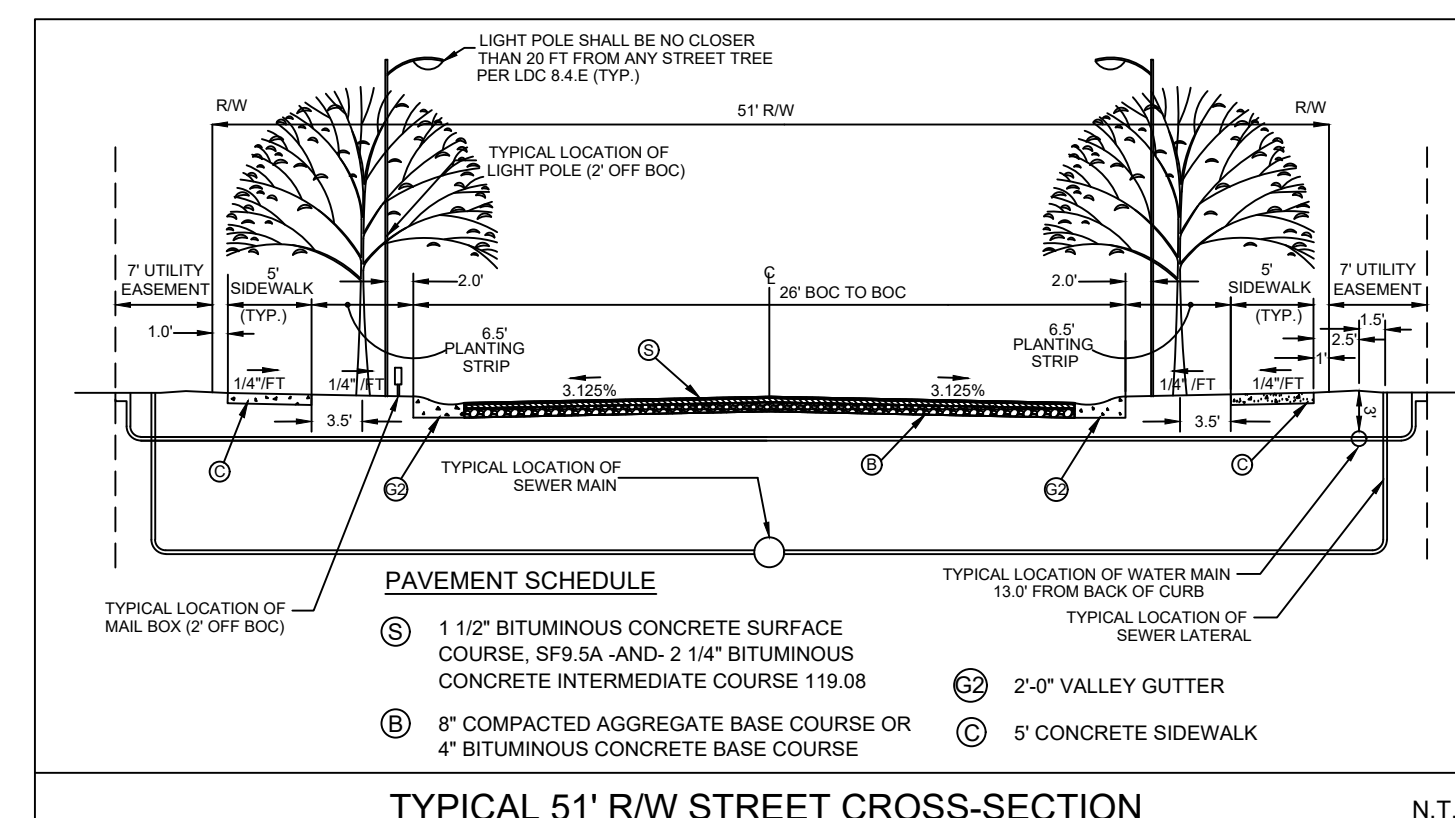
TABLE OF CONTENTS	
SHEET	SHEET NAME
1.0	COVER
2.0	SITE & LANDSCAPING PLAN
3.0	GRADING & STORMWATER PLAN
4.0	UTILITY PLAN

DEVELOPMENT NOTES:

- ALL DEVELOPMENT AND CONSTRUCTION SHALL COMPLY WITH ALL ZONING AND SUBDIVISION STANDARDS OF THE TOWN OF WAXHAW, UNION COUNTY PUBLIC WORKS, AND NCDOT, AS APPLICABLE.
- COMMON OPEN SPACE SHALL BE RECORDED AND DEEDED TO THE HOMEOWNERS ASSOCIATION.
- ALL PROPOSED ENTRY SIGNAGE SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY DUKE ENERGY AND THE TOWN OF WAXHAW LAND DEVELOPMENT CODE STANDARDS. STREET LIGHTS SHALL BE INSTALLED AT INTERVALS NOT EXCEEDING 250' PER SECTION 18.10.6 OF THE LAND DEVELOPMENT CODE STANDARDS.
- NO FLOODPLAIN LOCATED ON SITE. PER INFORMATION OBTAINED FROM FEMA FIRM PANELS 3710446300J AND 3710447300J EFFECTIVE ON 10/16/2008.
- LOCATION AND SIZE OF PROPOSED STORMWATER AREAS ARE CONCEPTUAL AND PRELIMINARY IN NATURE. THIS PROJECT IS REQUIRED TO MEET PHASE TWO STORMWATER REQUIREMENTS. THE EXACT SIZE AND LOCATION OF THESE AREAS WILL BE DETERMINED DURING THE CONSTRUCTION DOCUMENTATION PHASE.
- STREET TREES SHALL BE MEDIUM OR LARGE MATURING TREES PLANTED WITHIN THE PLANTING STRIP ALONG ALL NEW PUBLIC STREETS AT 50' INTERVALS ON CENTER. SPACING MAY BE NO LESS THAN FORTY (40) ON CENTER AND NO MORE THAN SIXTY-FIVE (65) FEET ON CENTER AS TO AVOID CONFLICT WITH PROPOSED OR EXISTING UTILITIES.
- NEW TREES SHALL BE TWO (2) INCHES MINIMUM CALIPER AT PLANTING AND SHALL BE SELECTED FROM THE APPROVED TOWN OF WAXHAW TREE SPECIES LIST (SECTION 9.21.15) OF THE TOWN OF WAXHAW LAND DEVELOPMENT CODE STANDARDS. ADDITIONAL SPECIES MAY BE USED SUBJECT TO SPECIFIC APPROVAL BY THE TOWN ADMINISTRATOR.
- ACCESS TO STORM DRAINAGE EASEMENTS MUST BE MAINTAINED AT ALL TIMES.
- THE EXISTING CONDITIONS OF THE SITE CONSIST OF WOODED AREAS AND AN EXISTING POND.
- ALL ROADWAY AND STREET SYSTEMS ARE CONSIDERED TO BE PRELIMINARY AND WILL NEED TO BE VERIFIED FOR SUFFICIENCY TO SATISFY OR EXCEED MINIMUM REQUIREMENTS ESTABLISHED IN THE TOWN OF WAXHAW LAND DEVELOPMENT CODE STANDARDS AND APPLICABLE STANDARDS IDENTIFIED BY NCDOT. STREET CONNECTIONS ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE BASED ON AGENCY INPUT AND REVIEW.
- WATER AND SEWER CONNECTIONS TO BE COORDINATED WITH UNION COUNTY PUBLIC WORKS.
- UTILITY SIZE AND MATERIAL TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PHASE.
- PHASING AND CONSTRUCTION SCHEDULE IS PRELIMINARY AND SUBJECT TO CHANGE AS NECESSARY DURING THE DEVELOPMENT OF THE PROPOSED RESIDENTIAL COMMUNITY, AS WELL AS SWITCHING THE ORDER OF THE PHASES BEING DEVELOPED. ALL IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO STREETS, GRADING, STORM DRAINAGE, WATER MAINS, SANITARY SEWER MAIN, ETC.) SHOWN IN THIS PLAN SET ARE PRELIMINARY AND ARE SUBJECT TO CHANGE BY ENGINEER AND DEVELOPER DURING THE CONSTRUCTION DOCUMENT PHASE OF DESIGN.
- PER SEC. 8.4 OF THE TOWN OF WAXHAW LAND DEVELOPMENT CODE STANDARDS, EACH HOUSE WILL HAVE ONE MEDIUM TO LARGE MATURING TREE PROVIDED WITHIN THE REQUIRED FRONT YARD, TWO SMALL, MEDIUM, OR LARGE MATURING TREES SHALL BE PROVIDED WITHIN THE REQUIRED SIDE OR REAR YARDS, ONE OF WHICH SHALL BE OF THE MEDIUM TO LARGE MATURING VARIETY, FOUR SHRUBS SHALL BE PROVIDED FOR EACH REQUIRED YARD TREE AND MAY BE LOCATED ANYWHERE ON THE PARCEL. ALL PLANTING MUST BE SELECTED FROM THE APPROVED TOWN OF WAXHAW APPROVED SPECIES LIST (SECTION 9.21.15).
- TREE SURVEY TO BE PERFORMED AND SUBMITTED WITH CONSTRUCTION DOCUMENTS.
- PER SEC. 8.4 OF THE TOWN OF WAXHAW LAND DEVELOPMENT CODE STANDARDS, STREET TREES SHALL BE LOCATED NO CLOSER THAN 20 FEET FROM ANY STREET LIGHT UNLESS APPROVED BY THE ZONING ADMINISTRATOR.

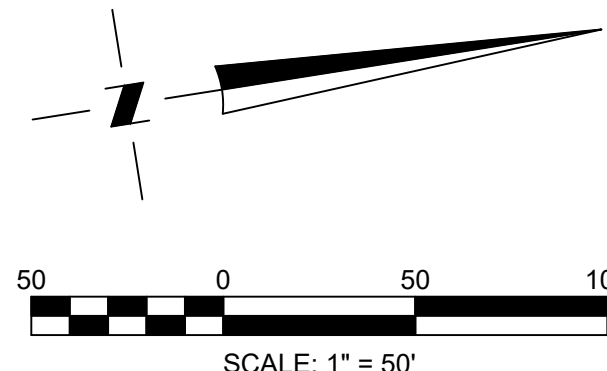


PER COMMENTS FROM TOWN OF WAXHAW, 51' R/W HAS BEEN MODIFIED TO SHOW 11' TRAVEL LANES & 6.5' PLANTING STRIPS. THIS CHANGE IS PART OF A REQUEST TO PROVIDE ADDITIONAL ON-STREET PARKING ALONG THE ENTRANCE ROAD WITHOUT A SWITCH TO THE 63' R/W CROSS-SECTION. SHOULD THE DEVELOPER DECIDE THAT 63' R/W IS POSSIBLE DURING THE CONSTRUCTION DOCUMENTS PROCESS, THEY RESERVE THE RIGHT TO CHANGE BACK TO THE TYPICAL TOWN CROSS-SECTION FOR 51' R/W. THIS WOULD ALLOW FOR 10.5' TRAVEL LANES AND 7' PLANTING STRIPS.



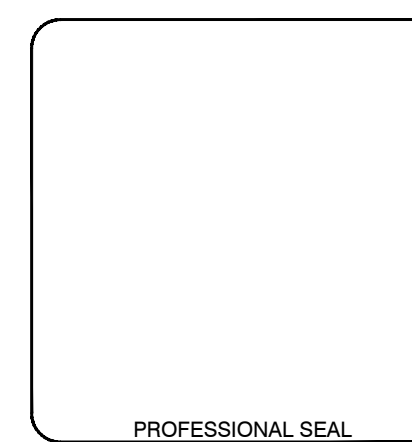
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PRELIMINARY DRAWINGS - DO NOT USE FOR CONSTRUCTION
PLOT DATE: 8/29/2022

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community infrastructure consultants
1213 W. MOREHEAD STREET
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CHARLOTTE, NC 28203
(704) 334-5348
(704) 334-0078
WWW.WKDICKSON.COM
NC LICENSE NO F-0374

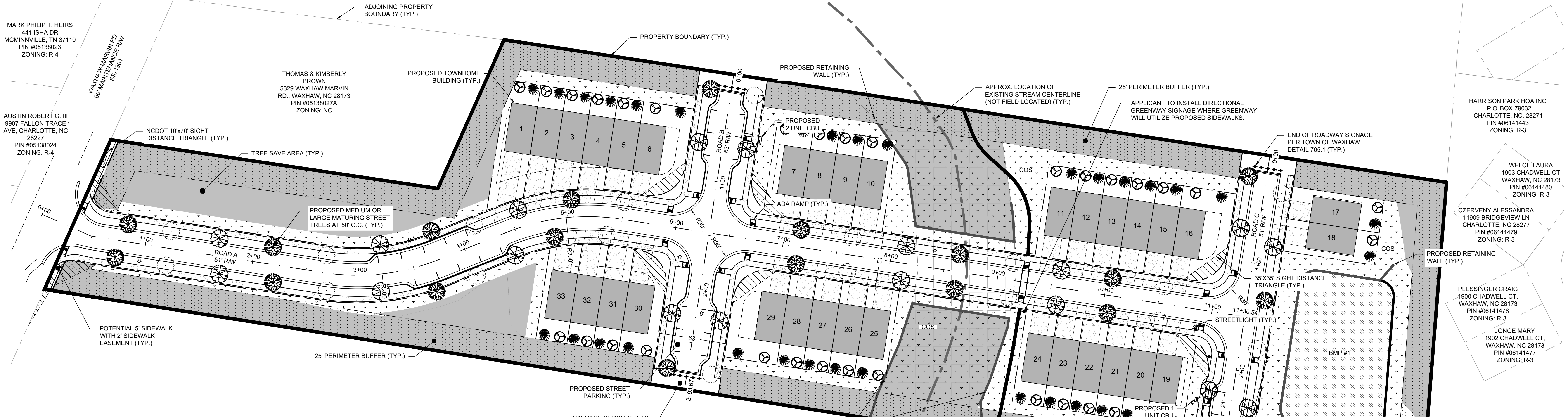
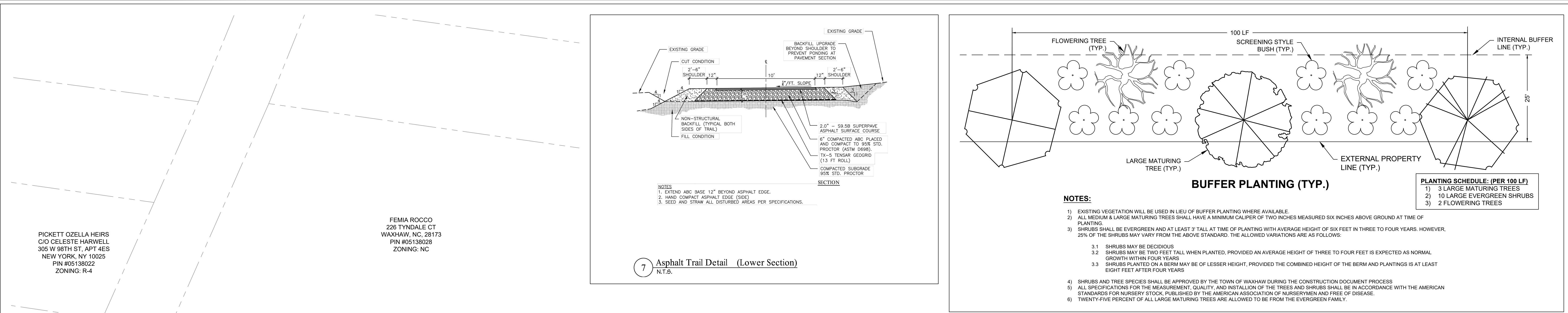


NO.	DATE	DESCRIPTION

PROJECT NAME:
THE VILLAGES AT WAXHAW
FOR
LENNAR CAROLINAS
6701 CARMEL ROAD, SUITE 425, CHARLOTTE, NC 28226

DRAWING TITLE:
COVER SHEET

PROJ. MGR.: WGB
DESIGN BY: WGB
DRAWN BY: WGB
PROJ. DATE: AUG. 2022
DRAWING NUMBER:
1.0
WKD PROJ. NO.:
2021079800



- LANDSCAPING NOTES:**
- STREET TREES SHALL BE MEDIUM OR LARGE MATURING TREES PLANTED WITHIN THE PLANTING STRIP ALONG ALL NEW PUBLIC STREETS AT 50' INTERVALS ON CENTER. SPACING MAY BE NO LESS THAN FORTY (40) ON CENTER AND NO MORE THAN SIXTY-FIVE (65) FEET ON CENTER AS TO AVOID CONFLICT WITH PROPOSED OR EXISTING UTILITIES.
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 - TREE SURVEY TO BE PERFORMED AND SUBMITTED WITH CONSTRUCTION DOCUMENTS.
 - PER SEC. 8.4 OF THE TOWN OF WAXHAW LAND DEVELOPMENT CODE STANDARDS, STREET TREES SHALL BE LOCATED NO CLOSER THAN 20 FEET FROM ANY STREET LIGHT UNLESS APPROVED BY THE ZONING ADMINISTRATOR.

LEGEND

	PROPERTY BOUNDARY		CENTERLINE OF STREAM
	ADJOINING PROPERTY LINE		CONCRETE SIDEWALK/DRIVEWAY
	PROPOSED LOT LINE		STREAM BUFFER ZONE
	EXISTING WATERLINE		EDGE OF PAVEMENT
	EXISTING SANITARY SEWER		BACK OF CURB
	PROPOSED BUILDING SETBACK		25' PERIMETER BUFFER
	END OF ROAD SIGN		COMMUNITY OPEN SPACE
	TREE SAVE AREA		STORMWATER MANAGEMENT AREA
	SEWER EASEMENT		

PLANTING TYPE SCHEDULE

SYM.	PLANTING TYPE
	TURKISH FILBERT
	EUROPEAN HORNBEAM
	KWANZAN CHERRY
	SUGAR HACKBERRY
	CRAPE MYRTLE

SITE PLAN DATA TABLE:

PARCEL NUMBERS:	05138026 & 05138027
ZONING CASE #:	SUB-013931-2022
TOTAL ACREAGE:	±7.31 AC
TOTAL AREA IN R/W:	±86,574 SQ. FT.
TOTAL AREA IN LOTS:	±81,341 SQ. FT.
TOTAL AREA IN COS:	±82,136 SQ. FT.
TOTAL AREA IN BUFFER:	±66,637 SQ. FT.
PRINCIPLE USES:	ATTACHED SINGLE FAMILY HOMES
ZONING DISTRICT:	R-4 CLUSTER
PROPERTY ZONING:	R-4 CLUSTER
MAXIMUM HEIGHT:	45'
MAXIMUM BLOCK LENGTH:	600*
*ZONING ADMINISTRATOR HAS WAIVED 600' BLOCK LENGTH DUE TO PROPERTY SHAPE.	
LOT COUNT:	33
TOTAL NUMBER OF DWELLINGS:	33

INTERNAL TREE SAVE CALCULATION:

INTERNAL TREE SAVE AREA:

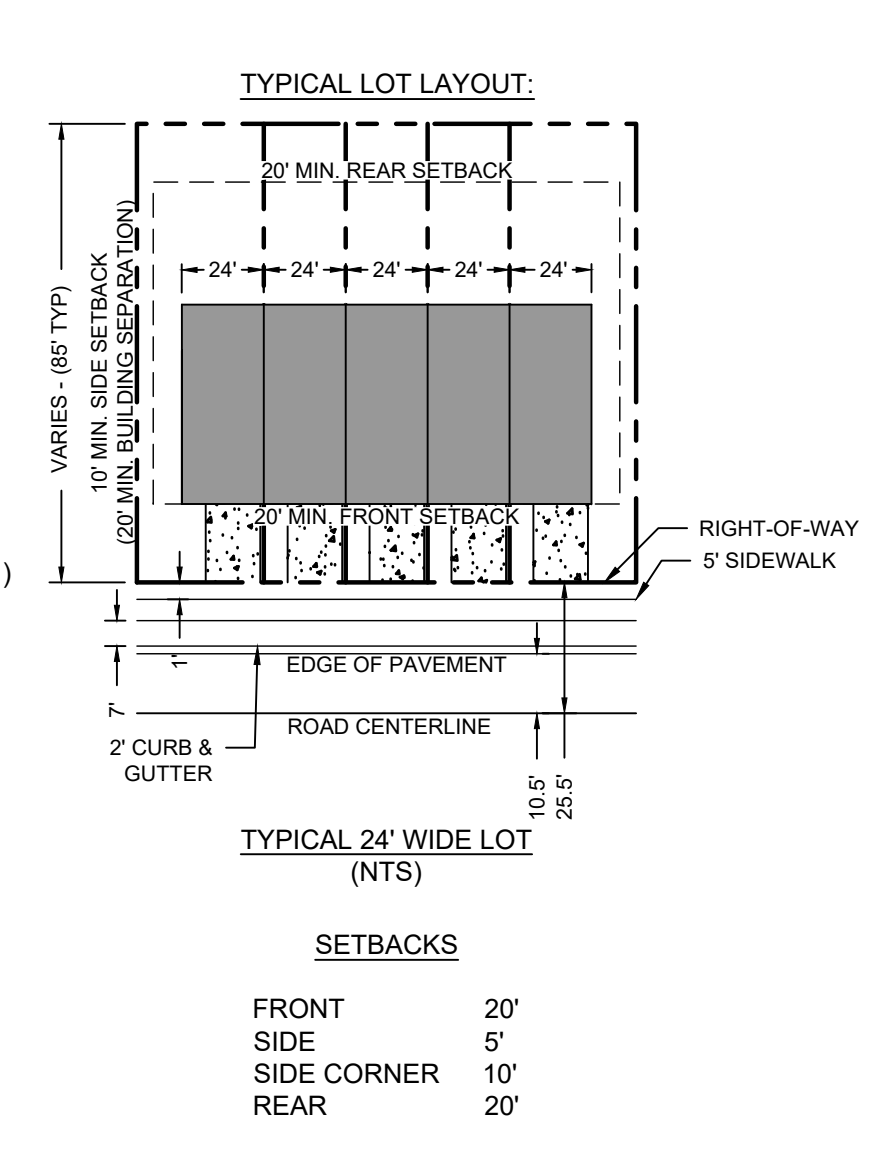
TOTAL TREE SAVE REQUIRED:	±2.19 AC. (30% OF ±7.31 AC.)
TOTAL TREE SAVE AREA PROVIDED:	±2.19 AC.*
*TOTAL TREE SAVE AREA INCLUDES BUFFERS PER TOWN OF WAXHAW COMMENTS	
TREE SAVE SHALL BE MIX OF EXISTING VEGETATION AND REPLANTED AREAS PER TOWN OF WAXHAW REQUIREMENTS.	

COMMUNITY OPEN SPACE CALCULATION:

TOTAL SITE AREA:	±7.31 AC.
MINUS PERIMETER BUFFER:	±1.70 AC.
TOTAL INTERNAL SITE AREA:	±5.61 AC.
COMMUNITY OPEN SPACE:	±1.12 AC. (20% OF ±5.61 AC.)
TOTAL REQUIRED COMMUNITY OPEN SPACE:	±1.12 AC.
TOTAL COMMUNITY OPEN SPACE AREA PROVIDED:	±1.31 AC.

PLANTING DATA TABLE:

YARD TREES:	3 TREES X 33 LOTS = 99 TREES
REQUIRED TREES:	3 TREES X 33 LOTS = 99 TREES
PROPOSED TREES:	3 TREES X 33 LOTS = 99 TREES
*PER TOWN OF WAXHAW PLANNING STAFF, YARD TREE PLANTING MAY BE SUPPLEMENTED AROUND THE PROPERTY IN COMMON OPEN SPACE WHERE NECESSARY DUE TO CONFLICTS WITH BUILDINGS & UTILITIES.	
STREET TREES:	
ROAD A: 1,130 LF	(38 TREES REQUIRED)
ROAD B: 293 LF	(10 TREES REQUIRED)
ROAD C: 296 LF	(10 TREES REQUIRED)



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community infrastructure consultants
1213 W. MOREHEAD STREET
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NC LICENSE NO F-0374

REVISION RECORD

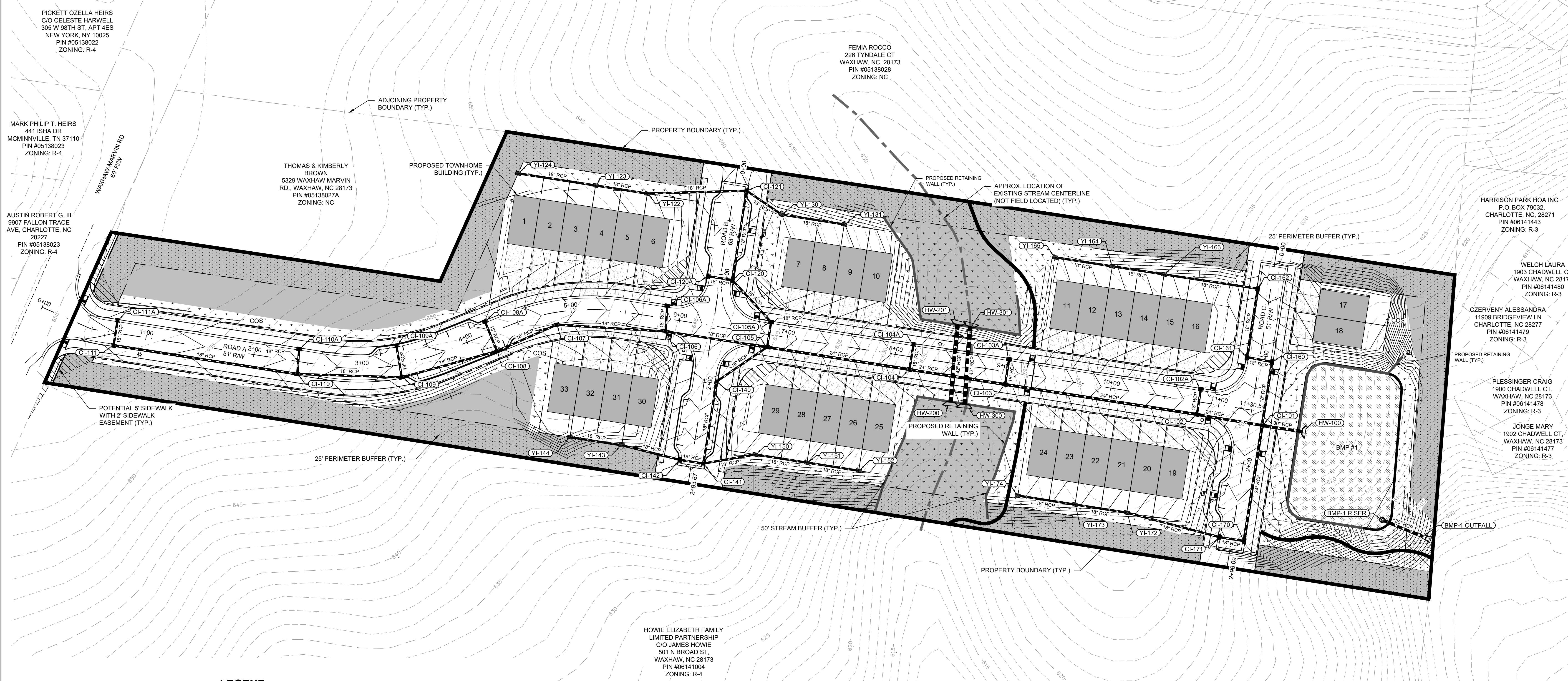
NO.	DATE	DESCRIPTION

THE VILLAGES AT WAXHAW
FOR
LENNAR CAROLINAS
6701 CARMEL ROAD, SUITE 425, CHARLOTTE, NC 28226
SITE & LANDSCAPE PLAN

PLOT DATE: 8/29/2022PROJECT NAME:
DESIGN BY: WGB
DRAWN BY: WGB
PROJ. DATE: AUG. 2022
DRAWING NUMBER:
2.0
WKD PROJ. NO.:
2021079800

LENNAR
WK DICKSON
community infrastructure consultants

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PICKETT OZELLA HEIRS
C/O CELESTE HARWELL
305 W 98TH ST, APT 4E5
NEW YORK, NY 10025
PIN #05138022
ZONING: R-4

MARK PHILIP T. HEIRS
441 ISHA DR
MCMINNVILLE, TN 37110
PIN #05138023
ZONING: R-4

AUSTIN ROBERT G. III
8907 FALLON TRACE
AVE, CHARLOTTE, NC
28227
PIN #05138023
ZONING: R-4

THOMAS & KIMBERLY
BROWN
5329 WAXHAW MARVIN
RD., WAXHAW, NC 28173
PIN #05138027A
ZONING: NC

FEIMA ROCCO
226 TYNDALE CT
WAXHAW, NC, 28173
PIN #05138028
ZONING: NC

HARRISON PARK HOA INC
P.O. BOX 79032
CHARLOTTE, NC, 28271
PIN #06141443
ZONING: R-3

WELCH LAURA
1903 CHADWELL CT
WAXHAW, NC 28173
PIN #06141480
ZONING: R-3

CZERVENY ALESSANDRA
11909 BRIDGEVIEW LN
CHARLOTTE, NC 28277
PIN #06141479
ZONING: R-3

PLESSINGER CRAIG
1900 CHADWELL CT,
WAXHAW, NC 28173
PIN #06141478
ZONING: R-3

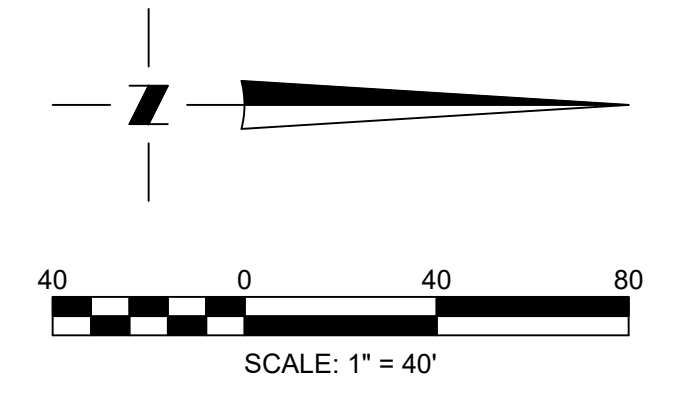
JONGE MARY
1902 CHADWELL CT,
WAXHAW, NC 28173
PIN #06141477
ZONING: R-3

HOWIE ELIZABETH FAMILY
LIMITED PARTNERSHIP
C/O JAMES HOWIE
531 N BROAD ST.
WAXHAW, NC 28173
PIN #06141004
ZONING: R-4

HARRISON PARK HOA INC
P.O. BOX 79032
CHARLOTTE, NC, 28271
PIN #06141443
ZONING: R-3

LEGEND

SYMBOL		SYMBOL	
[Line]	PROPERTY BOUNDARY	[Line]	CENTERLINE OF STREAM
[Dashed Line]	ADJOINING PROPERTY LINE	[Pattern]	CONCRETE SIDEWALK/DRIVEWAY
[Dotted Line]	PROPOSED LOT LINE	[Pattern]	STREAM BUFFER ZONE
[Dashed Line]	PROPOSED BUILDING SETBACK	[Line]	EDGE OF PAVEMENT
[Shaded Area]	TREE SAVE AREA	[Line]	BACK OF CURB
[Hatched Area]	STORMWATER MANAGEMENT AREA	[Pattern]	25' PERIMETER BUFFER
[Contour Line]	PROPOSED MINOR CONTOUR	[Pattern]	COMMUNITY OPEN SPACE
[Contour Line]	PROPOSED MAJOR CONTOUR	[Symbol]	PROPOSED STORM JUNCTION BOX
[Line]	PROPOSED STORM DRAINAGE	[Symbol]	PROPOSED CURB CATCH BASIN
[Symbol]	PROPOSED DROP INLET		



PROFESSIONAL SEAL

REVISION RECORD

NO.	DATE	DESCRIPTION	BY

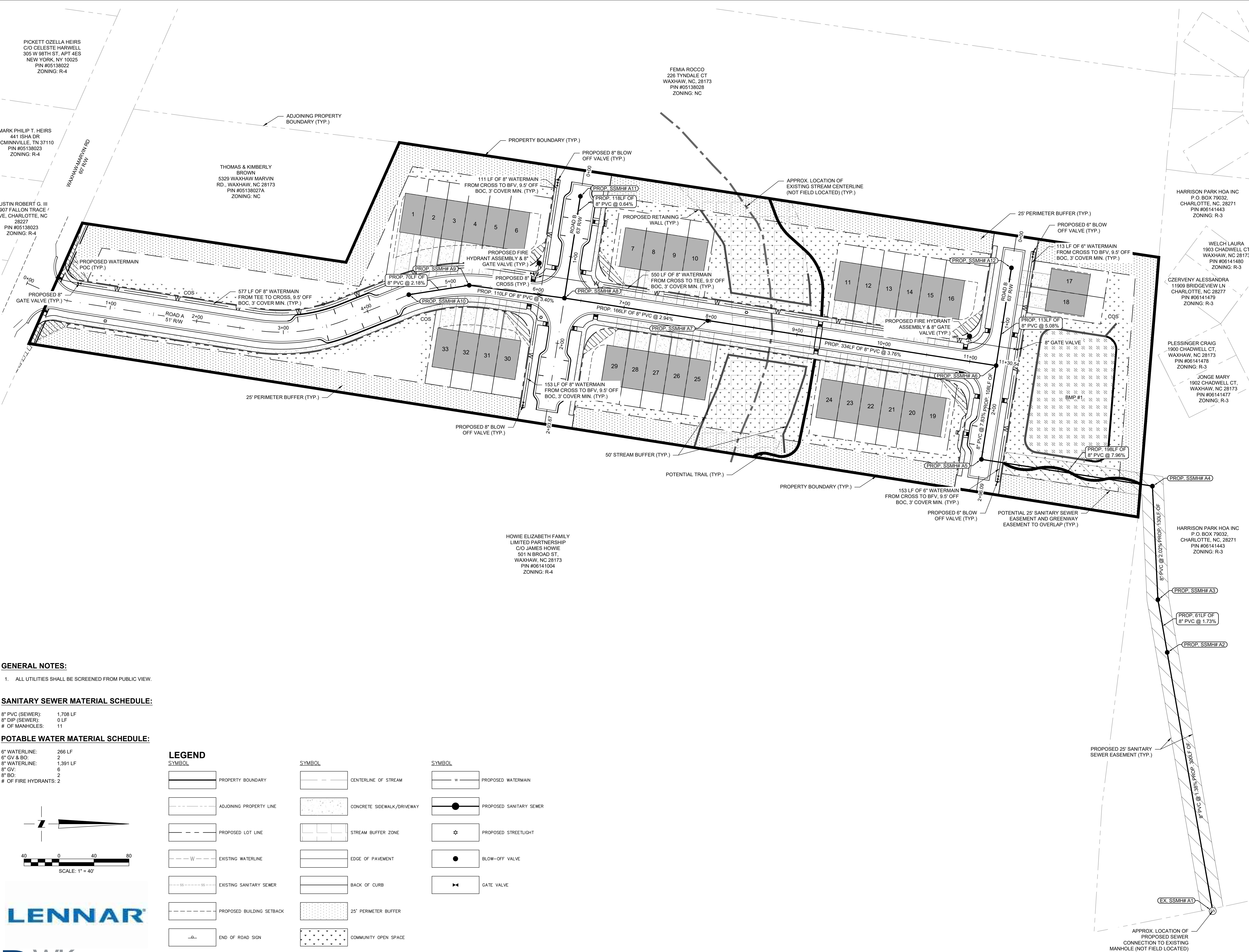
PROJECT NAME:
THE VILLAGES AT WAXHAW
FOR
LENNAR CAROLINAS
6701 CARMEL ROAD, SUITE 425, CHARLOTTE, NC 28226

DRAWING TITLE:
GRADING & STORMWATER PLAN

PLOT DATE: 8/29/2022

PROJ. MGR.:	WGB
DESIGN BY:	WGB
DRAWN BY:	WGB
PROJ. DATE:	AUG. 2022
DRAWING NUMBER:	3.0
WKD PROJ. NO.:	2021079800

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GENERAL NOTES:

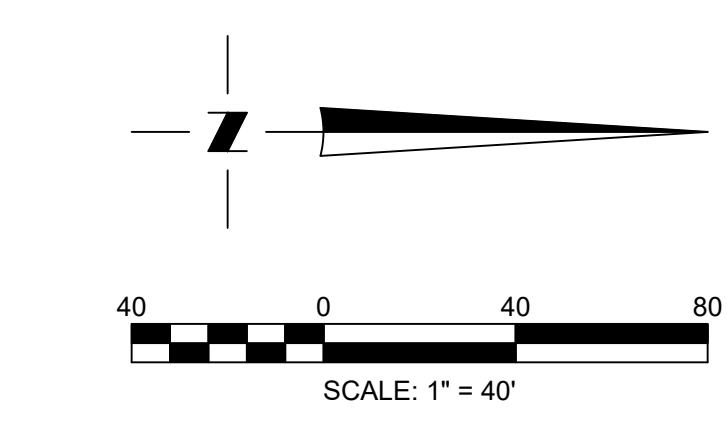
- ALL UTILITIES SHALL BE SCREENED FROM PUBLIC VIEW.

SANITARY SEWER MATERIAL SCHEDULE:

- 8" PVC (SEWER): 1,708 LF
- 8" DIP (SEWER): 0 LF
- # OF MANHOLES: 11

POTABLE WATER MATERIAL SCHEDULE:

- 8" WATERLINE: 286 LF
- 6" GV & BO: 2
- 8" WATERLINE: 1,391 LF
- 8" GV: 6
- 8" BO: 2
- # OF FIRE HYDRANTS: 2



LEGEND		SYMBOL		SYMBOL	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY		CENTERLINE OF STREAM		PROPOSED WATERMAIN
	ADJOINING PROPERTY LINE		CONCRETE SIDEWALK/DRIVEWAY		PROPOSED SANITARY SEWER
	PROPOSED LOT LINE		STREAM BUFFER ZONE		PROPOSED STREETLIGHT
	EXISTING WATERLINE		EDGE OF PAVEMENT		BLOW-OFF VALVE
	EXISTING SANITARY SEWER		BACK OF CURB		GATE VALVE
	PROPOSED BUILDING SETBACK		25' PERIMETER BUFFER		
	END OF ROAD SIGN		COMMUNITY OPEN SPACE		
	TREE SAVE AREA		STORMWATER MANAGEMENT AREA		
	FIRE HYDRANT ASSEMBLY		SEWER EASEMENT		

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 NC LICENSE NO F-0374

PROFESSIONAL SEAL

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NO	DATE	DESCRIPTION

PROJECT NAME: THE VILLAGES AT WAXHAW FOR LENNAR CAROLINAS
 PROJECT ADDRESS: 6701 CARMEL ROAD, SUITE 425, CHARLOTTE, NC 28226
 DRAWING TITLE: UTILITY PLAN

PROJ. MGR.:	WGB
DESIGN BY:	WGB
DRAWN BY:	WGB
PROJ. DATE:	AUG. 2022
DRAWING NUMBER:	4.0
WKD PROJ. NO.:	2021079800

PLOT DATE: 8/29/2022