

VICINITY MAP

PROPOSED CONDITIONS:

1. THE PLAN SHALL FOLLOW THE COTTAGE HOME DESIGN STANDARDS IN LDC 6.8.3.
2. 25' TREE BUFFER AROUND DEVELOPMENT SHALL BE WAIVED AS DEVELOPMENT DESIGN BEGAN PRIOR TO UPDATED TEXT DEVELOPMENT.
3. AN EXCEPTION IS GIVEN FOR BLOCK LENGTH REQUIREMENT TO ACCOMMODATE THE COTTAGE DESIGN.
4. PARK LAND DEDICATION/FEE IN LIEU FOR COTTAGE PARK SHALL BE LOCATED OR PAID DURING PHASE 2 LOCATED ACROSS THE STREET ON HELMS ROAD.

DWELLING, COTTAGE REQUIREMENTS:

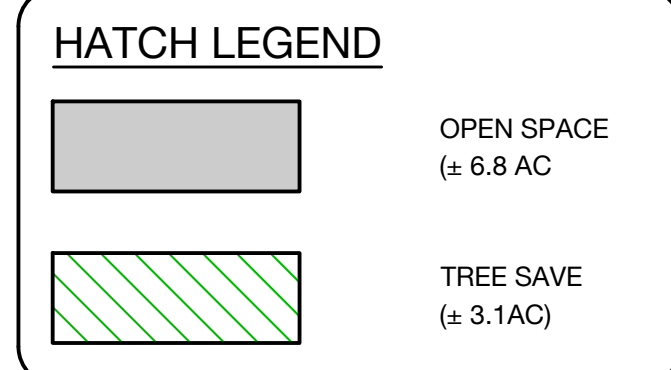
- DENSITY AND SETBACKS
1. BEYOND DENSITY RESTRICTIONS, THERE IS NO REQUIRED MINIMUM LOT SIZE FOR LOTS CREATED THROUGH THE SUBDIVISION PROCESS.
  2. 8 UNITS PER ACRE IN R-4 AND NC DISTRICTS. IN THE NC DISTRICT, COTTAGES SHALL BE A PORTION OF A MIXED-USE DEVELOPMENT.
  3. UNITS SHALL HAVE A MAXIMUM OF 2,800 SQUARE FEET, NOT INCLUDING DETACHED GARAGES. PROJECTS SHALL FEATURE A VARIETY OF UNIT SIZES WITHIN A SINGLE DEVELOPMENT.
  4. THE MINIMUM SETBACKS BETWEEN ALL STRUCTURES IN A DEVELOPMENT SHALL BE 15 FEET. EAVES MAY PROJECT INTO THE REQUIRED SETBACK.
  5. ALL OTHER SETBACKS FOR ALL STRUCTURES SHALL BE ACCORDING TO THE STANDARDS FOR THE UNDERLYING ZONING DISTRICT WITH A REDUCTION TO:
    - a. FRONT: 10 FEET
    - b. REAR: 10 FEET
    - c. SIDE (INTERIOR): 5 FEET
    - d. SIDE (CORNER): 10 FEET
    - e. THE MINIMUM SETBACK FROM INTERIOR ROADS

- COMMON OPEN SPACE
- THE MINIMUM COMMON OPEN SPACE REQUIREMENTS SET FORTH IN THIS SECTION ARE INTENDED TO PROVIDE A SENSE OF OPENNESS, VISUAL RELIEF, AND COMMUNITY WITHIN THE COTTAGE HOME DEVELOPMENT. COMMON OPEN SPACE SHALL BE CENTRALLY LOCATED TO PROVIDE GATHERING AREAS FOR THE DEVELOPMENT.
1. A MINIMUM OF 400 SQUARE FEET OF COMMON OPEN SPACE PER COTTAGE IS REQUIRED. A SMALLER AREA MAY BE CONSIDERED ON A CASE-BY-CASE BASIS BY THE ZONING ADMINISTRATOR.
  2. REQUIRED COMMON OPEN SPACE MAY BE DIVIDED INTO SEPARATE AREAS.
  3. TO BE COUNTED AS COMMON OPEN SPACE, THE AREA SHALL HAVE A MINIMUM DIMENSION OF 45 FEET ON ALL SIDES.
  4. A MINIMUM OF 300 SQUARE FEET OF PRIVATE OPEN SPACE PER COTTAGE IS REQUIRED.
  5. LANDSCAPING LOCATED IN COMMON OPEN SPACE AREAS SHALL BE DESIGNED TO ALLOW FOR EASY ACCESS AND USE OF THE SPACE BY ALL RESIDENTS, AND FACILITATE MAINTENANCE. EXISTING MATURE TREES SHOULD BE RETAINED.
  6. PARKING AREAS, YARD SETBACKS, PRIVATE OPEN SPACE, AND DRIVEWAYS DO NOT QUALIFY AS COMMON OPEN SPACE, IF A COMMUNITY BUILDING OR AMENITIES ARE PROVIDED, THIS CAN COUNT TOWARDS THE CALCULATION.
  7. DWELLINGS MAY HAVE FRONTAGE ON COMMON OPEN SPACE OR COURTYARD.

PEDESTRIAN CONNECTIVITY AND WALKABILITY  
A SYSTEM OF INTERIOR PAVED WALKWAYS AND TRAILS SHALL CONNECT ALL COTTAGES WITH EACH OTHER, THE COMMON OPEN SPACE, AND THE SIDEWALKS ABUTTING ANY PUBLIC STREETS ABUTTING THE DEVELOPMENT.

DESIGN STANDARDS  
SEE CHAPTER 6 DESIGN STANDARDS FOR DESIGN RECOMMENDATIONS AND REQUIREMENTS.

- PARKING
1. SEE CHAPTER 7 STREETS, DRIVEWAYS, AND PARKING FOR PARKING REQUIREMENTS FOR SINGLE-FAMILY DWELLINGS
  2. TO OFFER FLEXIBILITY, THE OPTIONS OF NO GARAGE OR REAR DETACHED AND REAR ATTACHED GARAGES SHALL BE REQUIRED FOR VARIETY AND STYLING DIFFERENCES.



**DEVELOPMENT SUMMARY**

TAX PARCEL ID #:	051-380-10
TOTAL SITE AREA:	29.59 AC
EXISTING ZONING:	NC
SETBACKS:	
FRONT:	0' - 20'
SIDE:	5' (0' AT CORNER)
REAR:	15'
MAX. BUILDING HEIGHT:	54'
MAX DU/A:	8.0 (UP TO 236 UNITS)
PROPOSED DU/A:	7.6
PROPOSED USE:	
NON-RES COMMERCIAL:	19,303 SF
DETACHED RESIDENTIAL:	118 UNITS
ATTACHED RESIDENTIAL:	79 UNITS
LIVE/WORK:	
RESIDENTIAL:	28 UNITS
COMMERCIAL:	15,327 SF
TOTAL COMMERCIAL:	34,630 SF
TOTAL RESIDENTIAL:	225 UNITS
PARKING:	
OFF-STREET:	179 SPACES
GARAGE:	315 SPACES
DRIVEWAY:	82 SPACES
TOTAL:	576 SPACES
OPEN SPACE:	
PROVIDED:	± 6.8 AC
TREE SAVE:	
PROVIDED:	± 3.1 AC

**CONTACT INFORMATION**

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**URBAN DESIGN PARTNERS**

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CHARLOTTE, NC 28208  
P 704.334.3303  
urbandesignpartners.com  
nc firm no: P-0418 sc coa no: C-03044

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Broadstreet Homes, Inc.  
Brian Iagnemma

1041 Red Ventures Drive, STE 110  
Fort Mill, SC 29707

# Cottage Park

## Rezoning Site Plan

Waxhaw Marvin Rd, Waxhaw, NC 28173

NO. DATE: BY: REVISIONS:

01 08.23.22 UDP PER TOWN OF WAXHAW COMMENTS

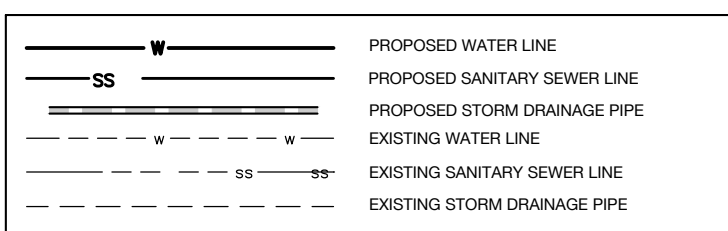
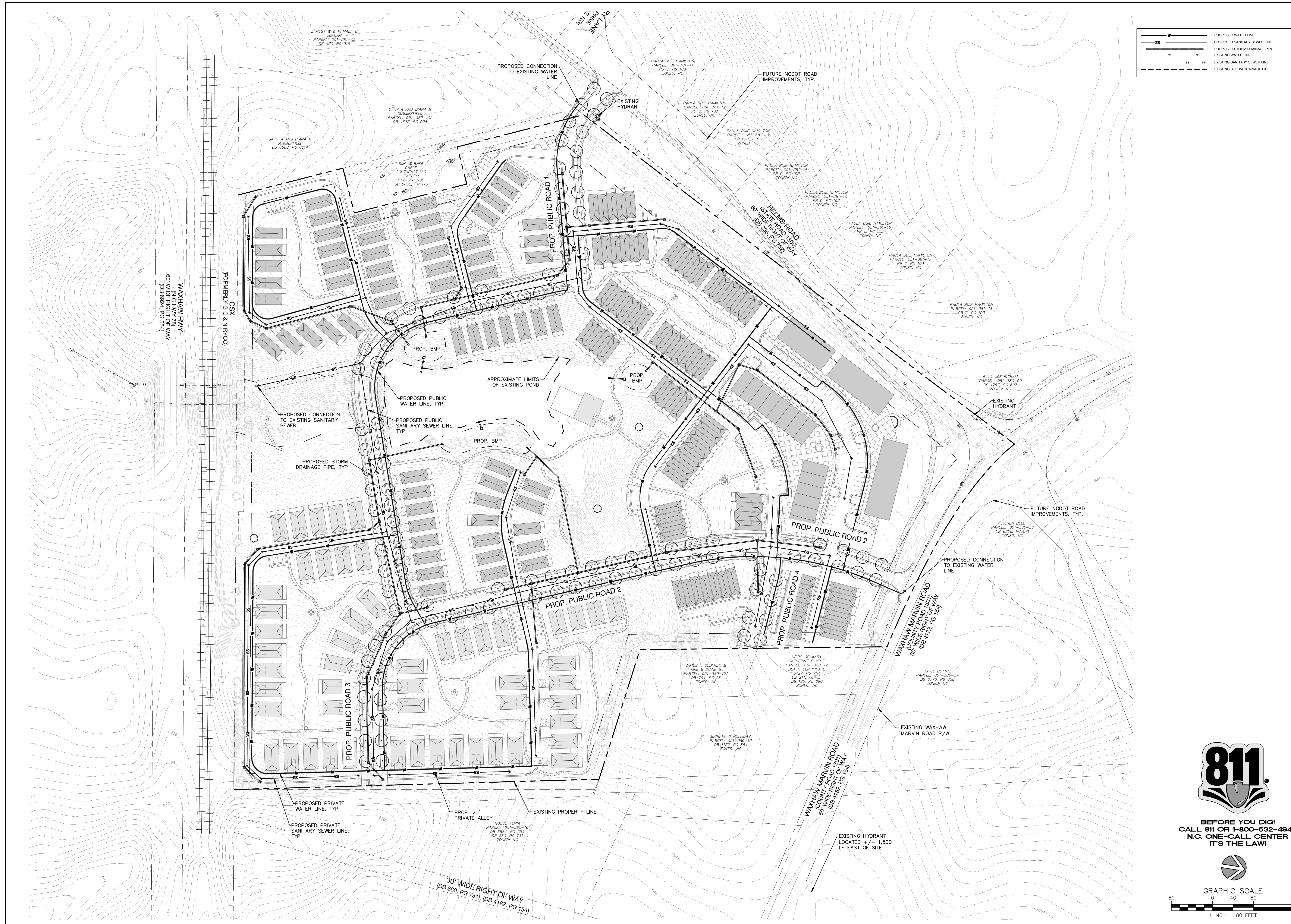
02 11.07.22 UDP PER TOWN OF WAXHAW COMMENTS

Project No: 21-CLT-010  
Date: 03.18.2022  
Designed By: UDP  
Checked By: UDP  
Sheet No:

**RZ-1.0**

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GRAPHIC SCALE  
0 40 80 160  
1 INCH = 80 FEET



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# Cottage Park

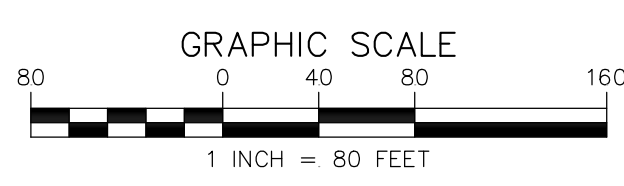
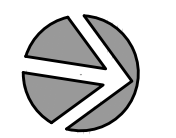
## Overall Storm & Utility Plan

Waxhaw Marvin Rd, Waxhaw, NC 28173

NO.	DATE	BY:	REVISIONS:
01	08.23.22	UDP	PER TOWN OF WAXHAW COMMENTS
02	11.07.22	UDP	PER TOWN OF WAXHAW COMMENTS

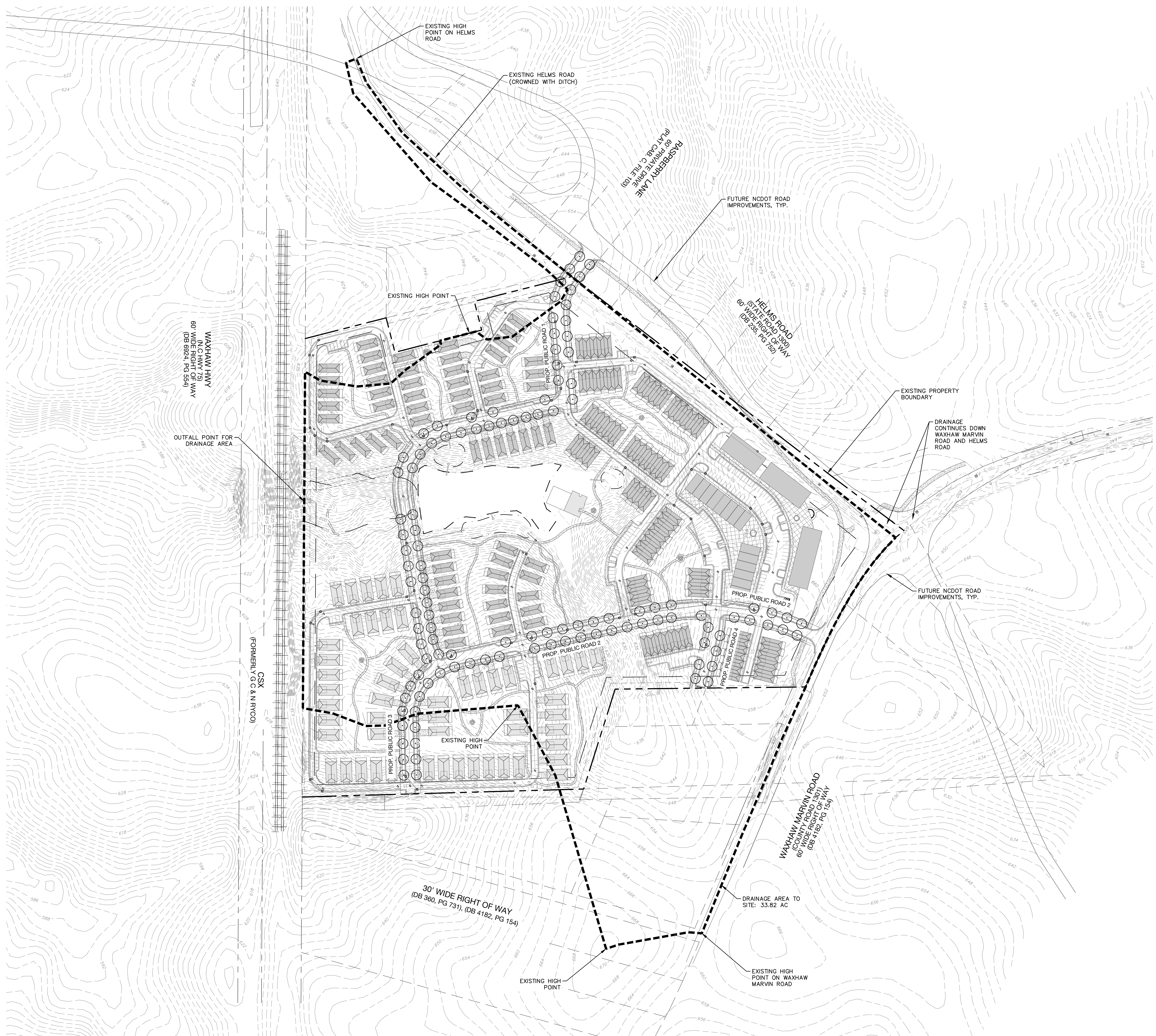


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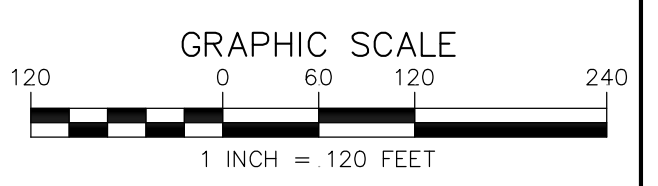
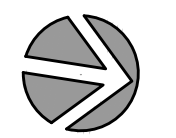
# Cottage Park

## Drainage Area Plan

Waxhaw Marvin Rd, Waxhaw, NC 28173



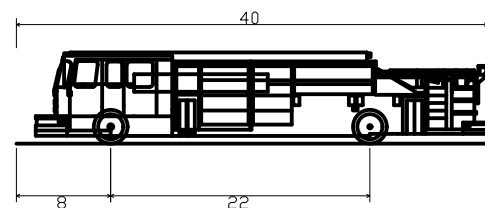
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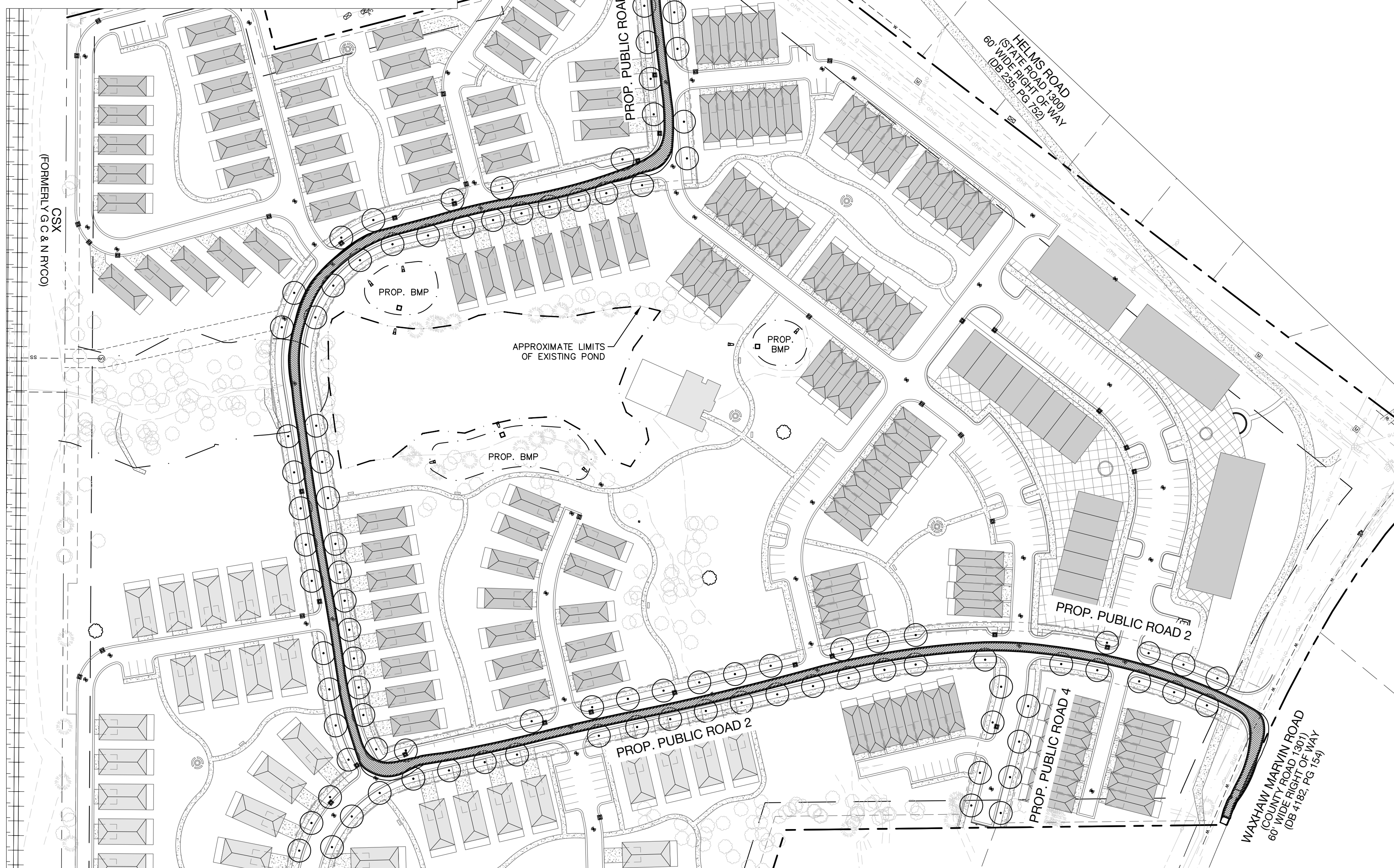
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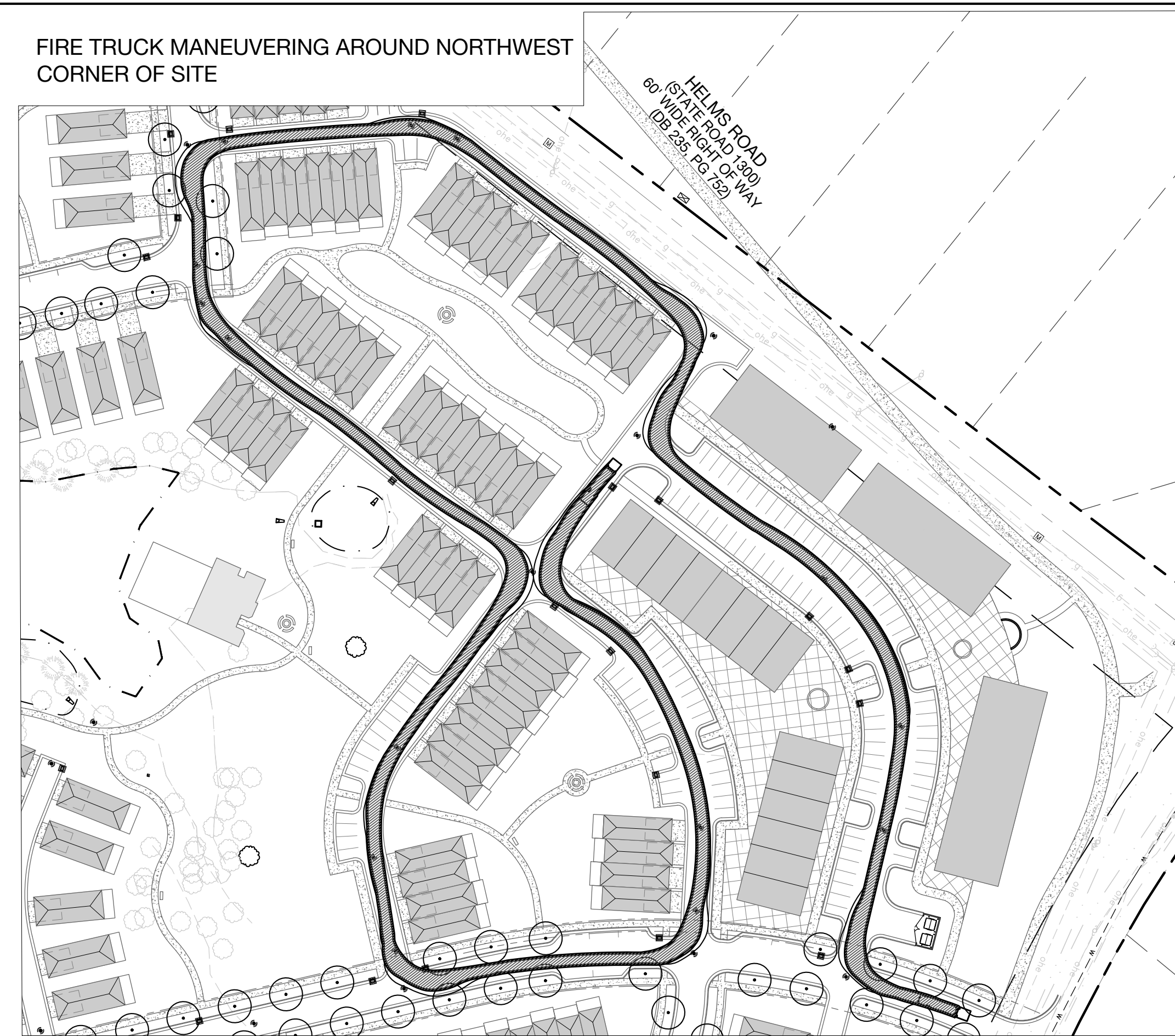


Pumper Fire Truck  
 Overall Length 40.000ft  
 Overall Width 8.167ft  
 Overall Body Height 7.745ft  
 Min. Body Ground Clearance 0.656ft  
 Track Width 6.167ft  
 Lock-to-lock time 0.005  
 Wall to Wall Turning Radius 42.310ft

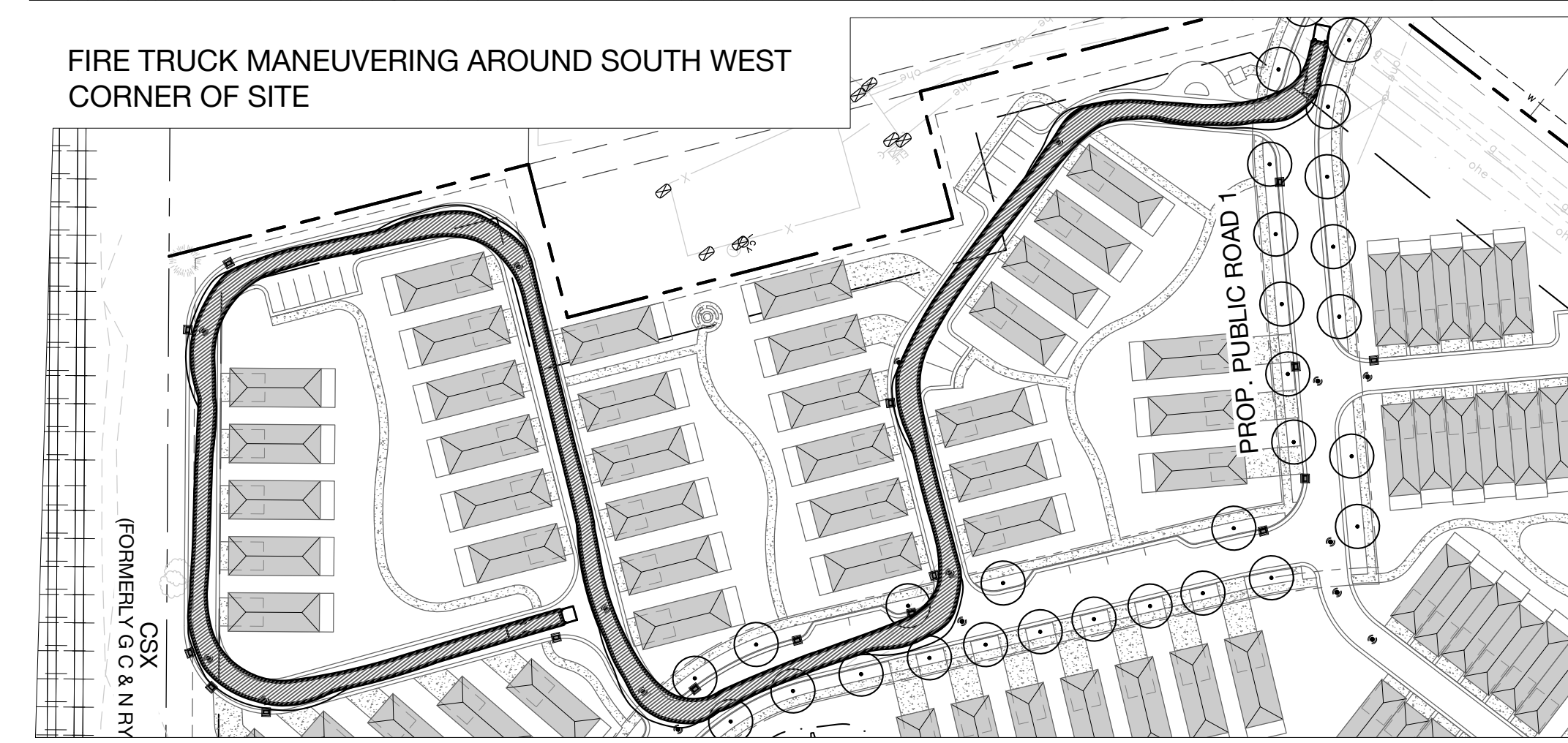
**DESIGN VEHICLE: FIRE TRUCK**



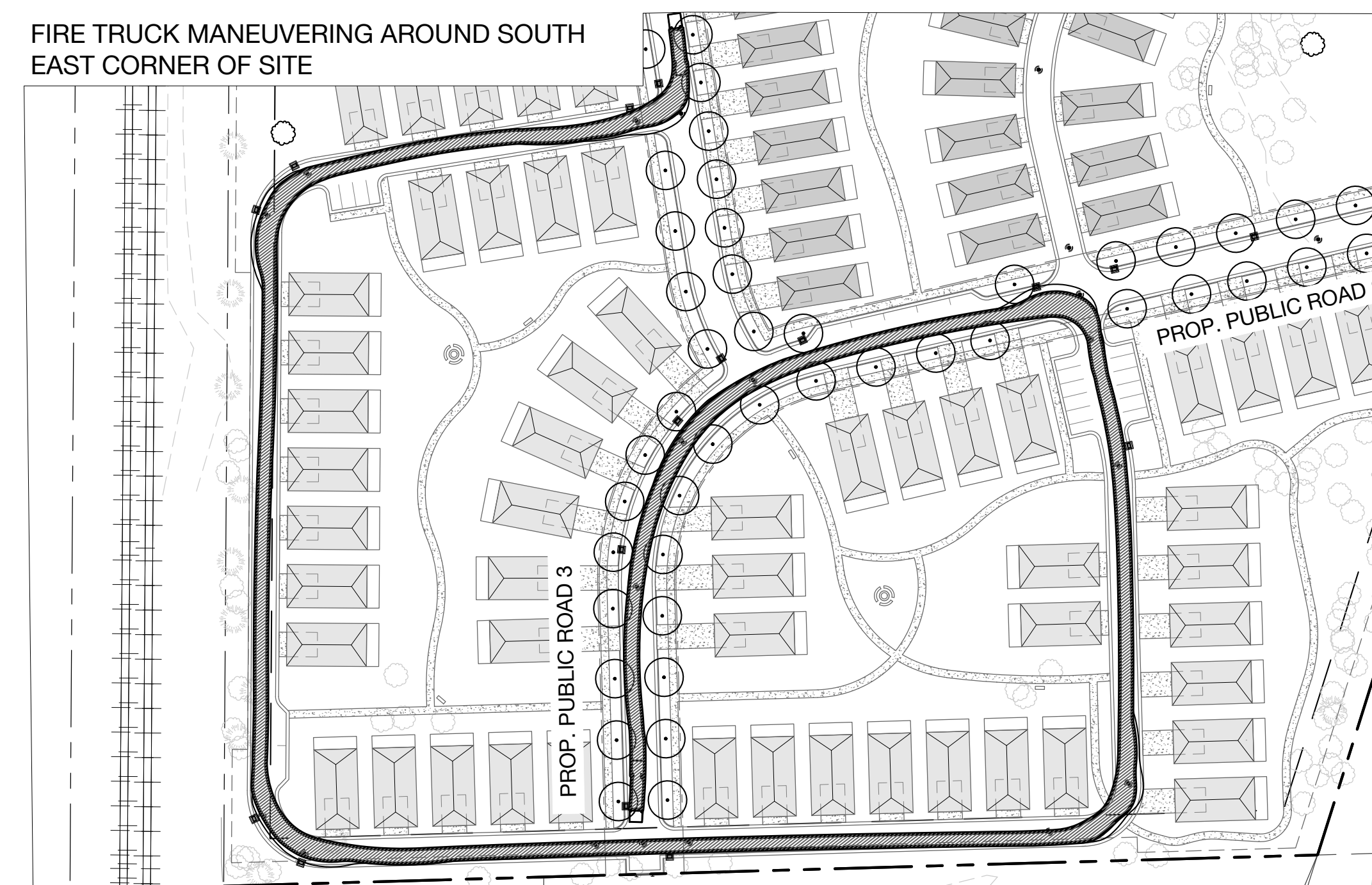
FIRE TRUCK MANEUVERING AROUND SITE VIA PUBLIC ROADS



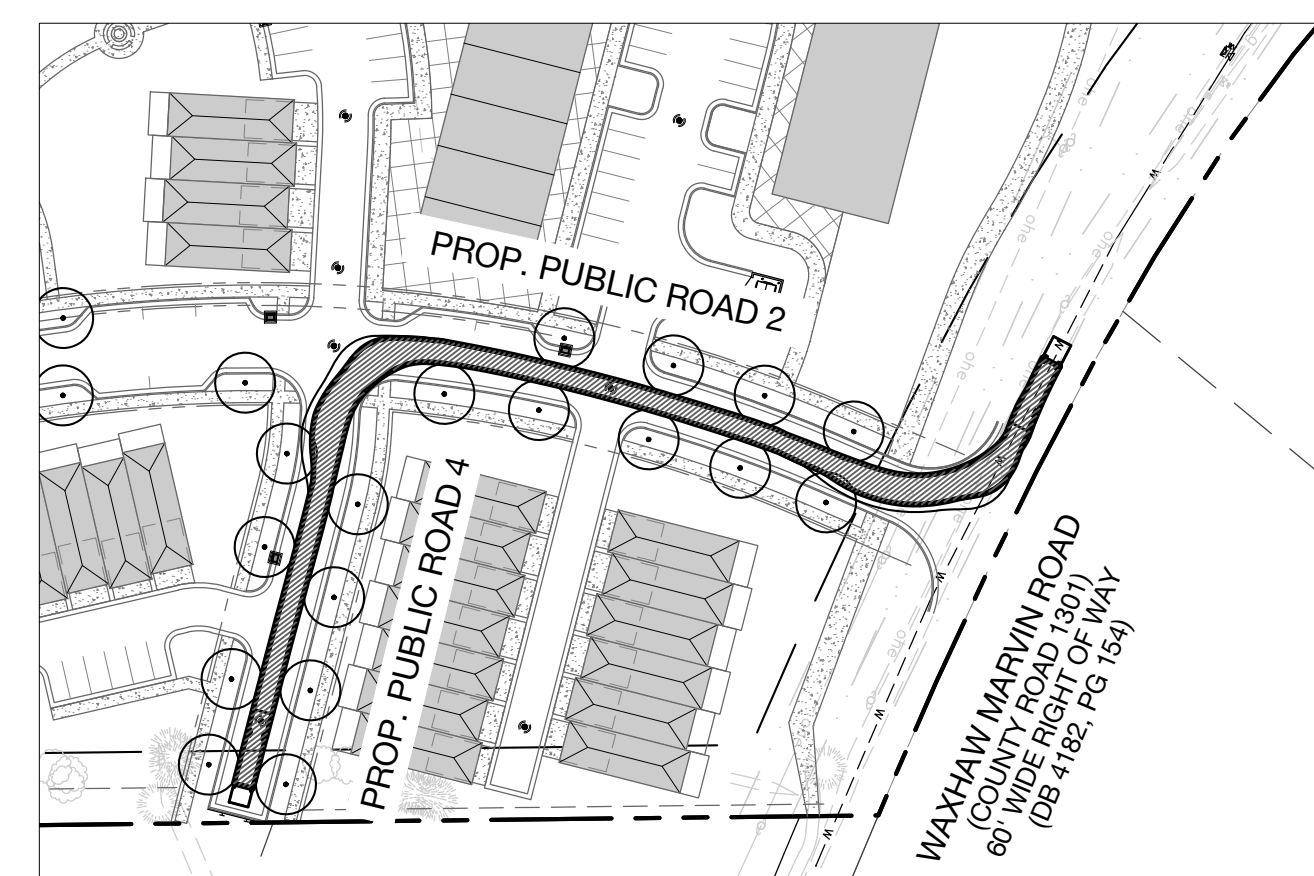
FIRE TRUCK MANEUVERING AROUND NORTHWEST CORNER OF SITE



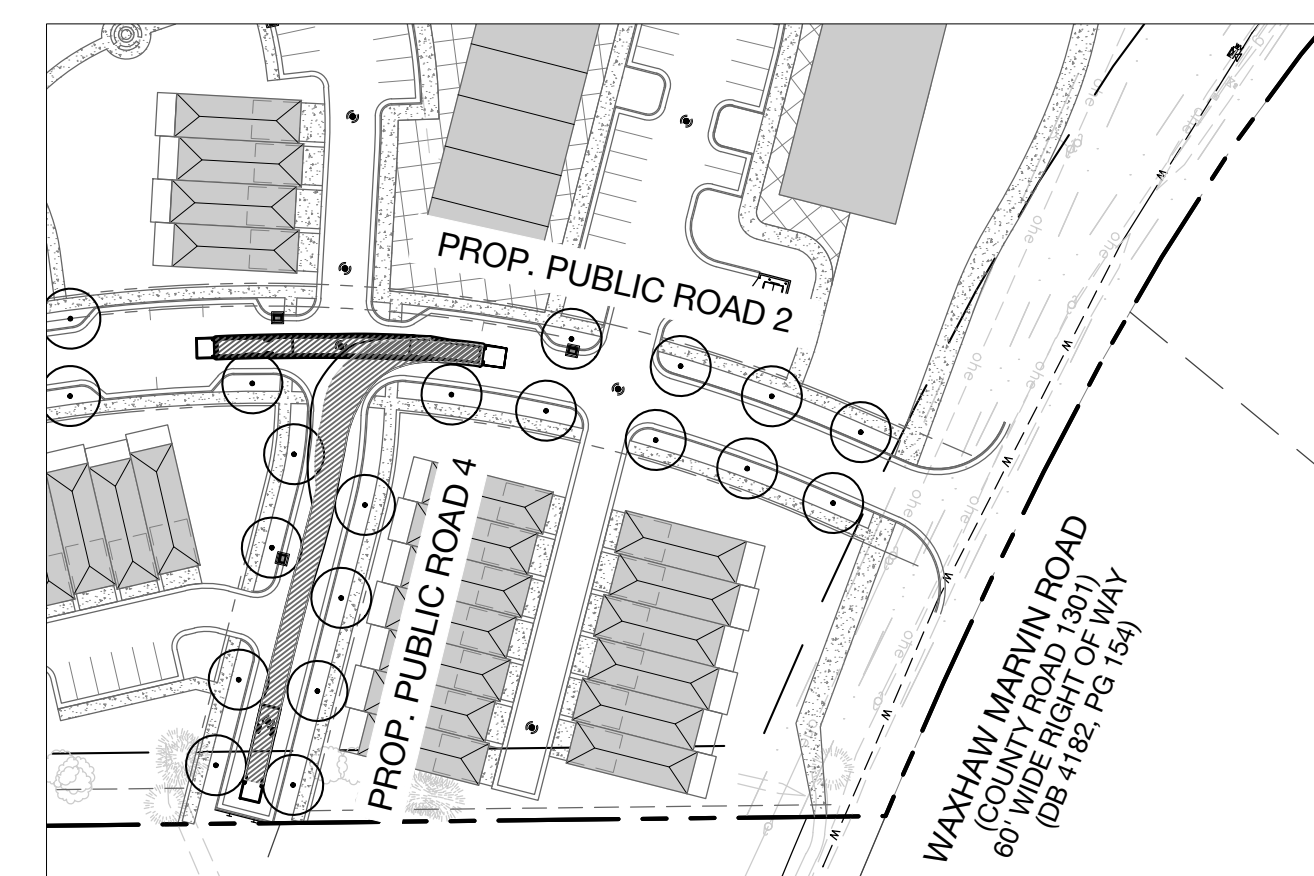
FIRE TRUCK MANEUVERING AROUND SOUTH WEST CORNER OF SITE



FIRE TRUCK MANEUVERING AROUND SOUTH EAST CORNER OF SITE



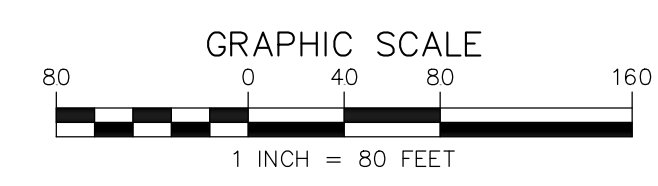
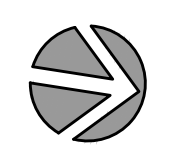
FIRE TRUCK ENTERING SITE ALONG PUBLIC ROAD 2, TURNING INTO PUBLIC ROAD 4



FIRE TRUCK BACKING UP ALONG PUBLIC ROAD 4 AND CONTINUING ALONG PUBLIC ROAD 2



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