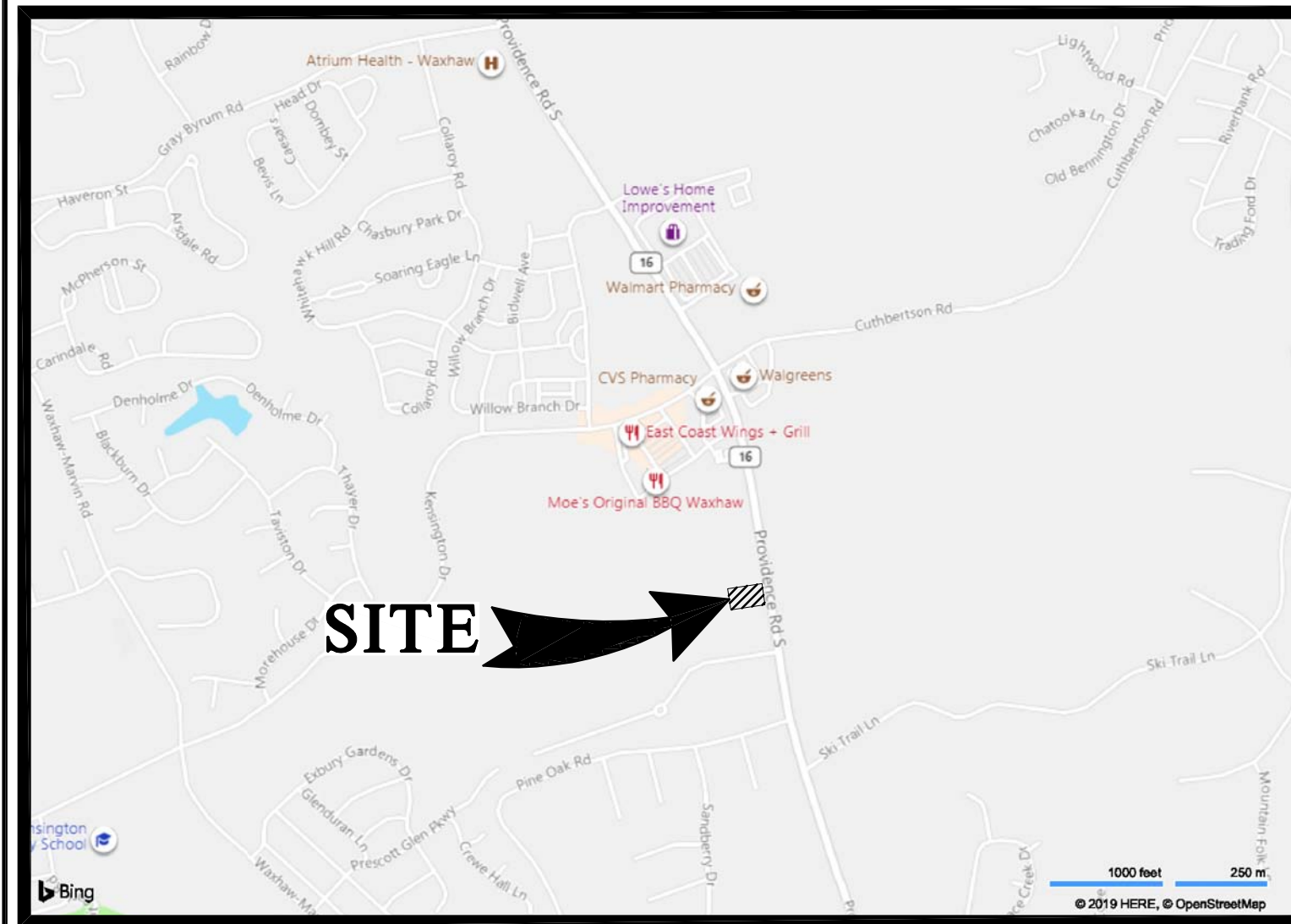




# ARBY'S #8821 @ PRESCOT VILLAGE

1001 ASPINAL STREET (PROVIDENCE RD)  
WAXHAW, N.C. 28173  
UNION COUNTY  
PARCEL #06165436  
ZONED:CU-C2



VICINITY MAP

SCALE: NTS

ANTICIPATED ACTIVITY SCHEDULE						
ACTIVITY/MONTH	1	2	3	4	5	6
1 INSTALL EROSION CONTROL AND TREE PROTECTION	█					
2 CLEARING AND GRADING	█	█				
3 STORM DRAIN INSTALLATION		█	█			
4 SANITARY SEWER INSTALLATION			█	█		
5 GRASS (TEMP.) (PERM.)					█	█
6 UTILITY INSTALLATION				█		
7 MAINTAIN EROSION CONTROL	█	█	█	█	█	█
8 BLDG. CONST. AND PAVING				█	█	
9 FINAL LANDSCAPING						█
10 CLEAN UP						█

NOTE: EROSION CONTROL DEVICES ARE REQUIRED ON THIS PROJECT. CONTRACTOR TO INSTALL ANY EROSION CONTROL DEVICE THAT REDUCES EXCESS RUNOFF INTO NEIGHBORING STORMWATER SYSTEMS. THE INSTALLATION OF EROSION CONTROL MEASURES AND TREE PROTECTION DEVICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

**WATER & SEWER**  
UNION COUNTY PUBLIC WORKS  
WATER & SEWER  
500 N. MAIN ST  
MONROE, NC 28112  
(704) 283-3500

**NATURAL GAS**  
PIEDMONT NATURAL GAS  
JOHN HARRINGTON  
(704) 572-5693

**ELECTRIC**  
UNION POWER COOPERATIVE, INC.  
1525 N. ROCKY RIVER RD.  
MONROE, NC 28110  
(800) 922-6840

**PLANNING-ZONING**  
TOWN OF WAXHAW  
PLANNING DEPARTMENT  
1150 N. BROOME ST  
WAXHAW, NC 28173  
704-843-2195

**STORM WATER & EROSION CONTROL**  
DEVELOPMENT SERVICES DEPT.  
ENGINEERING DIVISION  
1150 N. BROOME ST  
WAXHAW, NC 28173  
704-843-2195

## INDEX OF DRAWINGS

- S ..... SURVEY
  - C.0 ..... EXISTING CONDITIONS & DEMOLITION & EROSION CONTROL PH 1 PLAN
  - C.1 ..... SITE PLAN
  - C.1A ..... SIGHT DISTANCE PLAN
  - C.1B ..... UTILITY PLAN
  - C.2 ..... GRADING PLAN
  - C.3 ..... EROSION CONTROL PH 2 PLAN
  - C.4 ..... DETAIL SHEET
  - C.5 ..... DETAIL SHEET
  - C.6 ..... DETAIL SHEET
  - C.7 ..... DETAIL SHEET
  - C.8 ..... DETAIL SHEET
  - C.9 ..... DETAIL SHEET
  - LA.1 ..... LANDSCAPE PLAN
  - LA.2 ..... LANDSCAPE DETAIL SHEET
- (The following Sheets are included FOR FOR REFERENCE ONLY)
- A2.1 ..... EXTERIOR ELEVATIONS
  - A2.2 ..... EXTERIOR ELEVATIONS
  - SL.1 ..... SITE LIGHTING & PHOTOMETRIC PLAN



Know what's below.  
Call before you dig.

### NOTES

- ALL STORM DRAINAGE, WATER, SEWER AND NATURAL GAS AND OTHER ON SITE UNDERGROUND UTILITIES PIPE SHALL INCLUDE A TRACER WIRE INSTALLED WITH IT.

### DEVELOPER:

**BRUMIT RESTAURANT GROUP, LLC**  
MR. TYLER LANCE



P.O. BOX 15726  
ASHEVILLE, NC 28813  
(828) 274-5835

FINANCIALLY RESPONSIBLE PERSON:  
**BUILD-IT CONSTRUCTION, LLC**  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
TYLER LANCE - Ph:(828) 421-4278 Email:TYLERL@NCARBYS.COM

### ENGINEER:

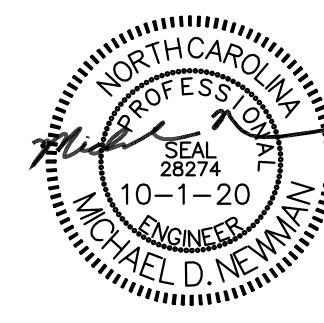


C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044

**CONTACT:**  
MR. MICHAEL D. NEWMAN, PE

9.4.20 PER TOWN PLAN REVIEW  
10.1.20 PER U.C.P.W. REVIEW

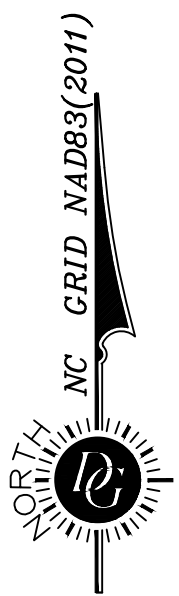
P-0883



### JOB NO:

# 2020-104





**ZONING INFORMATION**

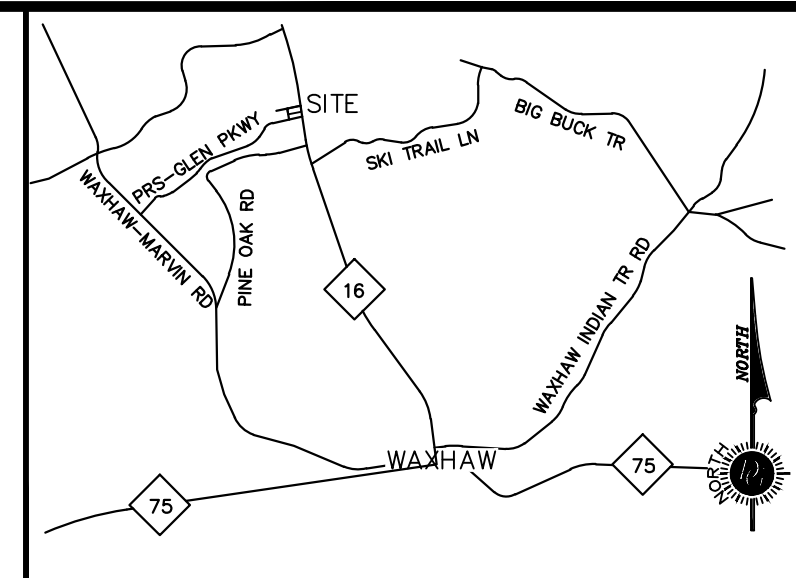
AUTHORITY: TOWN OF WAXHAW  
PLANNING DIVISION  
ADDRESS: 1150 NORTH BROOME ST  
WAXHAW, NC 28173  
PHONE #: 704-843-2195

ZONING DISTRICT: CU-C2, CONDITIONAL  
USE HIGHWAY  
COMMERCIAL

CURRENT BUILDING SETBACK  
DISTANCES  
FRONT: 20'  
SIDE INTERIOR: 10'  
SIDE STREET: 20'  
REAR: 20'

**FLOOD ZONE INFORMATION**

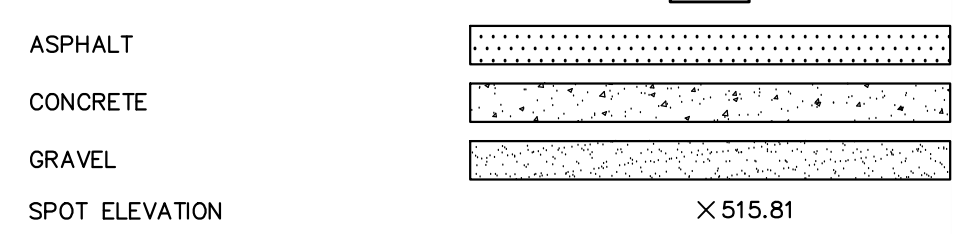
ACCORDING TO MAPPING PROVIDED BY THE  
FEDERAL EMERGENCY MANAGEMENT AGENCY  
AND SHOWN ON THE FLOOD INSURANCE RATE  
MAP (FIRM) TOWN OF WAXHAW, UNION  
COUNTY, NORTH CAROLINA PANEL NUMBER  
3710447400J, EFFECTIVE DATE: OCTOBER 16,  
2008, THE PROPERTY SHOWN HEREON IS  
NOT LOCATED WITHIN A SPECIAL FLOOD  
HAZARD AREA. THE PROPERTY IS ENTIRELY  
WITHIN AN AREA DESIGNATED ZONE X -  
AREAS OF MINIMAL FLOOD HAZARD.



VICINITY MAP  
NOT TO SCALE

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- SILT FENCE
- BUILDING SETBACK LINE
- EXISTING CONTOUR LINE
- FUTURE UNDERGROUND POWER LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- IRON PIN FOUND (SIZE AND TYPE AS NOTED)
- STATE DOT MONUMENT
- 1/2" REBAR W/ CAP SET
- NAIL & DISK SET
- TRAFFIC SIGNAL JUNCTION BOX
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- STORM MANHOLE
- DROP INLET
- SANITARY MANHOLE
- CLEANOUT
- SIGN
- FUTURE LIGHT POLE
- STREET ADDRESS



**NOTES**

1. THE STREET ADDRESS OF THE PROPERTY IS 1001 ASPINAL STREET, WAXHAW, NC.
2. THE TAX PARCEL IDENTIFICATION NUMBER FOR THE SUBJECT PROPERTY IS 06165436.
3. THE TOTAL AREA OF THE PROPERTY SURVEYED CONTAINS 51,440 SQUARE FEET OR 1.181 ACRES, MORE OR LESS.
4. THIS PROPERTY AREA WAS DETERMINED BY THE COORDINATE COMPUTATION METHOD.
5. DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
6. UNADJUSTED RATIO OF PRECISION 1:76,952.
7. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. **NOTE THAT THE UNDERGROUND POWER, INCLUDING THE LIGHT POLE LOCATIONS, ARE PROPOSED AND WERE NOT INSTALLED AS OF THE DATE OF THIS SURVEY. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE BEGINNING ANY CONSTRUCTION OR BORINGS, CONTACT THE UTILITIES PROTECTION CENTER AT 1-800-632-4949.**
8. THE PROPERTY SHOWN HEREON HAS ACCESS TO ASPINAL STREET AND PROVIDENCE ROAD, BOTH OF WHICH ARE PUBLIC STREETS.
9. THIS SURVEY IS REFERENCED TO THE NC STATE PLANE COORDINATE SYSTEM, NAD 83(2011).
10. DONALDSON, GARRETT & ASSOCIATES, INC. AND THE LAND SURVEYOR WHOSE SEAL IS AFFIXED HEREON DO NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THIS PROPERTY ARE SHOWN.
11. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
12. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AS OF APRIL 28, 2020.
13. THERE WAS NO OBSERVED EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

**SURVEYOR'S CERTIFICATE**

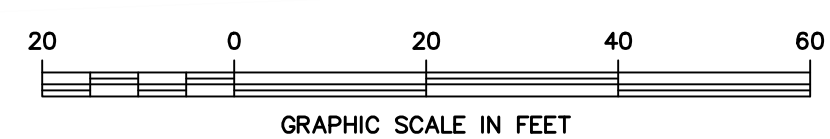
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B 1&2), 7(C), 8, 9, 11(A), 11(B), 13, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 28, 2020.

"I, JOHN M. STORY, CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET."

"I, JOHN M. STORY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DB 7290, PG 589, UNION COUNTY RECORDS); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:76,952; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 1st DAY OF MAY A.D. 2020."

*John M. Story*  
JOHN M. STORY  
PROFESSIONAL LAND SURVEYOR - 3840  
June 23, 2020  
DATE



BOUNDARY & TOPOGRAPHIC SURVEY  
FOR  
**MDV ENGINEERING**  
PROPOSED ARBYS  
1001 ASPINAL STREET - PARCEL D - PRESCOT VILLAGE  
TOWN OF WAXHAW    UNION COUNTY    NORTH CAROLINA

REVISION: 6/23/20 ADDED ADD. UTILITY EASEMENT.	DWN.BY: JH	DATE: MAY 1, 2020
	CHKD BY: JMS	SCALE: 1"=20'
	FIELD BOOK N/A	PROJECT NO. 4191-006-N1
PLS NO. L-3840	PLS NO. L-3840	DRAWING NO. NC-023-20-D

Donaldson  
Garrett  
&  
Associates, Inc.  
1300 SOUTHERN PINE BOULEVARD  
CHARLOTTE, NC 28273  
(704) 374-1853  
http://www.dg-a.com  
John.Story@dg-a.com  
NC CORPORATE LICENSE NO. C-1618

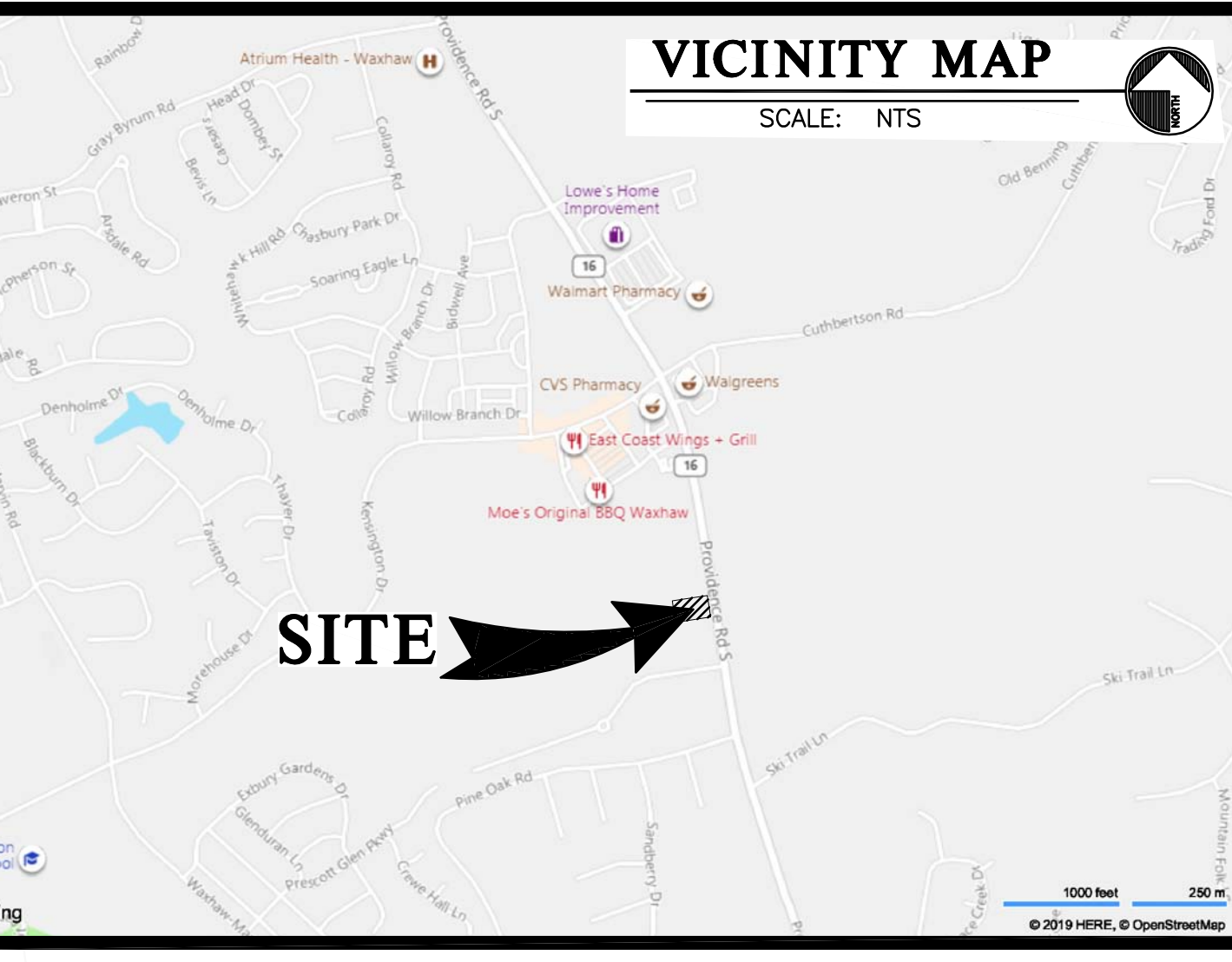
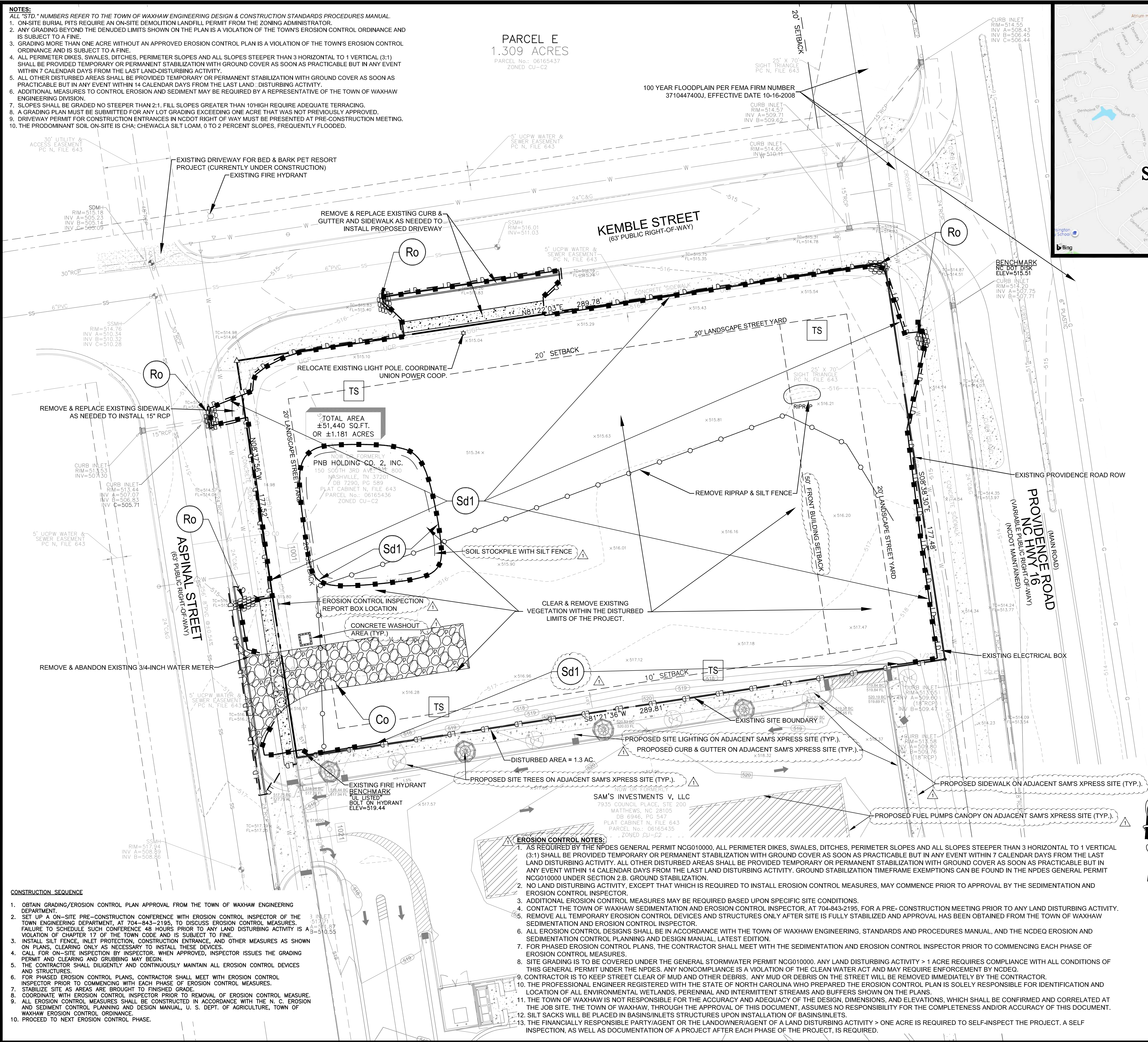




- NOTES:**  
 ALL "STD." NUMBERS REFER TO THE TOWN OF WAXHAW ENGINEERING DESIGN & CONSTRUCTION STANDARDS PROCEDURES MANUAL.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
  - ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE TOWN'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
  - GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE TOWN'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
  - ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
  - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
  - ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE TOWN OF WAXHAW ENGINEERING DIVISION.
  - SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' HIGH REQUIRE ADEQUATE TERRACING.
  - A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
  - DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
  - THE PREDOMINANT SOIL ON-SITE IS CHA; CHEWACLA SILT LOAM, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED.

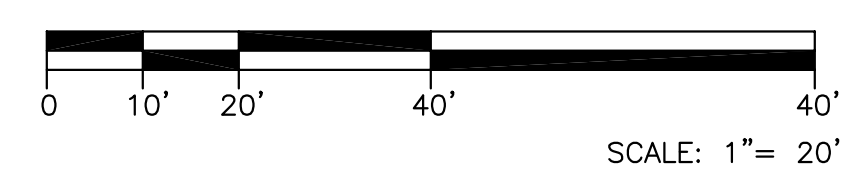
**PARCEL E**  
 1.309 ACRES  
 PARCEL NO. 06165437  
 ZONED CU-C2

100 YEAR FLOODPLAIN PER FEMA FIRM NUMBER  
 3710447400J, EFFECTIVE DATE 10-16-2008



**STANDARD STRUCTURAL PRACTICES**

CODE	PRACTICE	STD DETAIL #	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT	514.1	[Symbol]	A crushed stone pad located at the construction exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SILT FENCE	607.1	[Symbol]	A temporary sediment control measure consisting of fabric buried at the bottom, stretched, and supported by posts.
S11	TEMP. FABRIC DROP INLET PROTECTION	512.1 & 519.1	[Symbol]	Temporary fabric barrier placed around or in a drop inlet/catch basin.
Ro	SILT FENCE ROCK OUTLET	509.1	[Symbol]	Stone filter berm outlet located at the low point of the silt fence row
TS	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	521.1	[Symbol]	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
PS	DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)		[Symbol]	Establishing permanent vegetative cover such as trees, shrubs, vines, sod, grasses or legumes on disturbed areas.



**LEGEND**

PROPERTY LINE	[Symbol]
ADJACENT PROPERTY LINE	[Symbol]
EASEMENT LINE	[Symbol]
SILT FENCE	[Symbol]
BUILDING SETBACK LINE	[Symbol]
EXISTING CONTOUR LINE	[Symbol]
PROPOSED WATER LINE	[Symbol]
EXIST. WATER LINE	[Symbol]
PROPOSED UNDERGROUND GAS LINE	[Symbol]
EXIST. GAS LINE	[Symbol]
PROPOSED UNDERGROUND ELECTRIC LINE	[Symbol]
FUTURE UNDERGROUND POWER LINE	[Symbol]
PROPOSED SANITARY SEWER LINE	[Symbol]
SANITARY SEWER LINE	[Symbol]
STORM SEWER LINE	[Symbol]
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	[Symbol]
STATE DOT MONUMENT	[Symbol]
1/2" REBAR W/ CAP SET	[Symbol]
NAIL & DISK SET	[Symbol]
TRAFFIC SIGNAL JUNCTION BOX	[Symbol]
WATER VALVE	[Symbol]
WATER METER	[Symbol]
FIRE HYDRANT	[Symbol]
STORM MANHOLE	[Symbol]
DROP INLET	[Symbol]
SANITARY MANHOLE	[Symbol]
CLEANOUT	[Symbol]
SIGN	[Symbol]
FUTURE LIGHT POLE	[Symbol]
STREET ADDRESS	[Symbol]
CONCRETE	[Symbol]
GRAVEL	[Symbol]
SPOT ELEVATION	[Symbol]

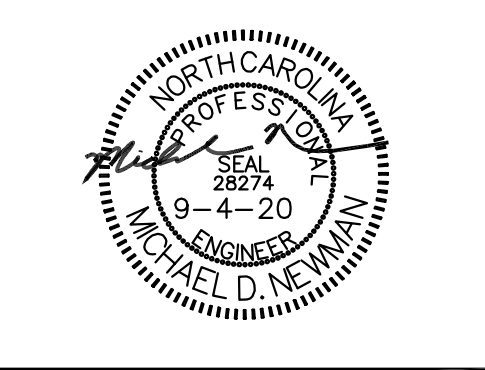
**EROSION CONTROL NOTES:**

- AS REQUIRED BY THE NPDES GENERAL PERMIT NCG010000, ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND STABILIZATION TIMEFRAME EXEMPTIONS CAN BE FOUND IN THE NPDES GENERAL PERMIT NCG010000 UNDER SECTION 2.B. GROUND STABILIZATION.
- NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL BY THE SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON SPECIFIC SITE CONDITIONS.
- CONTACT THE TOWN OF WAXHAW SEDIMENTATION AND EROSION CONTROL INSPECTOR, AT 704-843-2195, FOR A PRE- CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AND STRUCTURES ONLY AFTER SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF WAXHAW SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- ALL EROSION CONTROL DESIGNS SHALL BE IN ACCORDANCE WITH THE TOWN OF WAXHAW ENGINEERING, STANDARDS AND PROCEDURES MANUAL, AND THE NCDCEQ EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL, LATEST EDITION.
- FOR PHASED EROSION CONTROL PLANS, THE CONTRACTOR SHALL MEET WITH THE SEDIMENTATION AND EROSION CONTROL INSPECTOR PRIOR TO COMMENCING EACH PHASE OF EROSION CONTROL MEASURES.
- SITE GRADING IS TO BE COVERED UNDER THE GENERAL STORMWATER PERMIT NCG010000. ANY LAND DISTURBING ACTIVITY > 1 ACRE REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THIS GENERAL PERMIT UNDER THE NPDES. ANY NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT BY NCDCEQ.
- CONTRACTOR IS TO KEEP STREET CLEAR OF MUD AND OTHER DEBRIS. ANY MUD OR DEBRIS ON THE STREET WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- THE PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF NORTH CAROLINA WHO PREPARED THE EROSION CONTROL PLAN IS SOLELY RESPONSIBLE FOR IDENTIFICATION AND LOCATION OF ALL ENVIRONMENTAL WETLANDS, PERENNIAL AND INTERMITTENT STREAMS AND BUFFERS SHOWN ON THE PLANS.
- THE TOWN OF WAXHAW IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND ELEVATIONS, WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE TOWN OF WAXHAW, THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
- SILT SACKS WILL BE PLACED IN BASINS/INLETS STRUCTURES UPON INSTALLATION OF BASINS/INLETS.
- THE FINANCIALLY RESPONSIBLE PARTY/AGENT OR THE LANDOWNER/AGENT OF A LAND DISTURBING ACTIVITY > ONE ACRE IS REQUIRED TO SELF-INSPECT THE PROJECT. A SELF INSPECTION, AS WELL AS DOCUMENTATION OF A PROJECT AFTER EACH PHASE OF THE PROJECT, IS REQUIRED.

**CONSTRUCTION SEQUENCE**

- OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE TOWN OF WAXHAW ENGINEERING DEPARTMENT.
- SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE TOWN ENGINEERING DEPARTMENT, AT 704-843-2195, TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 17 OF THE TOWN CODE AND IS SUBJECT TO A FINE.
- INSTALL SILT FENCE, INLET PROTECTION, CONSTRUCTION ENTRANCE, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U. S. DEPT. OF AGRICULTURE, TOWN OF WAXHAW EROSION CONTROL ORDINANCE.
- PROCEED TO NEXT EROSION CONTROL PHASE.

**MDV Engineering**  
 P-08853  
 C/O Ayer Design Group  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 704-400-1044  
 Email: michael@mdveng.com



**PROJECT**

**Arbys**

**RESTAURANT W/ DRIVE-THRU**

#8821  
 1001 ASPINAL ST.  
 WAXHAW, NC 28173  
 (PROVIDENCE ROAD)

FOR

**BRG**  
 Brumit Restaurant Group

BRUMIT RESTAURANT GROUP, LLC  
 P.O. BOX 15726  
 ASHEVILLE, NC 28813  
 PH: 828.274.5635

**REVISIONS**

9.4.20	PER TOWN PLAN REVIEW
--------	----------------------

DWG. NAME : 2020-104  
 DRAWN BY : MDN  
 DATE : 5-26-20  
 SCALE: 1:20

**EXISTING CONDITIONS, DEMOLITION & EROSION PH 1 PLAN C.0**

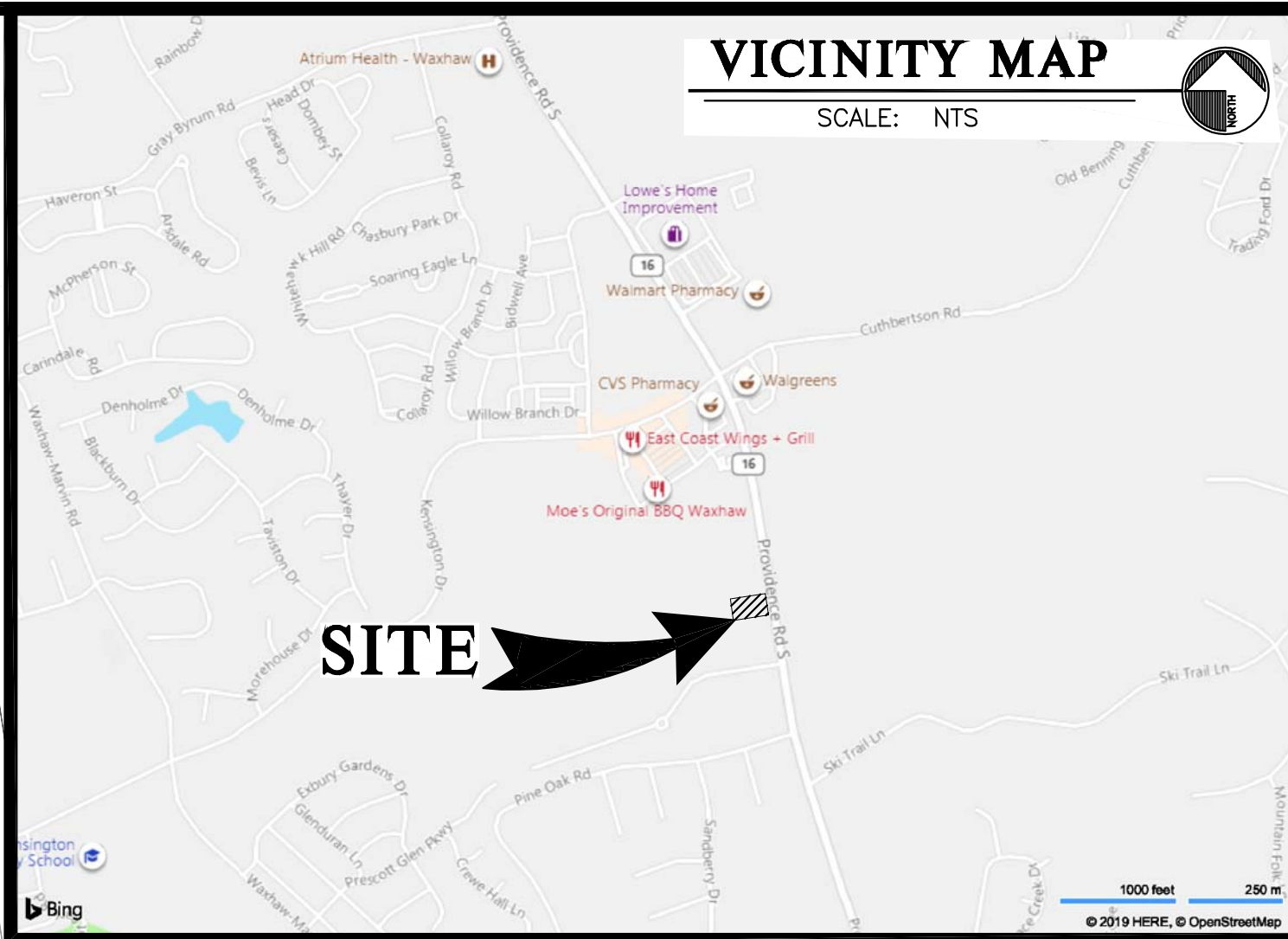


- TOWN NOTES:**
1. ALL SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH SECTION 13 OF THE TOWN OF WAXHAW UDO.
  2. ALL UTILITIES SHALL BE SCREENED FROM PUBLIC VIEW.
  3. AS PHASE 1 OF PRESCOT VILLAGE, THIS SITE SHALL FOLLOW THE REQUIREMENTS OUTLINED IN THE ORIGINAL AND AMENDED CONDITIONAL USE PERMIT.
  4. PRESCOT VILLAGE SHALL COMPLETE ALL ITEMS IN REQUIRED PHASING PLAN FOR PHASE 1 BEFORE ANY CERTIFICATE OF OCCUPANCIES ARE GIVEN.
  5. PROJECT IS NOT LOCATED IN A FLOOD PLAIN.

**PARCEL E**  
1.309 ACRES  
PARCEL No. 06165437  
ZONED CU-C2

100 YEAR FLOODPLAIN PER FEMA FIRM NUMBER  
3710447400J, EFFECTIVE DATE 10-16-2008

**VICINITY MAP**  
SCALE: NTS



**SITE ANALYSIS**

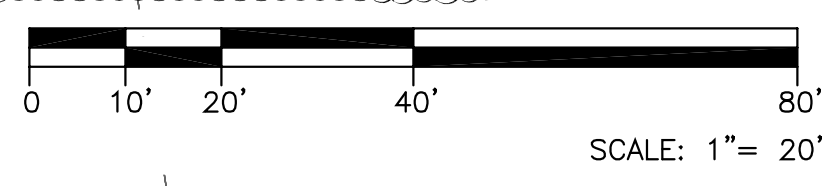
TAX PARCEL NUMBER	06165436
SITE AREA	(51,440 SF) ±1.181 ACRES
EXISTING ZONING	CU-C-2
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT w/ DRIVE-THRU
PROPOSED BUILDING HEIGHT	±19'
MAX. ALLOWED BUILDING HEIGHT	45'
PROPOSED BUILDING SIZE	2,400 SF
# OF SEATS	44
MIN. PARKING REQUIRED @ 15 per 1000 SF of building area	36 SPACES
PARKING PROVIDED	36 SPACES
MAX. LOT COVERAGE ALLOWED (% IMPERVIOUS)	(41,152 SF) 80.0%
LOT COVERAGE PROVIDED (% IMPERVIOUS)	(31,670 SF) 61.6%

**PAVING LEGEND**

	<b>CONCRETE PAVEMENT</b> ITEM 710 6" PORTLAND CEMENT CONCRETE (4500 PSI) PAVEMENT #4 BARS @ 12" O.C. EACH WAY ITEM 520 6" GRADED AGGREGATE BASE
	<b>LIGHT DUTY PAVEMENT</b> ITEM 610 2.5" TYPE S 9.5A ASPHALTIC CONCRETE SURFACE COURSE (IN TWO LIFTS) ITEM 520 6" GRADED AGGREGATE BASE COURSE (ABC)
	<b>HEAVY DUTY PAVEMENT</b> ITEM 610 1.5" TYPE S 9.5A ASPHALTIC CONCRETE SURFACE COURSE ITEM 610 2.5" TYPE I 19.0B ASPHALTIC CONCRETE ITEM 520 8" GRADED AGGREGATE BASE COURSE (ABC)

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	SILT FENCE
	BUILDING SETBACK LINE
	EXISTING CONTOUR LINE
	PROPOSED WATER LINE
	PROPOSED UNDERGROUND GAS LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED SANITARY SEWER LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	IRON PIN FOUND (SIZE AND TYPE AS NOTED)
	STATE DOT MONUMENT
	1/2" REBAR W/ CAP SET
	NAIL & DISK SET
	TRAFFIC SIGNAL JUNCTION BOX
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	STORM MANHOLE
	DROP INLET
	SANITARY MANHOLE
	EXIST. CLEANOUT
	SIGN
	FUTURE LIGHT POLE
	STREET ADDRESS
	CONCRETE
	GRAVEL
	SPOT ELEVATION



PROJECT

**RESTAURANT  
w/ DRIVE-THRU**

#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)

FOR

**Brumit Restaurant Group**

BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5835

**REVISIONS**

9.4.20	PER TOWN PLAN REVIEW
10.2.20	PER TOWN PLAN REVIEW

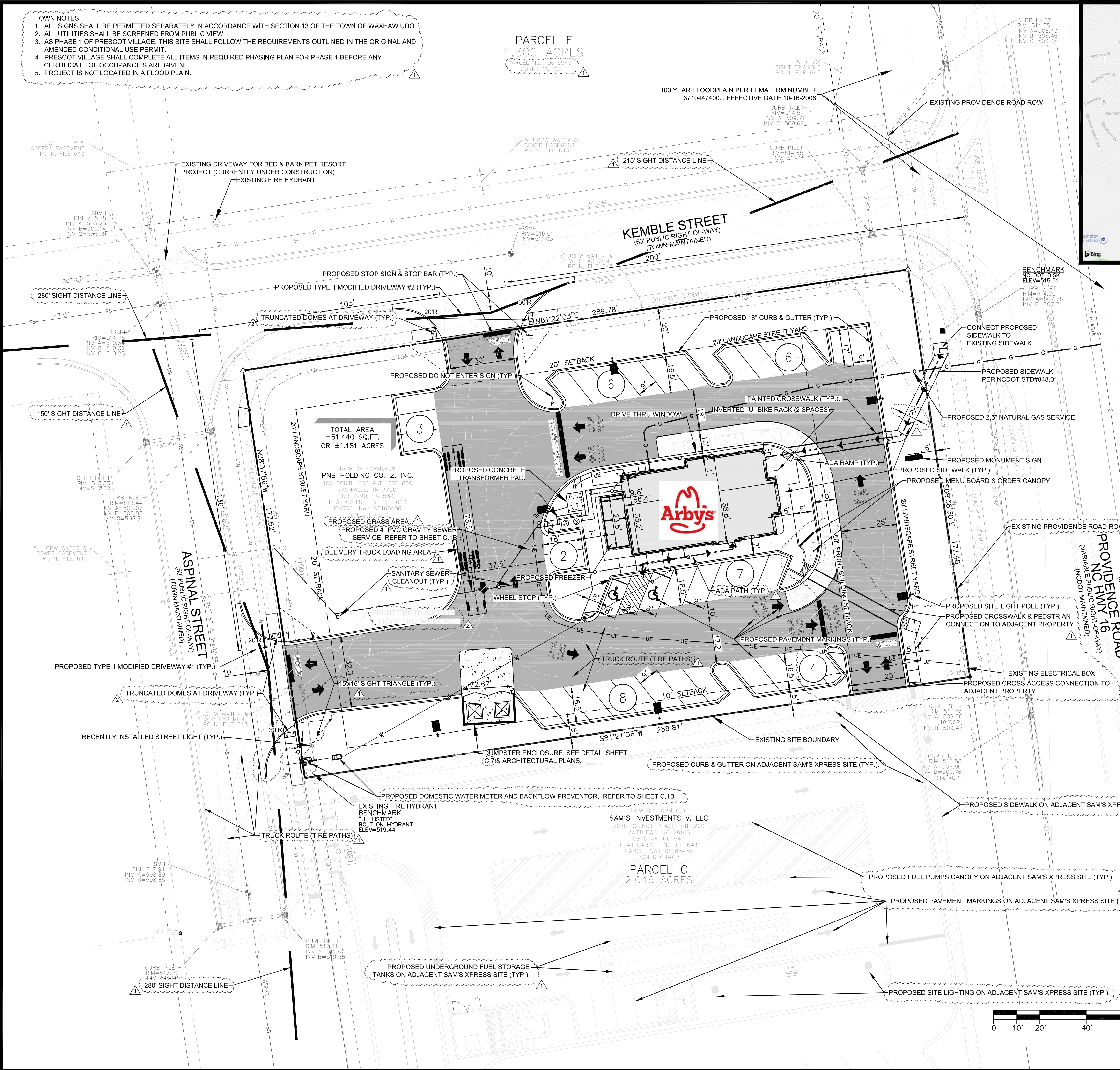
DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 5-26-20  
SCALE: 1:20

**SITE PLAN**

# C.1

**MDV Engineering**

C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044  
Email: michael@mdveng.com





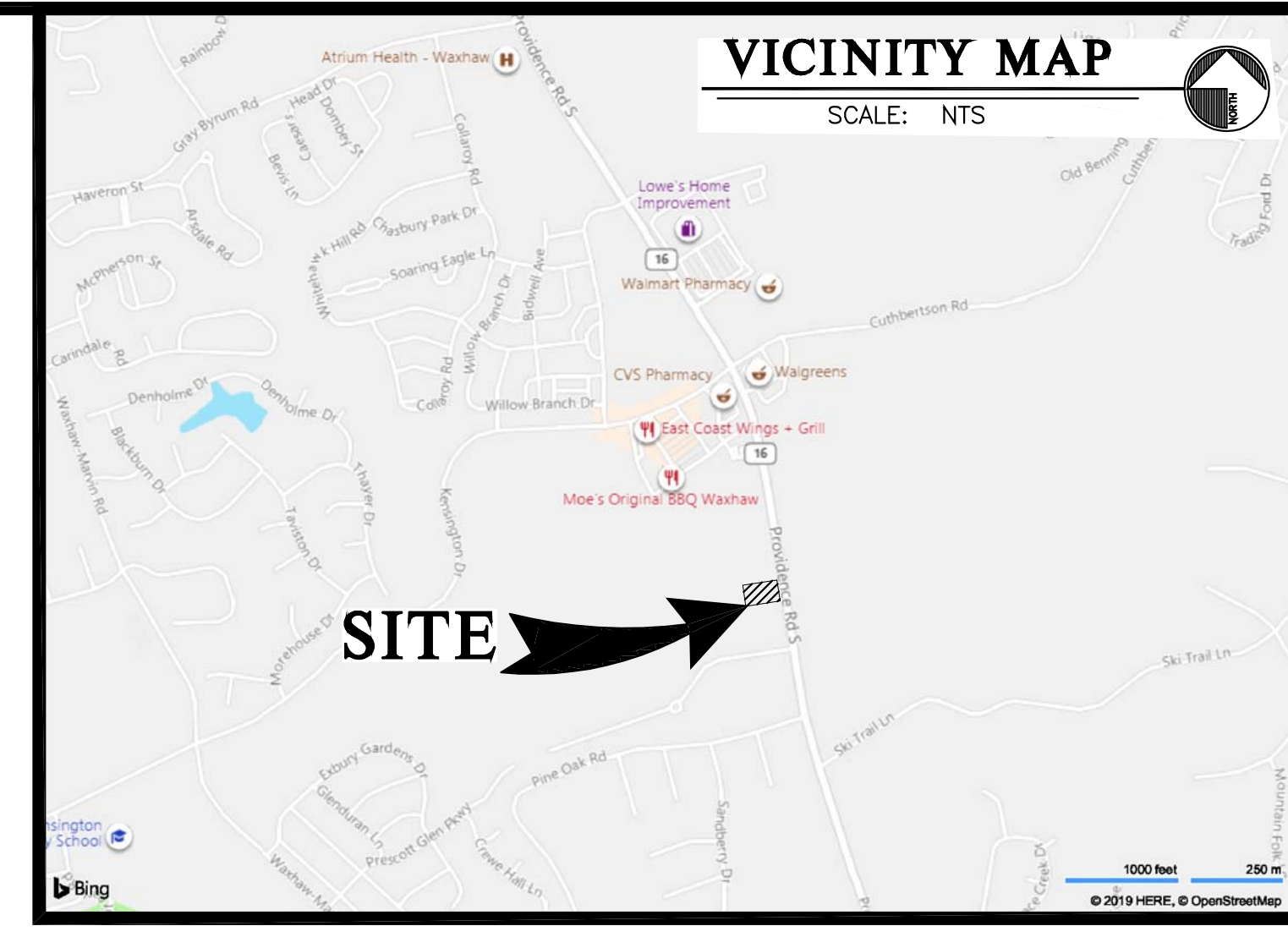
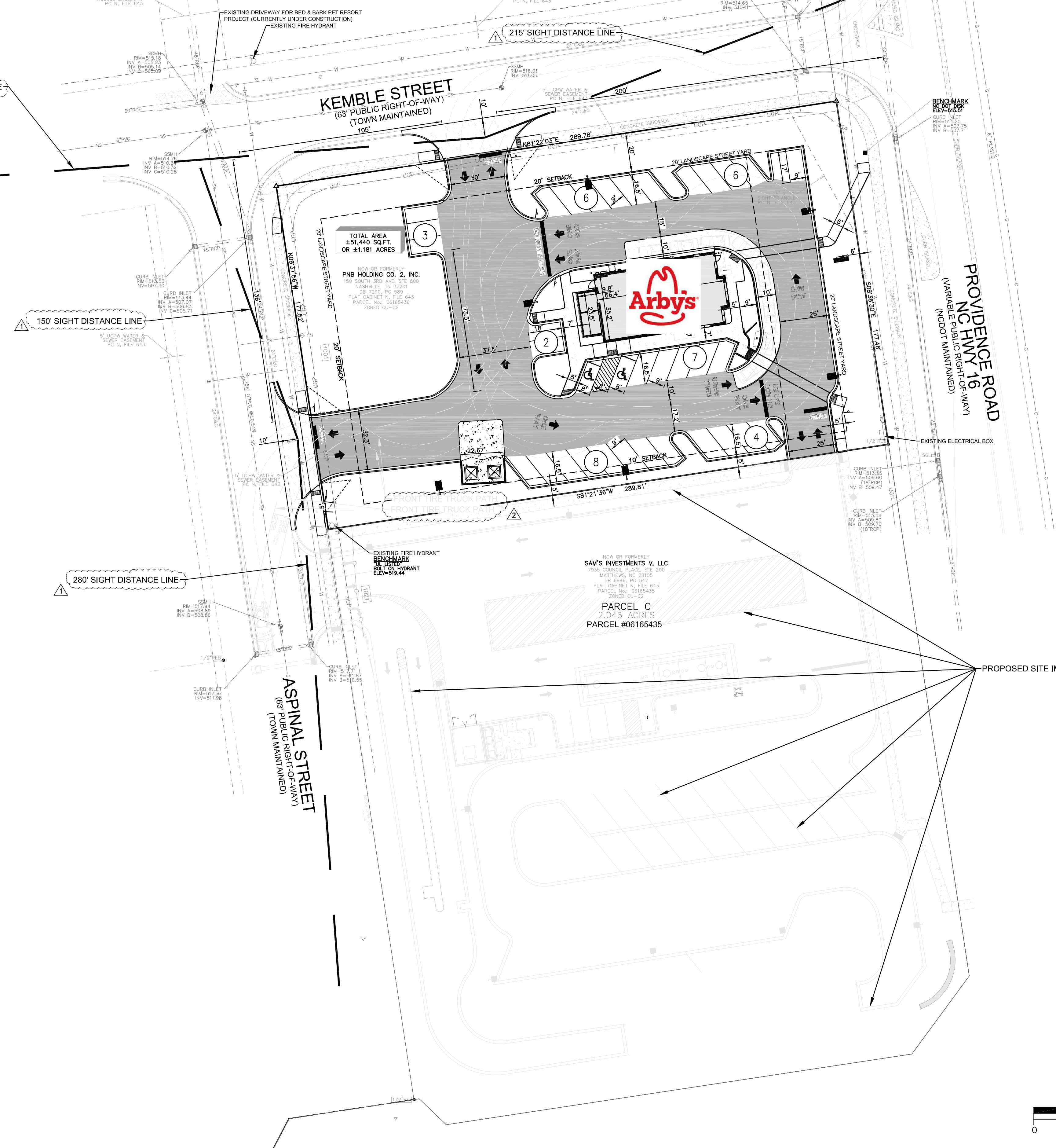
36

PARCEL G  
2.547 ACRES  
PARCEL #06165439  
BED & BARK PET RESORT PROJECT  
(CURRENTLY UNDER CONSTRUCTION)

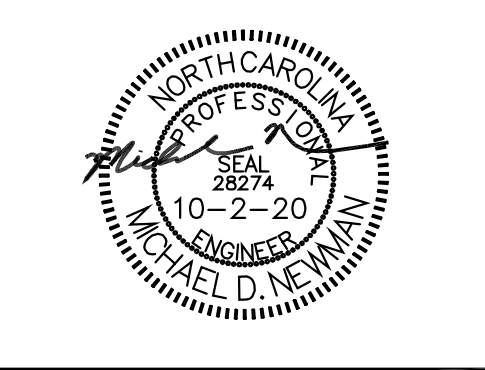
PARCEL E  
1.309 ACRES  
PARCEL #06165437

PARCEL H  
1.788 ACRES  
PARCEL #06165440

PARCEL I  
1.917 ACRES  
PARCEL #06165441



**MDV Engineering**  
P-08853  
C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044  
Email: michael@mdveng.com



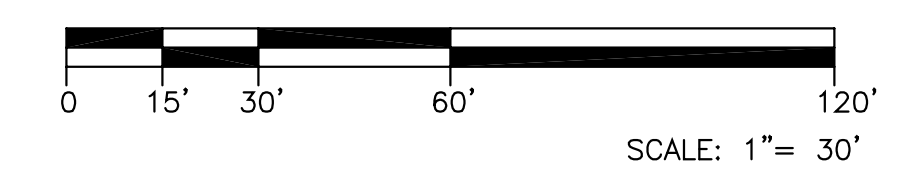
PROJECT  
**Arbys**  
**RESTAURANT  
w/ DRIVE-THRU**  
#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)

FOR  
**BRG**  
**Brumit Restaurant Group**  
BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5835

REVISIONS	
9.4.20	PER TOWN PLAN REVIEW
10.2.20	PER TOWN PLAN REVIEW

**LEGEND**

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SILT FENCE	---
BUILDING SETBACK LINE	BSL
EXISTING CONTOUR LINE	---
<b>PROPOSED WATER LINE</b>	W
EXIST. WATER LINE	W
<b>PROPOSED UNDERGROUND GAS LINE</b>	G
EXIST. GAS LINE	G
<b>PROPOSED UNDERGROUND ELECTRIC LINE</b>	UE
FUTURE UNDERGROUND POWER LINE	UGP
<b>PROPOSED SANITARY SEWER LINE</b>	SS
SANITARY SEWER LINE	SS
STORM SEWER LINE	SS
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	●
STATE DOT MONUMENT	■
1/2" REBAR W/ CAP SET	△
NAIL & DISK SET	△
TRAFFIC SIGNAL JUNCTION BOX	□SGL
WATER VALVE	▽
WATER METER	○
FIRE HYDRANT	○
STORM MANHOLE	⊕SDMH
DROP INLET	⊕SSMH
SANITARY MANHOLE	⊕
CLEANOUT	⊕CO
SIGN	+
FUTURE LIGHT POLE	+
STREET ADDRESS	[1001]
CONCRETE	▨
GRAVEL	▨
SPOT ELEVATION	x 515.81



DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 9-4-20  
SCALE: 1:30  
**SIGHT  
PLAN &  
PROFILE  
C.1A**



NOTE: UNION COUNTY PUBLIC WORKS REQUIRED THAT "USED FRYER OIL-RENDERING CONTAINER BE DELIVER AND LOCATED ON SITE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY."

PARCEL E  
1.309 ACRES  
PARCEL No.: 06165437  
ZONED CU-C2

100 YEAR FLOODPLAIN PER FEMA FIRM NUMBER  
3710447400J, EFFECTIVE DATE 10-16-2008

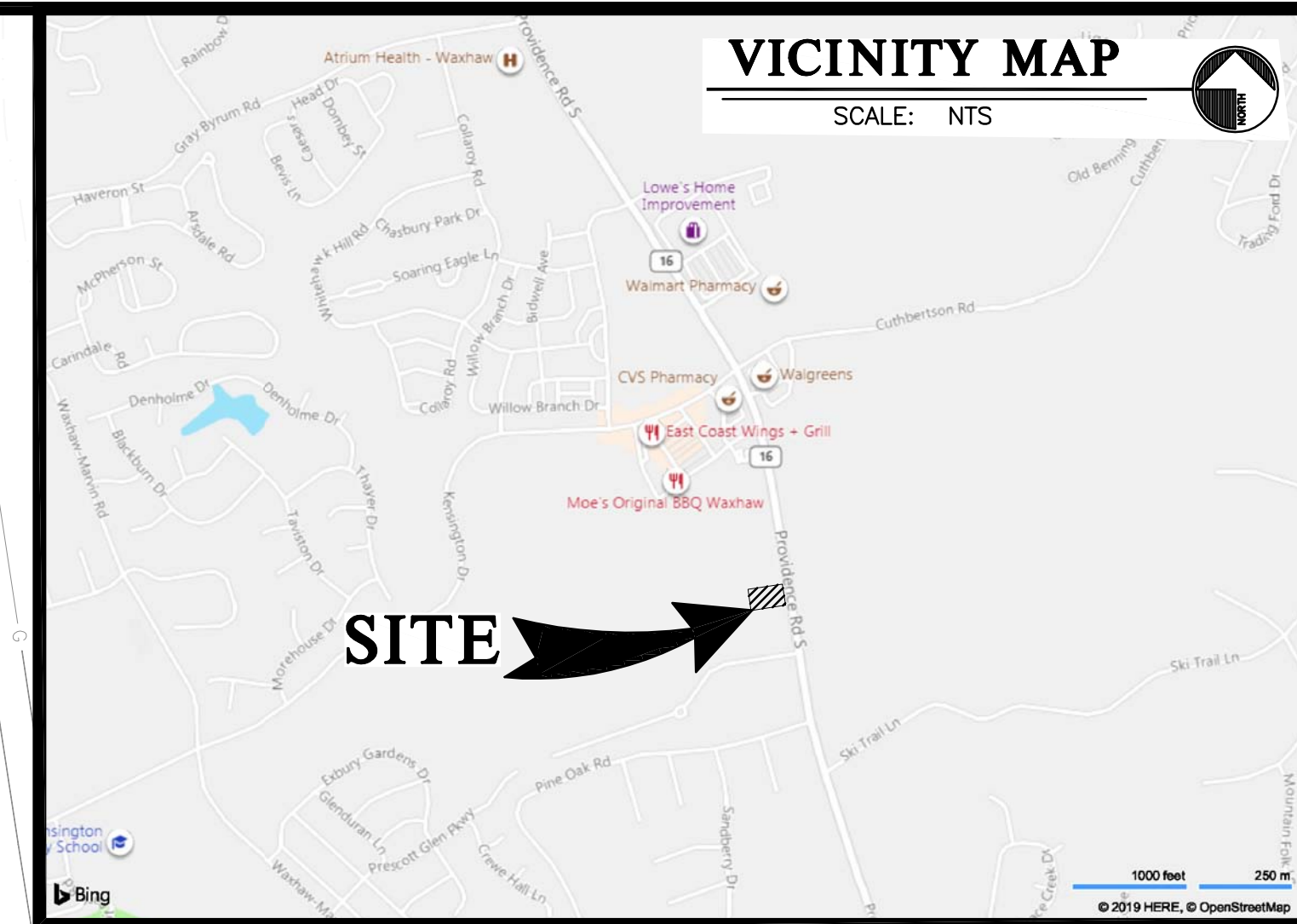
KEMBLE STREET  
(63' PUBLIC RIGHT-OF-WAY)  
(TOWN MAINTAINED)



NOW OR FORMERLY  
SAM'S INVESTMENTS V, LLC  
7935 COUNCIL PLACE, STE 200  
MATTHEWS, NC 28105  
DB #946, PG 547  
PLAT CABINET N, FILE 643  
PARCEL No.: 06165435  
ZONED CU-C2

PARCEL C  
2.046 ACRES

VICINITY MAP  
SCALE: NTS



SITE

WATER & SEWER SERVICE MATERIALS TABLE

DOMESTIC WATER SERVICE			
ITEM	UNIT	QTY.	OWNED & MAINTAINED BY
1" SERVICE SADDLE CONNECTION	EA	1	PUBLIC
1" TYPE K COPPER TUBING	LF	10	PUBLIC
1" DOMESTIC WATER METER	EA	1	PUBLIC
1" BRASS NIPPLE PIPE/TUBING	LF	2	PUBLIC
1" VALVE	EA	1	PUBLIC
1" BRASS NIPPLE PIPE/TUBING	LF	2	PRIVATE
1" to 1.5" INCREASER (REDUCER)	EA	1	PRIVATE
1.5" BRASS PIPE/TUBING	LF	10	PRIVATE
1.5" RPZ BACKFLOW ASSEMBLY	EA	1	PRIVATE
1.5" BRASS PIPE/TUBING (3' beyond RPZ)	LF	5	PRIVATE
1.5" PVC or PE TUBING (to the bldg.)	LF	170	PRIVATE
SANITARY SEWER SERVICE			
ITEM	UNIT	QTY.	OWNED & MAINTAINED BY
4" PVC SERVICE LATERAL PIPING	LF	273	PRIVATE

DEVELOPER CONTACT INFORMATION:  
MITCH HATLEY  
BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828-785-3361  
EMAIL: MITCHH@NCARBYS.COM

ENGINEER CONTACT INFORMATION:  
MICHAEL NEWMAN  
215 JOHNSTON STREET  
ROCK HILL, SC 29730  
PH: 704-400-1044  
EMAIL: MICHAEL@MDVENG.COM

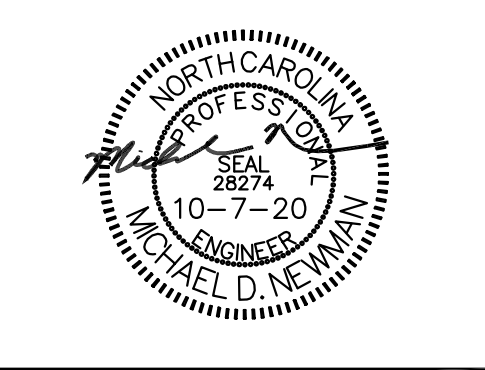
- UTILITY SERVICE CONNECTION NOTES:
- PROPOSED BUILDING SEWER LATERALS TO BE 4" SCHEDULE 40 PVC AND SHALL HAVE A MINIMUM 3 FEET OF COVER. PVC FITTINGS SHALL CONFORM TO ASTM D2466.
  - DOMESTIC WATER SERVICE FOR THE BUILDING TO BE PROVIDED BY ONE-INCH TAP OFF EXISTING WATER MAIN. THE BUILDING WILL HAVE ITS OWN METER AND BACKFLOW PREVENTER.
  - PROPOSED 1" WATER SERVICES TO BE INSTALLED AT LEAST 3' BELOW FINISHED GRADE.
  - WATER LINE CONNECTIONS AND BACKFLOW PREVENTORS SHALL BE IN ACCORDANCE WITH UNION COUNTY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
  - PRIOR TO THE START OF CONSTRUCTION THE DEVELOPER SHALL BE RESPONSIBLE FOR ANY WATER AND SEWER DEVELOPMENT FEES THAT MAY BE DUE FOR ANY PROPOSED INCREASE IN EXISTING WATER METERS.
  - DEVELOPER IS RESPONSIBLE FOR MAKING ANY NEW WATER AND/OR SEWER TAPS.

DOMESTIC WATER & WASTEWATER FLOW CALCULATIONS  
MINIMUM DESIGN FLOWS PER NCAC 02T.0114.  
PROPOSED 44 SEAT RESTAURANT AT 40 GAL./SEAT = 1,760 GPD (GALLONS PER DAY)  
ESTIMATED TOTAL DAILY DOMESTIC WATER FLOW = 1,760 GPD  
ESTIMATED TOTAL DAILY WASTEWATER FLOW = 1,760 GPD

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- SILT FENCE
- BUILDING SETBACK LINE
- EXISTING CONTOUR LINE
- PROPOSED WATER LINE
- EXIST. WATER LINE
- PROPOSED UNDERGROUND GAS LINE
- EXIST. GAS LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- FUTURE UNDERGROUND POWER LINE
- PROPOSED SANITARY SEWER LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- IRON PIN FOUND (SIZE AND TYPE AS NOTED)
- STATE DOT MONUMENT
- 1/2" REBAR W/ CAP SET
- NAIL & DISK SET
- TRAFFIC SIGNAL JUNCTION BOX
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- STORM MANHOLE
- DROP INLET
- SANITARY MANHOLE
- EXIST. CLEANOUT
- SIGN
- FUTURE LIGHT POLE
- STREET ADDRESS
- CONCRETE
- GRAVEL
- SPOT ELEVATION

MDV Engineering  
P-08853  
C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044  
Email: michael@mdveng.com



PROJECT  
**Arby's**  
RESTAURANT  
W/ DRIVE-THRU  
#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)  
PRESCOT VILLAGE PHASE 1,  
BUILDING 2, PARCEL D.

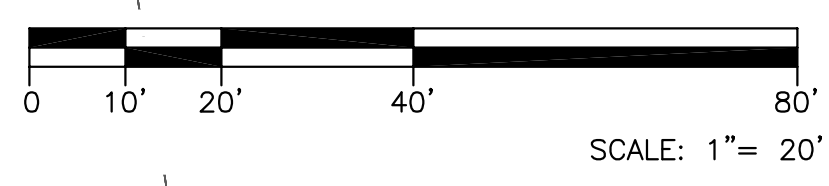
FOR  
**BRG**  
Brumit Restaurant Group  
BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5635

REVISIONS

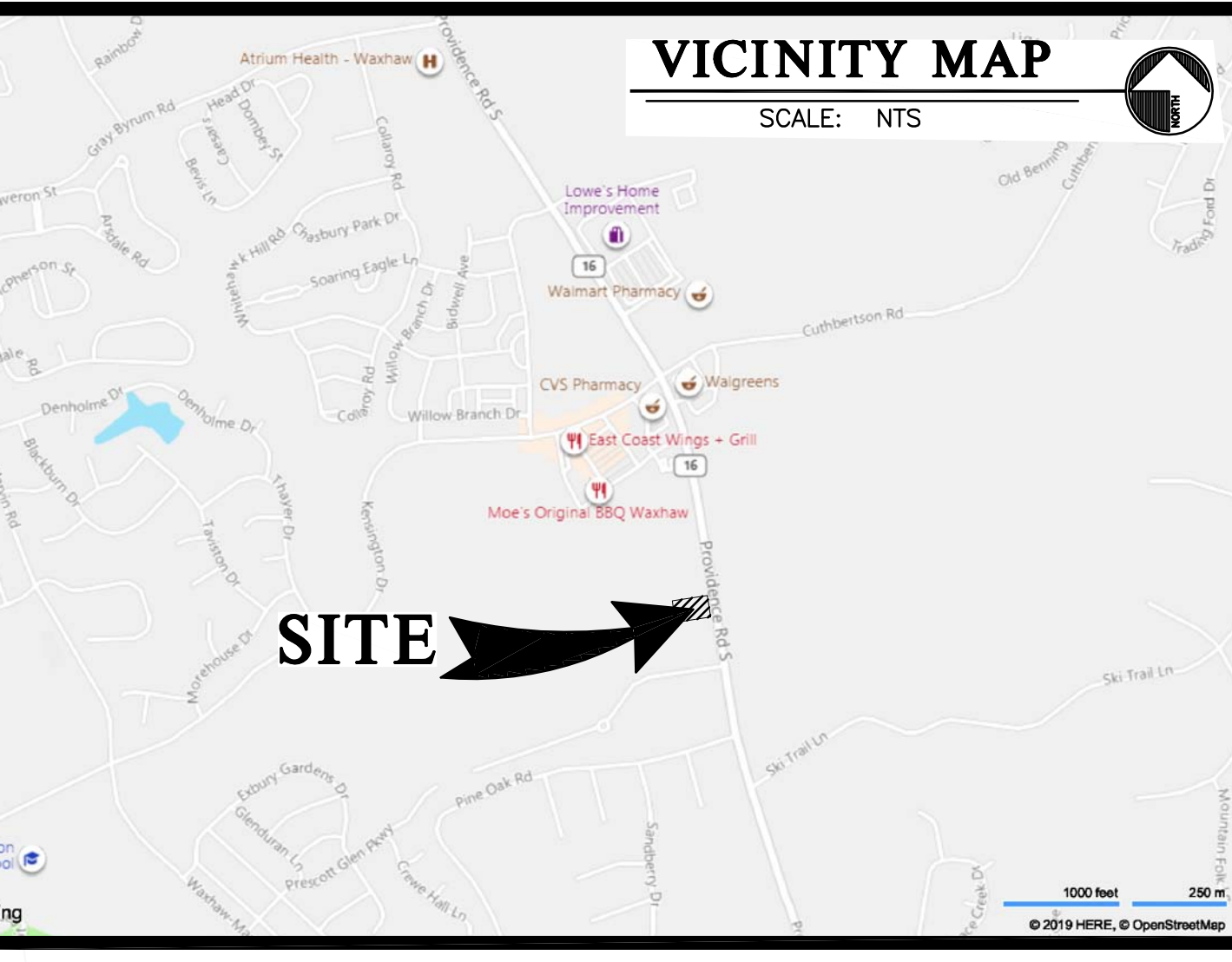
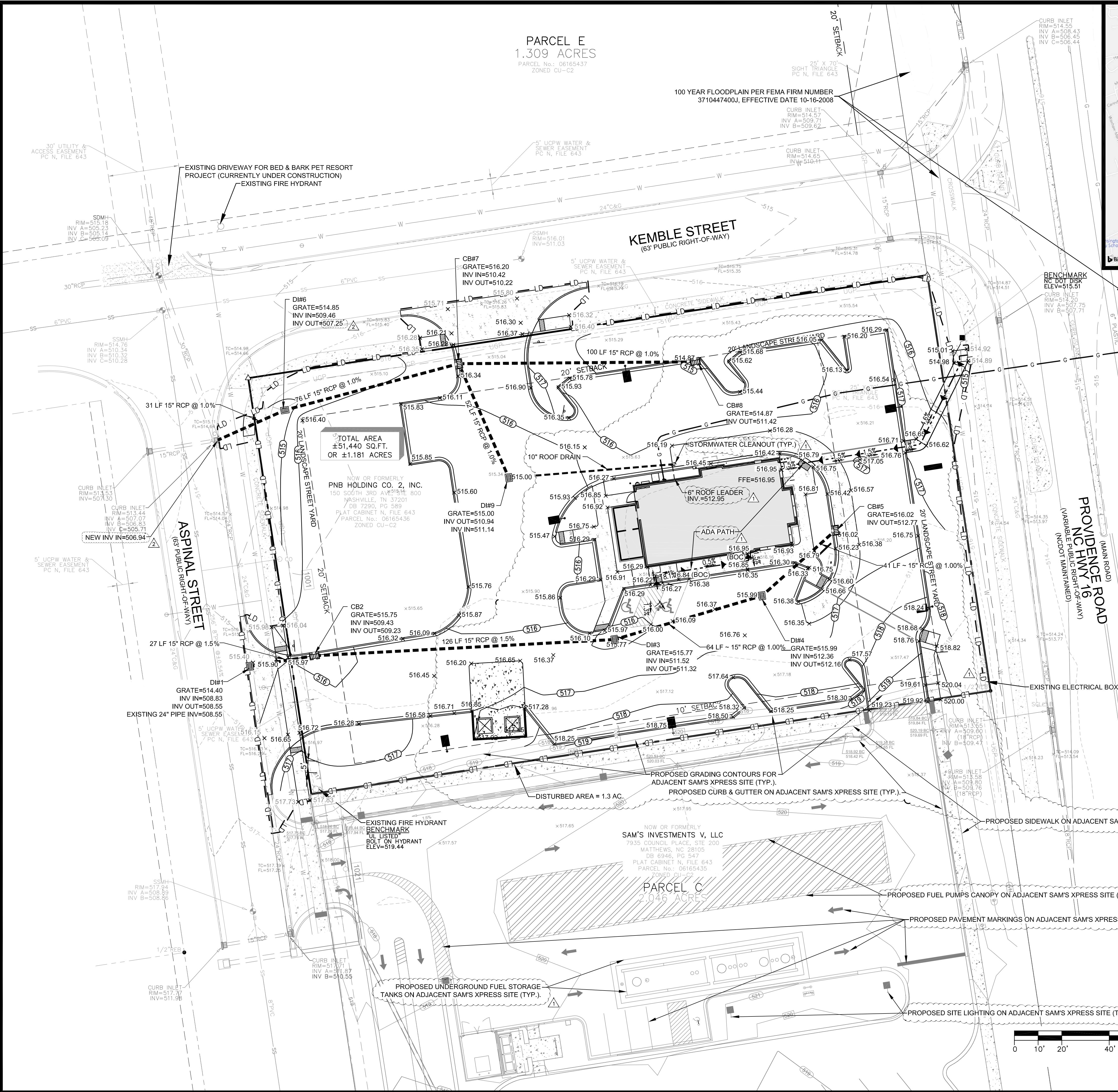
10.1.20	PER U.C.P.W. REVIEW
10.1.20	PER TOWN PLAN REVIEW
10.7.20	PER U.C.P.W. REVIEW

DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 9-26-20  
SCALE: 1:20

UTILITY PLAN  
**C.1B**







**NOTE:** PER THE STORMWATER MANAGEMENT REPORT FOR OVERALL MASTER PLANNED "PRESCOT VILLAGE" DEVELOPMENT PLAN, PREPARED BY DEWBERRY, THIS SITE IS ALLOWED 80% IMPERVIOUS AREA RATIO. THE EXISTING OFF-SITE MASTER WATER QUALITY POND, INSTALLED AS PART OF OVERALL PRESCOT VILLAGE DEVELOPMENT PROJECT, IS BEING USED TO MEET THE TOWN OF WAXHAW STORMWATER REQUIREMENTS FOR THIS SITE. THE PROPOSED ARBY'S DEVELOPMENT PLAN IS CONSISTENT WITH THE OVERALL MASTER PLAN FOR PRESCOT VILLAGE.

TOTAL AREA  
±51,440 SQ.FT.  
OR ±1.181 ACRES

NOW OR FORMERLY  
PNB HOLDING CO. 2, INC.  
150 SOUTH 3RD AVENUE, SUITE 800  
NASHVILLE, TN 37203  
DB 7290, PG 589  
PLAT CABINET N, FILE 643  
PARCEL No.: 06165436  
ZONED CU-C2

NOW OR FORMERLY  
SAM'S INVESTMENTS V, LLC  
7935 COUNCIL PLACE, STE 200  
MATTHEWS, NC 28105  
DB 6946, PG 547  
PLAT CABINET N, FILE 643  
PARCEL No.: 06165435  
ZONED CU-C2

**LEGEND**

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SILT FENCE	---
BUILDING SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED WATER LINE	---
EXIST. WATER LINE	---
PROPOSED UNDERGROUND GAS LINE	---
EXIST. GAS LINE	---
PROPOSED UNDERGROUND ELECTRIC LINE	---
FUTURE UNDERGROUND POWER LINE	---
PROPOSED SANITARY SEWER LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	●
STATE DOT MONUMENT	■
1/2" REBAR W/ CAP SET	▲
NAIL & DISK SET	▲
TRAFFIC SIGNAL JUNCTION BOX	□
WATER VALVE	▽
WATER METER	○
FIRE HYDRANT	○
STORM MANHOLE	○
DROP INLET	○
SANITARY MANHOLE	○
EXIST. CLEANOUT	○
SIGN	+
FUTURE LIGHT POLE	+
STREET ADDRESS	+
CONCRETE	---
GRAVEL	---
SPOT ELEVATION	X 515.81

**MDV Engineering**  
P-08853  
C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044  
Email: michael@mdveng.com



PROJECT  
**Arby's**  
RESTAURANT  
W/ DRIVE-THRU  
#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)

FOR  
**BRG**  
Brumit Restaurant Group  
BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5635

**REVISIONS**

9.4.20	PER TOWN PLAN REVIEW
10.7.20	PER U.C.P.W. REVIEW

DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 5-26-20  
SCALE: 1:20

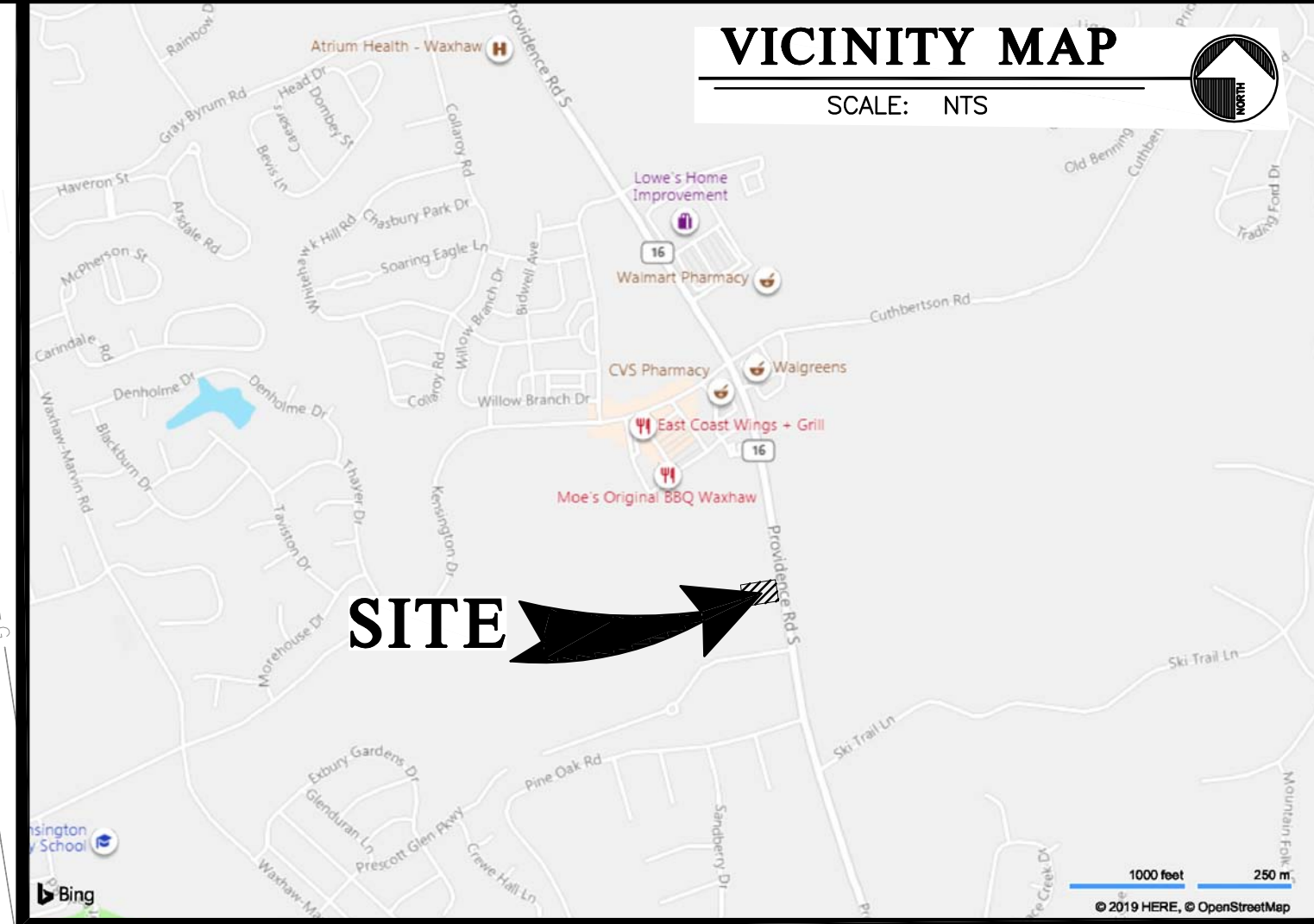
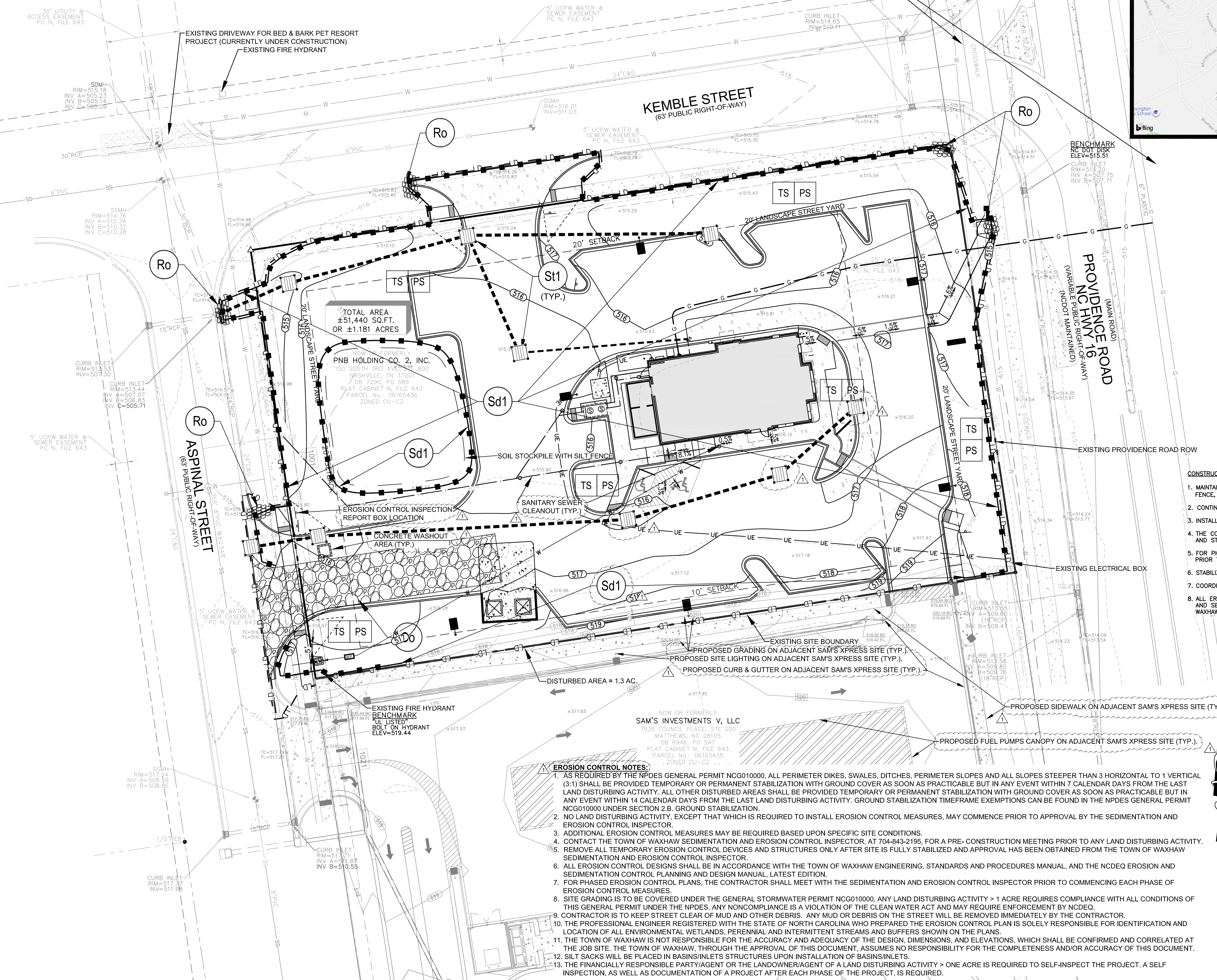
**GRADING PLAN**  
**C.2**



- NOTES:**  
 ALL "STD." NUMBERS REFER TO THE TOWN OF WAXHAW ENGINEERING DESIGN & CONSTRUCTION STANDARDS PROCEDURES MANUAL.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
  - ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE TOWN'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
  - GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE TOWN'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
  - ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
  - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
  - ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE TOWN OF WAXHAW ENGINEERING DIVISION.
  - SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' HIGH REQUIRE ADEQUATE TERRACING.
  - A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
  - DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
  - THE PREDOMINANT SOIL ON-SITE IS CHA; CHEWACLA SILT LOAM, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED.

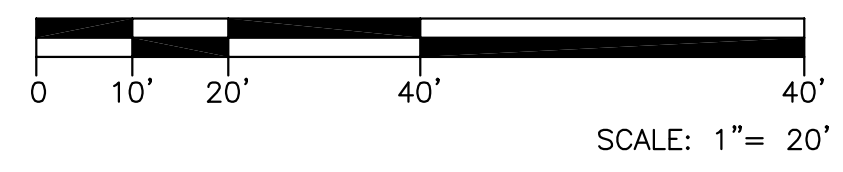
**PARCEL E**  
 1.309 ACRES  
 PARCEL NO. 06165437  
 ZONED CU-C2

100 YEAR FLOODPLAIN PER FEMA FIRM NUMBER  
 3710447400J, EFFECTIVE DATE 10-16-2008



**STANDARD STRUCTURAL PRACTICES**

CODE	PRACTICE	STD DETAIL #	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT	514.1	[Symbol]	A crushed stone pad located at the construction exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SILT FENCE	607.1	[Symbol]	A temporary sediment control measure consisting of fabric buried at the bottom, stretched, and supported by posts.
St1	TEMP. FABRIC DROP INLET PROTECTION	512.1 & 519.1	[Symbol]	Temporary fabric barrier placed around or in a drop inlet/catch basin.
Ro	SILT FENCE ROCK OUTLET	509.1	[Symbol]	Stone filter berm outlet located at the low point of the silt fence row.
TS	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	521.1	[Symbol]	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
PS	DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)		[Symbol]	Establishing permanent vegetative cover such as trees, shrubs, vines, sod, grasses or legumes on disturbed areas.



**CONSTRUCTION SEQUENCE**

- MAINTAIN EROSION CONTROL DEVICES FROM PREVIOUS PHASE (I.E. CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION, ETC.).
- CONTINUE GRADING AND START INSTALLING SITE IMPROVEMENTS AND BUILDING CONSTRUCTION.
- INSTALL SILT FENCE, INLET PROTECTION, AND OTHER MEASURES AS SHOWN ON EROSION PLAN.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U. S. DEPT. OF AGRICULTURE, TOWN OF WAXHAW EROSION CONTROL ORDINANCE.

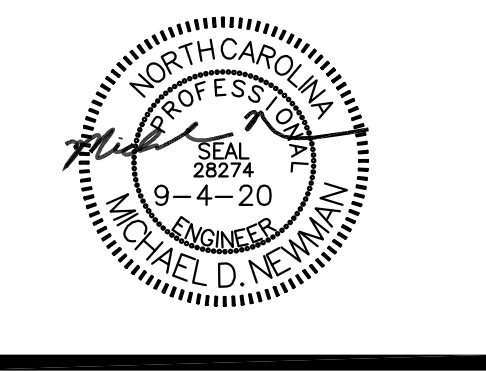
**LEGEND**

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SILT FENCE	---
BUILDING SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED WATER LINE	---
EXIST. WATER LINE	---
PROPOSED UNDERGROUND GAS LINE	---
EXIST. GAS LINE	---
PROPOSED UNDERGROUND ELECTRIC LINE	---
FUTURE UNDERGROUND POWER LINE	---
PROPOSED SANITARY SEWER LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	●
STATE DOT MONUMENT	○
1/2" REBAR W/ CAP SET	○
NAIL & DISK SET	△
TRAFFIC SIGNAL JUNCTION BOX	□
WATER VALVE	▽
WATER METER	▽
FIRE HYDRANT	▽
STORM MANHOLE	⊙
DROP INLET	⊙
SANITARY MANHOLE	⊙
EXIST. CLEANOUT	⊙
SIGN	+
FUTURE LIGHT POLE	+
STREET ADDRESS	[1001]
CONCRETE	[Pattern]
GRAVEL	[Pattern]
SPOT ELEVATION	X 515.81

**EROSION CONTROL NOTES:**

- AS REQUIRED BY THE NPDES GENERAL PERMIT NCG010000, ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND STABILIZATION TIMEFRAME EXEMPTIONS CAN BE FOUND IN THE NPDES GENERAL PERMIT NCG010000 UNDER SECTION 2.B. GROUND STABILIZATION.
- NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL BY THE SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON SPECIFIC SITE CONDITIONS.
- CONTACT THE TOWN OF WAXHAW SEDIMENTATION AND EROSION CONTROL INSPECTOR, AT 704-843-2195, FOR A PRE- CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AND STRUCTURES ONLY AFTER SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF WAXHAW SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- ALL EROSION CONTROL DESIGNS SHALL BE IN ACCORDANCE WITH THE TOWN OF WAXHAW ENGINEERING, STANDARDS AND PROCEDURES MANUAL, AND THE NCDCEQ EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL, LATEST EDITION.
- FOR PHASED EROSION CONTROL PLANS, THE CONTRACTOR SHALL MEET WITH THE SEDIMENTATION AND EROSION CONTROL INSPECTOR PRIOR TO COMMENCING EACH PHASE OF EROSION CONTROL MEASURES.
- SITE GRADING IS TO BE COVERED UNDER THE GENERAL STORMWATER PERMIT NCG010000. ANY LAND DISTURBING ACTIVITY > 1 ACRE REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THIS GENERAL PERMIT UNDER THE NPDES. ANY NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT BY NCDCEQ.
- CONTRACTOR IS TO KEEP STREET CLEAR OF MUD AND OTHER DEBRIS. ANY MUD OR DEBRIS ON THE STREET WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- THE PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF NORTH CAROLINA WHO PREPARED THE EROSION CONTROL PLAN IS SOLELY RESPONSIBLE FOR IDENTIFICATION AND LOCATION OF ALL ENVIRONMENTAL WETLANDS, PERENNIAL AND INTERMITTENT STREAMS AND BUFFERS SHOWN ON THE PLANS.
- THE TOWN OF WAXHAW IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND ELEVATIONS, WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE TOWN OF WAXHAW, THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
- SILT SACKS WILL BE PLACED IN BASINS/INLETS STRUCTURES UPON INSTALLATION OF BASINS/INLETS.
- THE FINANCIALLY RESPONSIBLE PARTY/AGENT OR THE LANDOWNER/AGENT OF A LAND DISTURBING ACTIVITY > ONE ACRE IS REQUIRED TO SELF-INSPECT THE PROJECT. A SELF INSPECTION, AS WELL AS DOCUMENTATION OF A PROJECT AFTER EACH PHASE OF THE PROJECT, IS REQUIRED.

**MDV Engineering**  
 P-08853  
 C/O Ayer Design Group  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 704-400-1044  
 Email: michiel@mdveng.com



**PROJECT**  
  
**RESTAURANT W/ DRIVE-THRU**  
 #8821  
 1001 ASPALIN ST.  
 WAXHAW, NC 28173  
 (PROVIDENCE ROAD)

**FOR**  
  
**Brumit Restaurant Group**  
 BRUMIT RESTAURANT GROUP, LLC  
 P.O. BOX 15726  
 ASHEVILLE, NC 28813  
 PH: 828.274.5835

**REVISIONS**

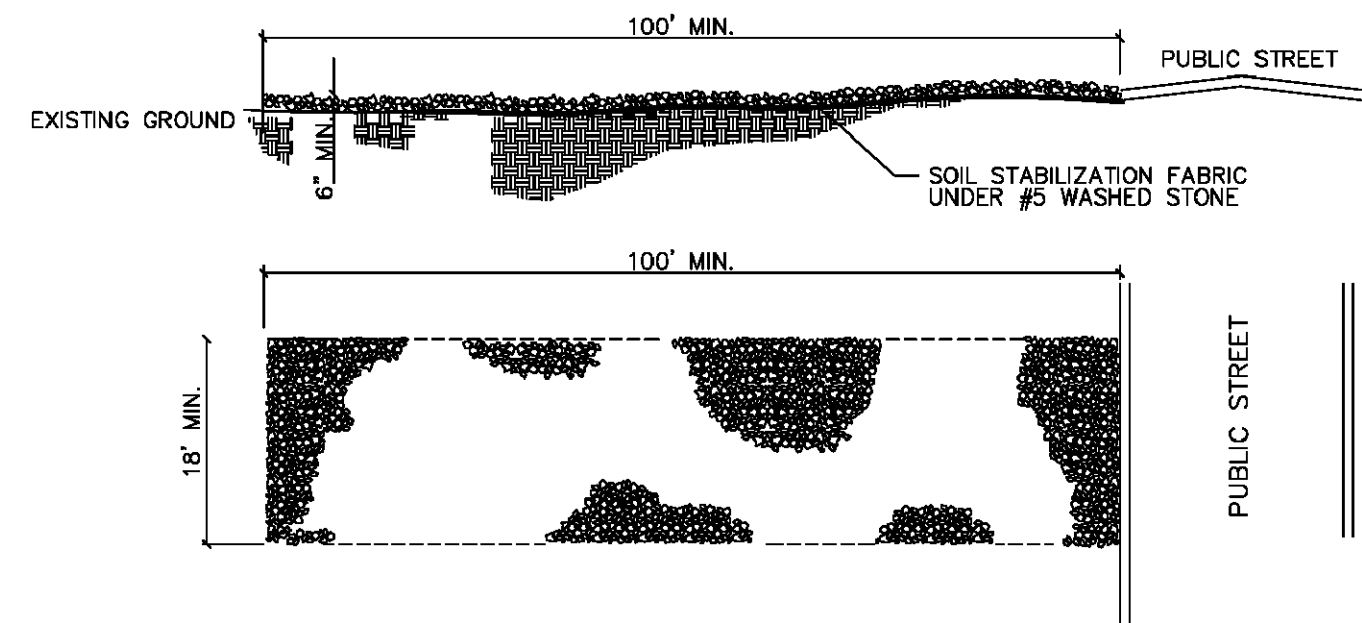
9.4.20	PER TOWN PLAN REVIEW

DWG. NAME : 2020-104  
 DRAWN BY : MDN  
 DATE : 5-26-20  
 SCALE: 1:20  
**EROSION CONTROL PHASE 2 PLAN C.3**



NOTES:

1. A STABILIZED ENTRANCE PAD OF #5 WASHED STONE AND RAILROAD BALLAST SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. ANY AGGREGATE TRACKED INTO THE ROADWAY MUST BE SWEEPED BACK ON-SITE ON A NIGHTLY BASIS.
5. WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN SEE STD. NO. 515.1
6. THE TOWN MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY (STD. 108.1 & 109.1) TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE.

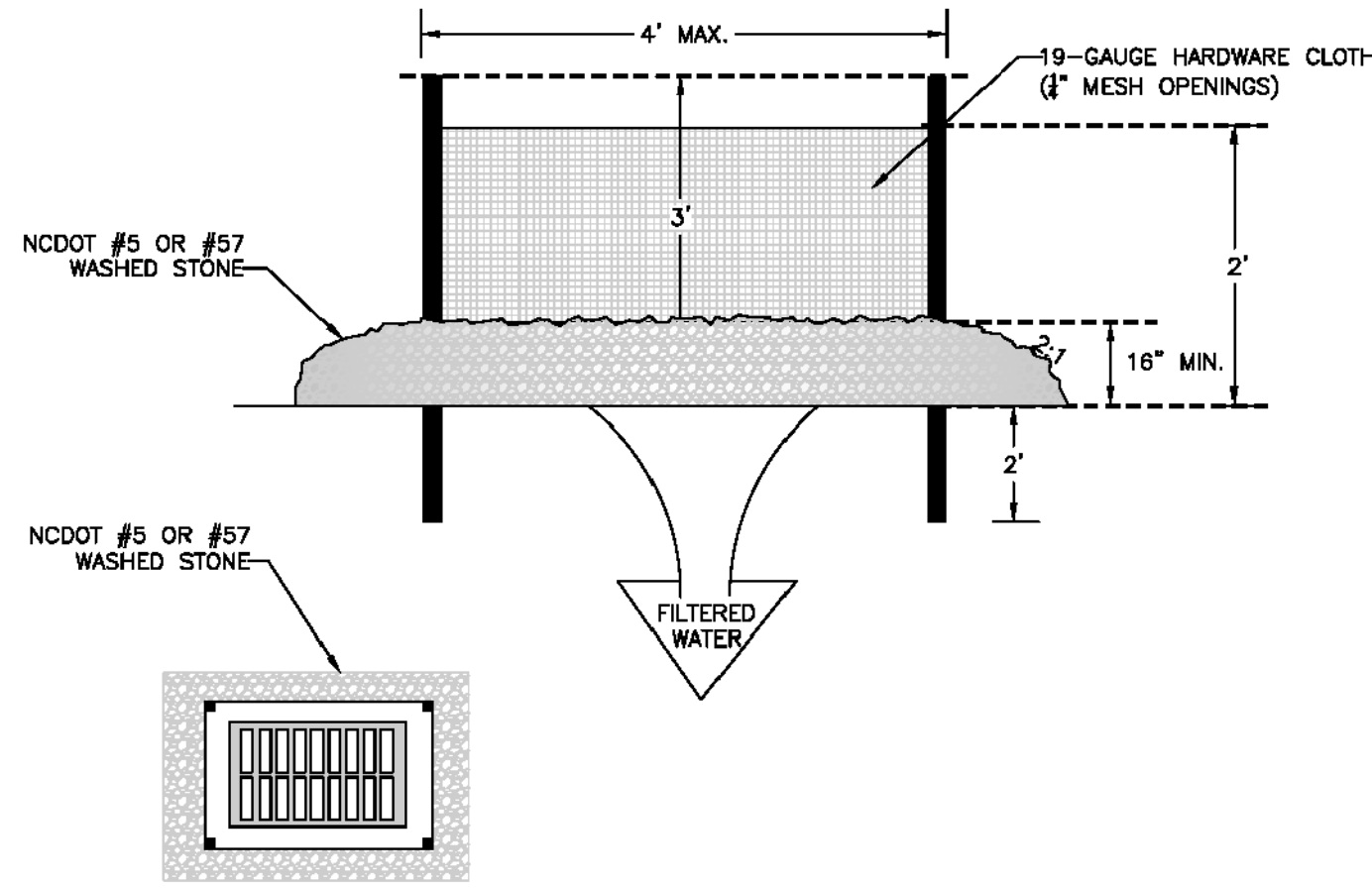


TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS STABILIZED CONSTRUCTION ENTRANCE

STD. NO. REV.  
514.1

GENERAL NOTES:

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM, PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 18 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUNDCOVER.



TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS HARDWARE CLOTH AND GRAVEL INLET PROTECTION

STD. NO. REV.  
512.1

PERMANENT SEEDING

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
TALL FESCUE	80
SERICEA LESPEDEZA	20
KOBE LESPEDEZA	10

**SEEDING NOTES:**

1. AFTER AUG. 15 USE UNSCARIFIED SERICEA SEED.
2. WHERE PERIODIC MOWING IS PLANNED OR A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
3. TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15 LB/ACRE MULLED BERMUDAGRASS. HOWEVER, AFTER MID APR. IT IS PREFERABLE TO SEED TEMPORARY COVER.

**NURSE PLANTS:**

BETWEEN MAY 1 AND AUG. 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE SUDAGRASS. PRIOR TO MAY 1 OR AFTER AUG. 15 ADD 40 LB/ACRE RYE (GRAIN).

**SEEDING DATES:**

FALL:	BEST	POSSIBLE
WINTER:	AUG. 25-SEPT. 15	AUG. 20-OCT. 25
LATE WINTER:	FEB. 15-MAR. 21	FEB. 1-APR. 15

FALL IS BEST FOR TALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

**SOIL AMENDMENTS:**

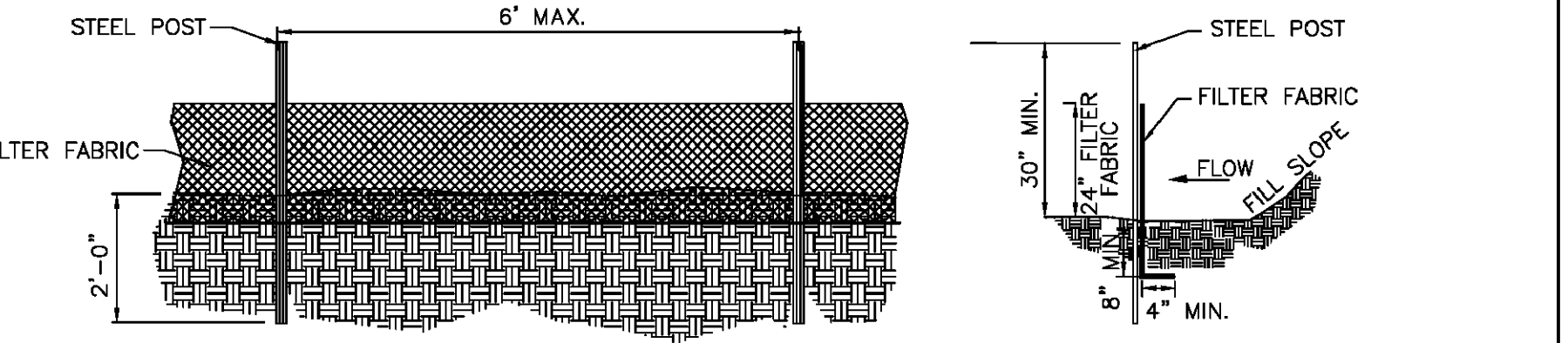
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

**MULCH:**

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**

REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

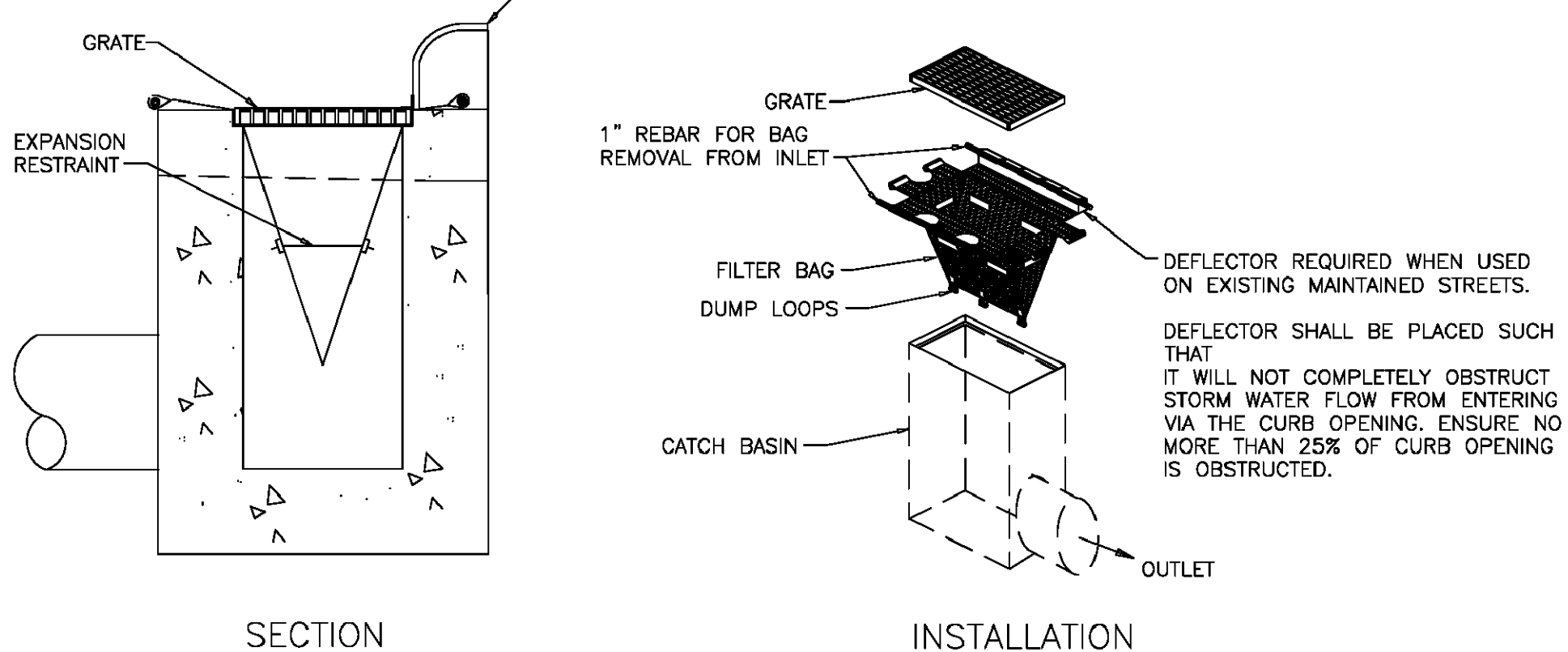


- GENERAL NOTES:**
1. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
  2. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
  3. TURN SILT FENCE UP SLOPE AT ENDS.
  4. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
  5. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
  6. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
  7. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.
- MAINTENANCE NOTES:**
1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
  2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS TEMPORARY SILT FENCE

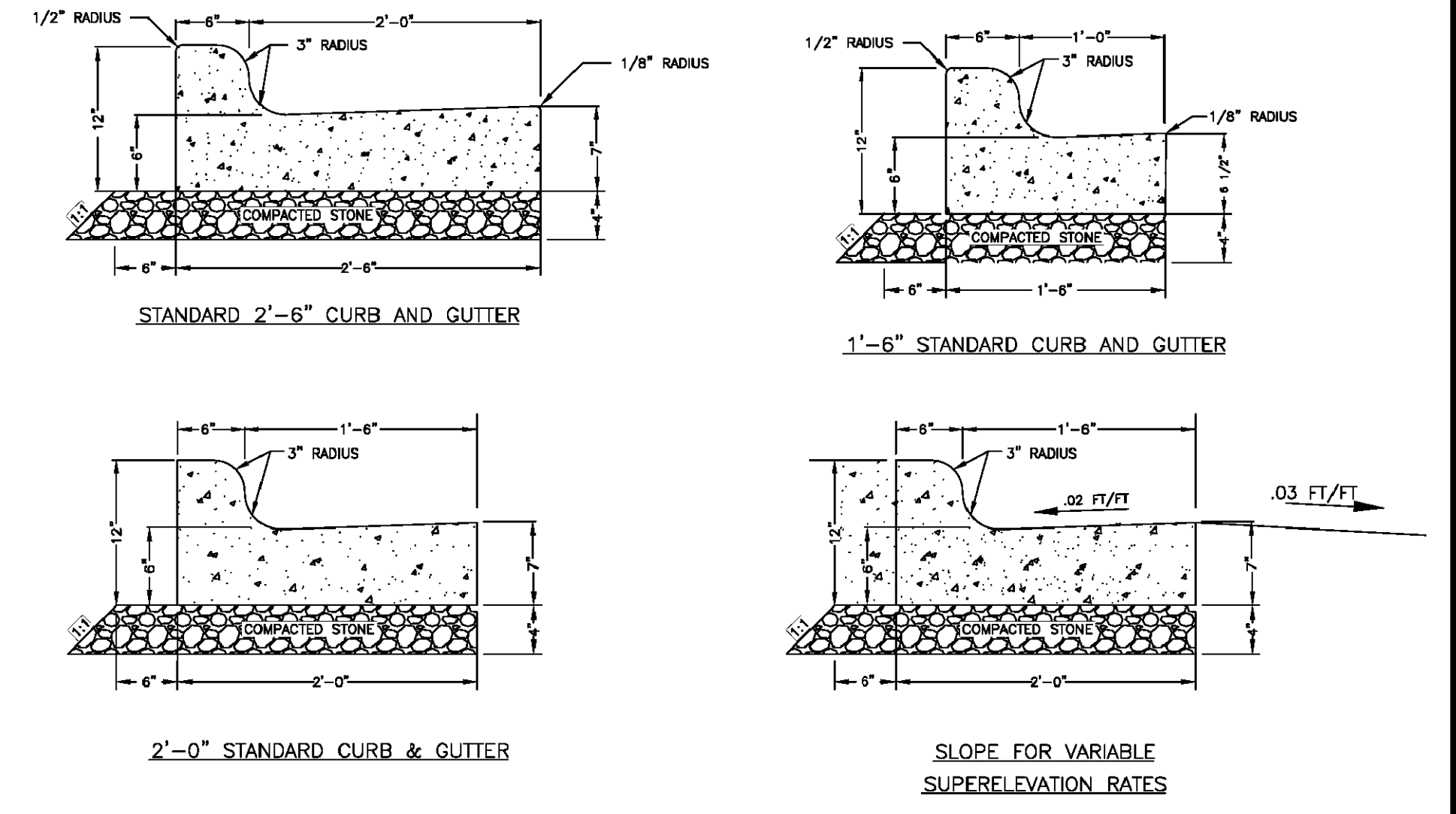
STD. NO. REV.  
507.1

- NOTES:**
1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
  2. FILTER TYPES SHALL BE APPROVED BY THE TOWN INSPECTOR PRIOR TO INSTALLATION.
  3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
  4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE AND/OR CLOSE OUT OF GRADING PERMIT.
  5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
  6. FILTER BAGS MAY BE INSTALLED IN EXISTING TOWN OR NCDOT ROADS AS LONG AS STORM DRAINAGE IS NOT IMPEDED.



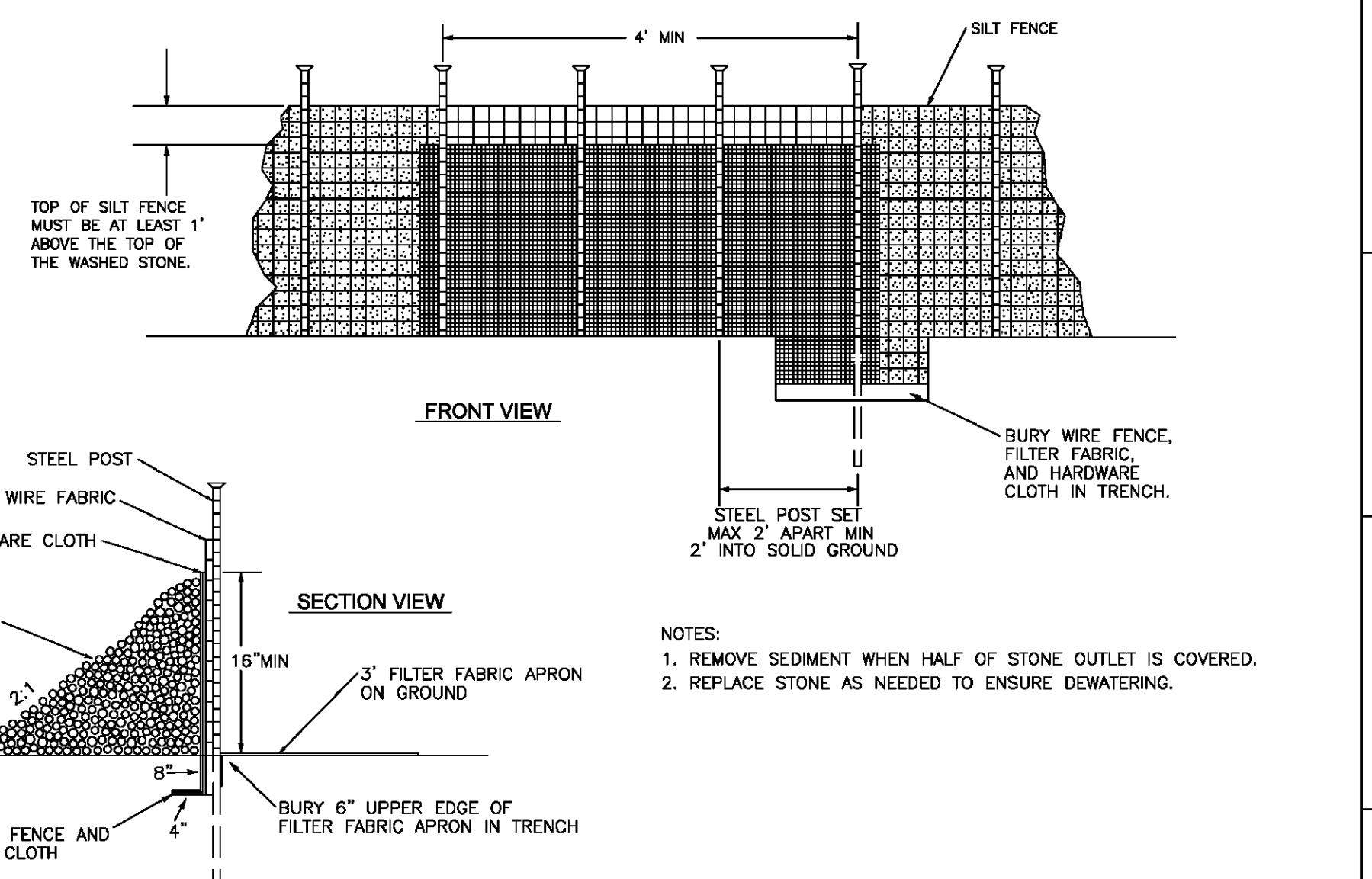
TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS CATCH BASIN INLET PROTECTION

STD. NO. REV.  
519.1



TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS STANDARD CURB AND GUTTER

STD. NO. REV.  
100.1



TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS STANDARD SILT FENCE OUTLET

STD. NO. REV.  
509.1

FOR LATE WINTER AND EARLY SPRING:

- SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER
- MULCH:**  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- MAINTENANCE:**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE
- SEEDING MIXTURE:**  
RYE (GRAIN) - 120 LB/ACRE  
ANNUAL LESPEDEZA (KOBE) - 50 LB/ACRE  
(OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE)
- SEEDING DATES:**  
JAN. 1 - MAY 1

FOR SUMMER:

- SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER
- MULCH:**  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- MAINTENANCE:**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE
- SEEDING MIXTURE:**  
GERMAN MILLET - 40 LB/ACRE  
(A SMALL-STEMMED SUDAGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)
- SEEDING DATES:**  
MAY 1 - AUG. 15

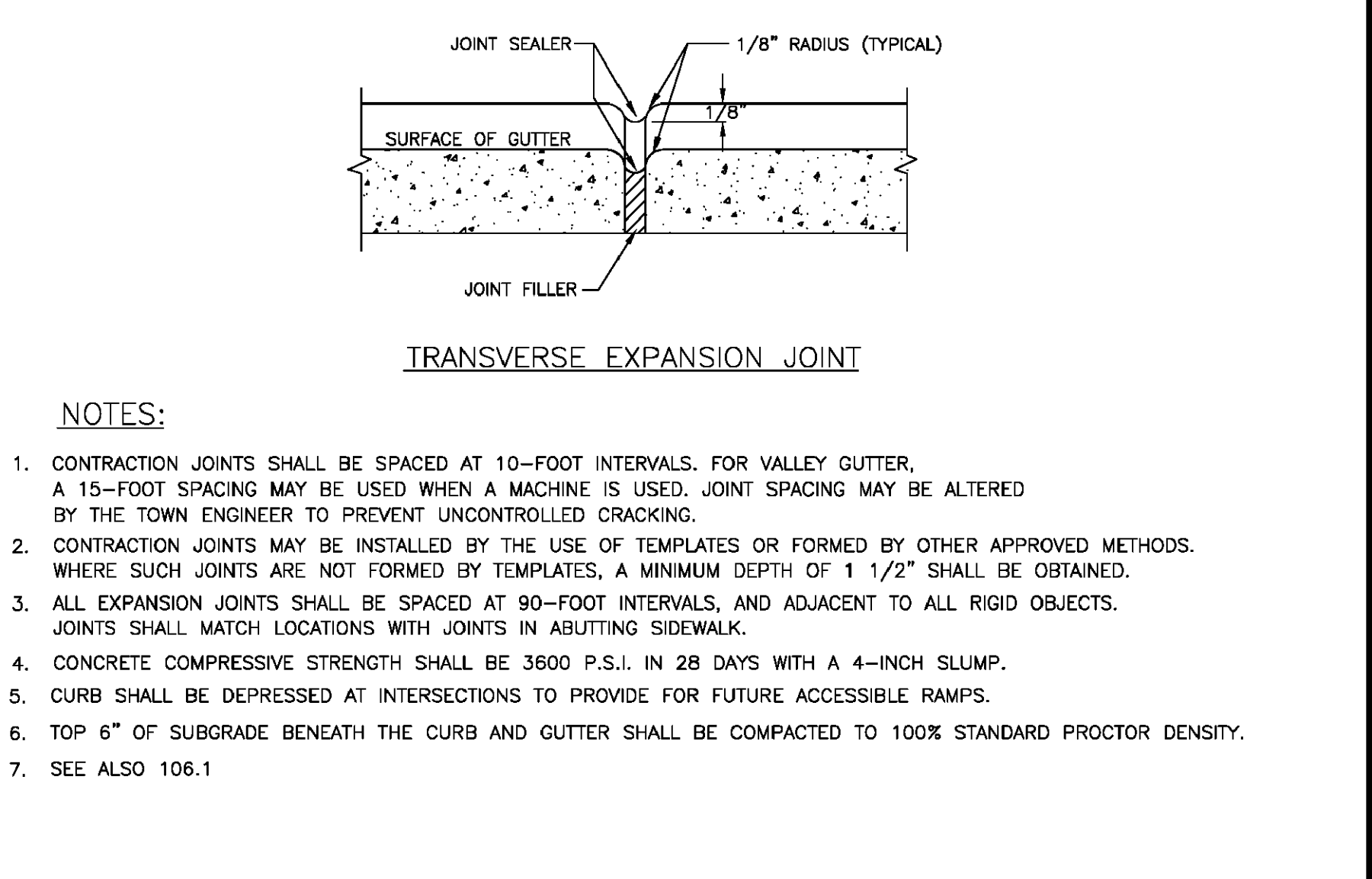
FOR FALL:

- SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER
- MULCH:**  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- MAINTENANCE:**  
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCDCE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCDPM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDCE ESCDPM SECTION 6.11.

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS TEMPORARY SEEDING SCHEDULE

STD. NO. REV.  
521.1



TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS TRANSVERSE EXPANSION JOINT

STD. NO. REV.  
102.1 8/19

**MDV Engineering**  
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Rock Hill, SC 29730  
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Email: michael@mdveng.com



PROJECT

**Arbys**

RESTAURANT  
w/ DRIVE-THRU

#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)

FOR

**BRG**  
Brumit Restaurant Group

BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5835

REVISIONS

NO.	DATE	DESCRIPTION

DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 5-26-20  
SCALE : N.T.S.

DETAIL SHEET

**C.4**



**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Table comparing Temporary Stabilization and Permanent Stabilization methods.

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- 1. Maintain vehicles and equipment to prevent discharge of fluids.
- 2. Provide drip pans under any stored equipment.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- 1. Never bury or burn waste. Place litter and debris in approved waste containers.
- 2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.

**PAINT AND OTHER LIQUID WASTE**

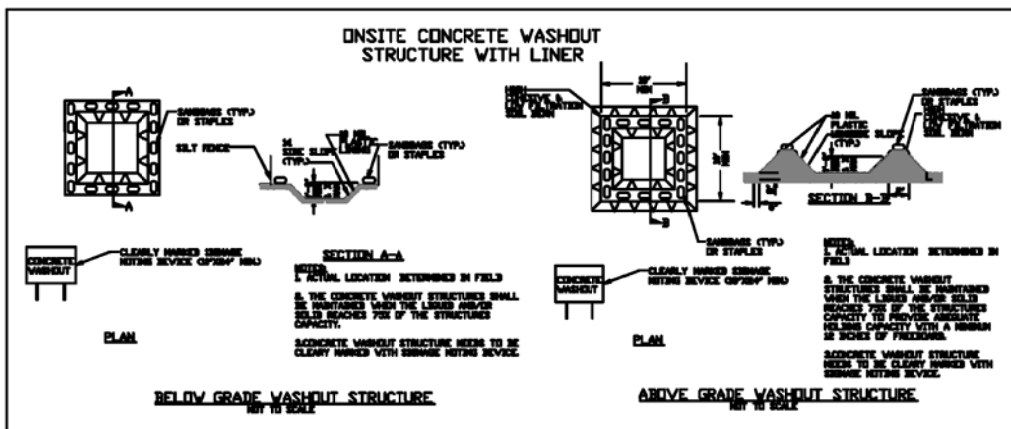
- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.

**PORTABLE TOILETS**

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.
- 2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.

**EARTHEN STOCKPILE MANAGEMENT**

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- 2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.



**CONCRETE WASHOUTS**

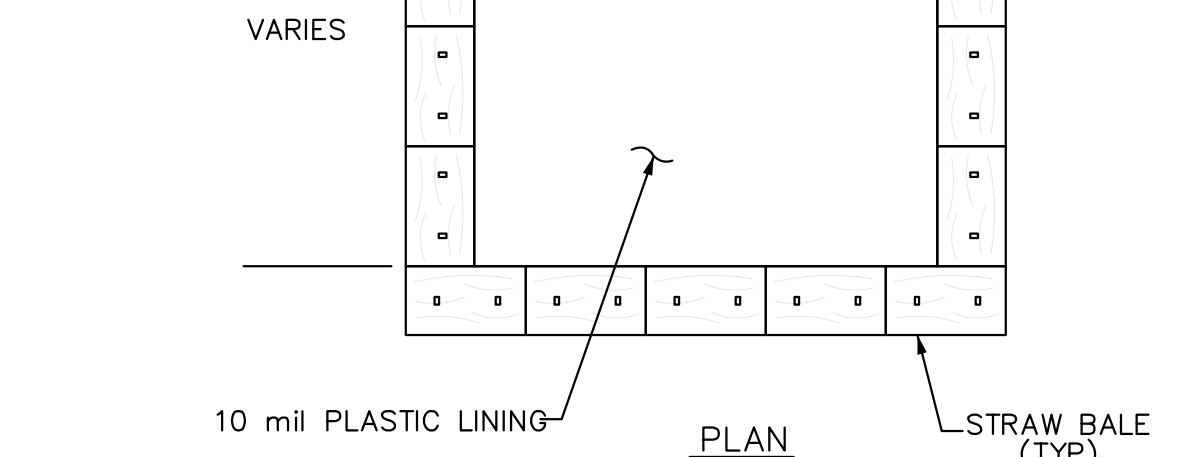
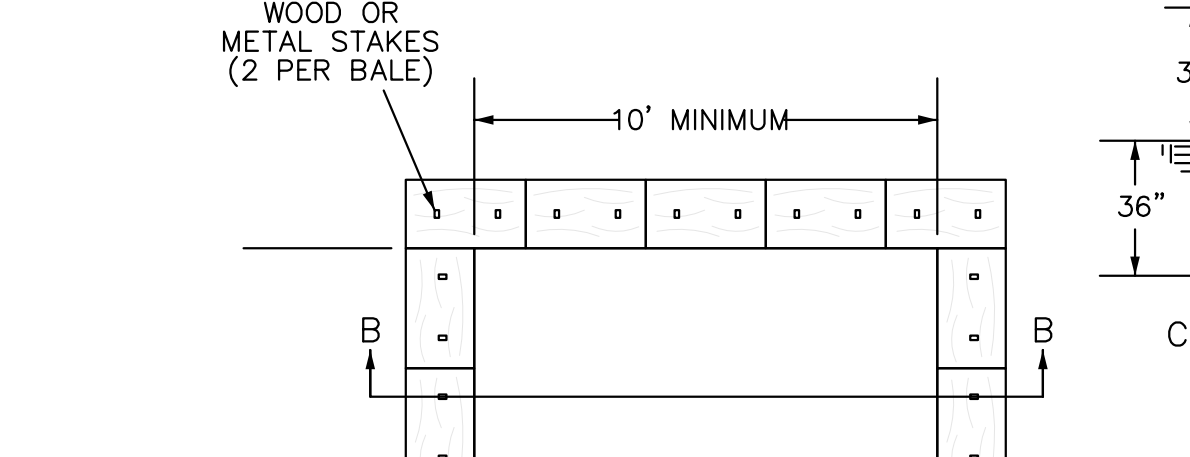
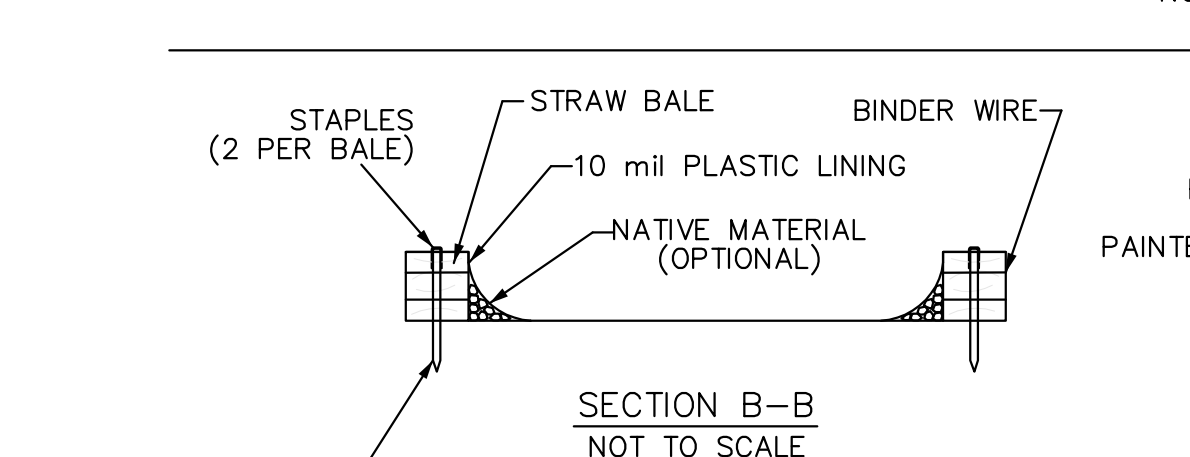
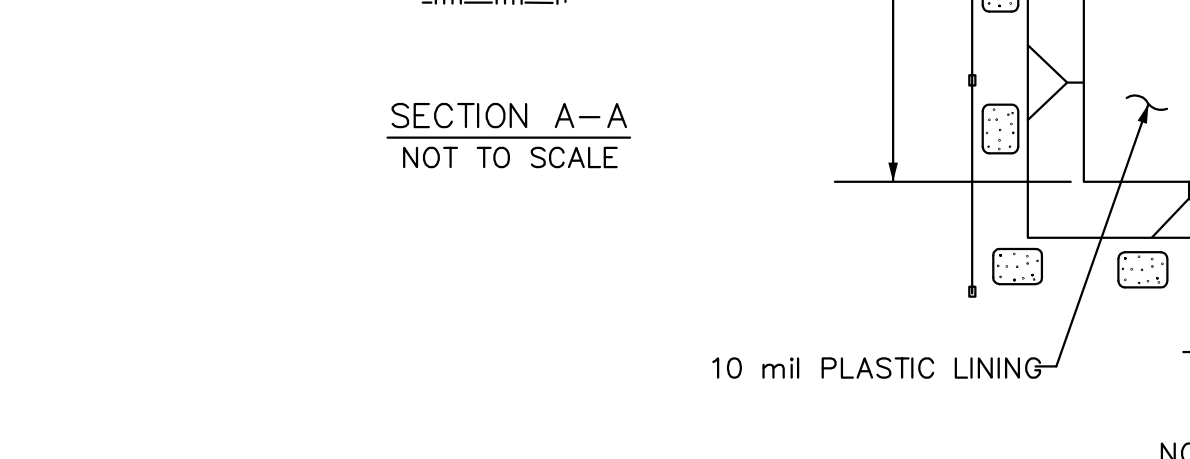
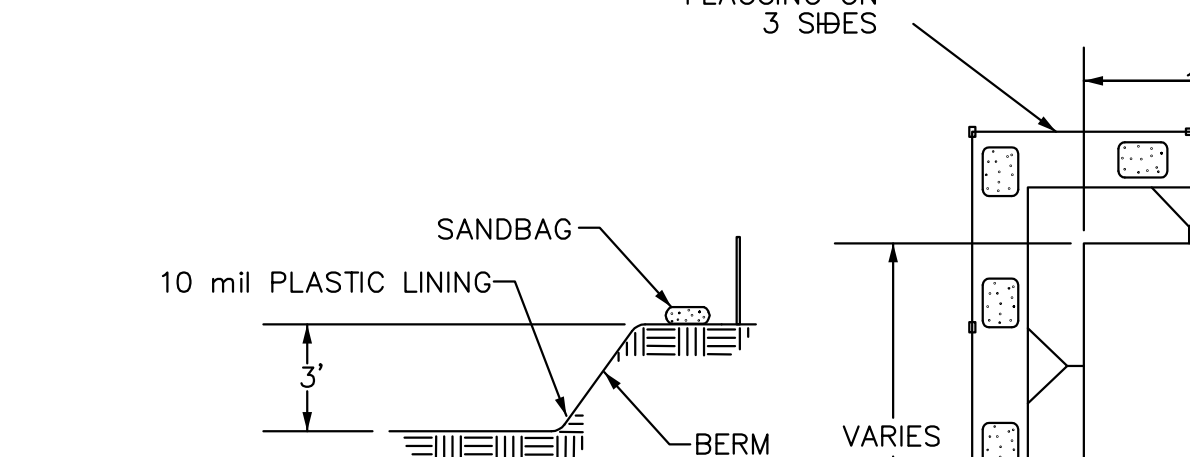
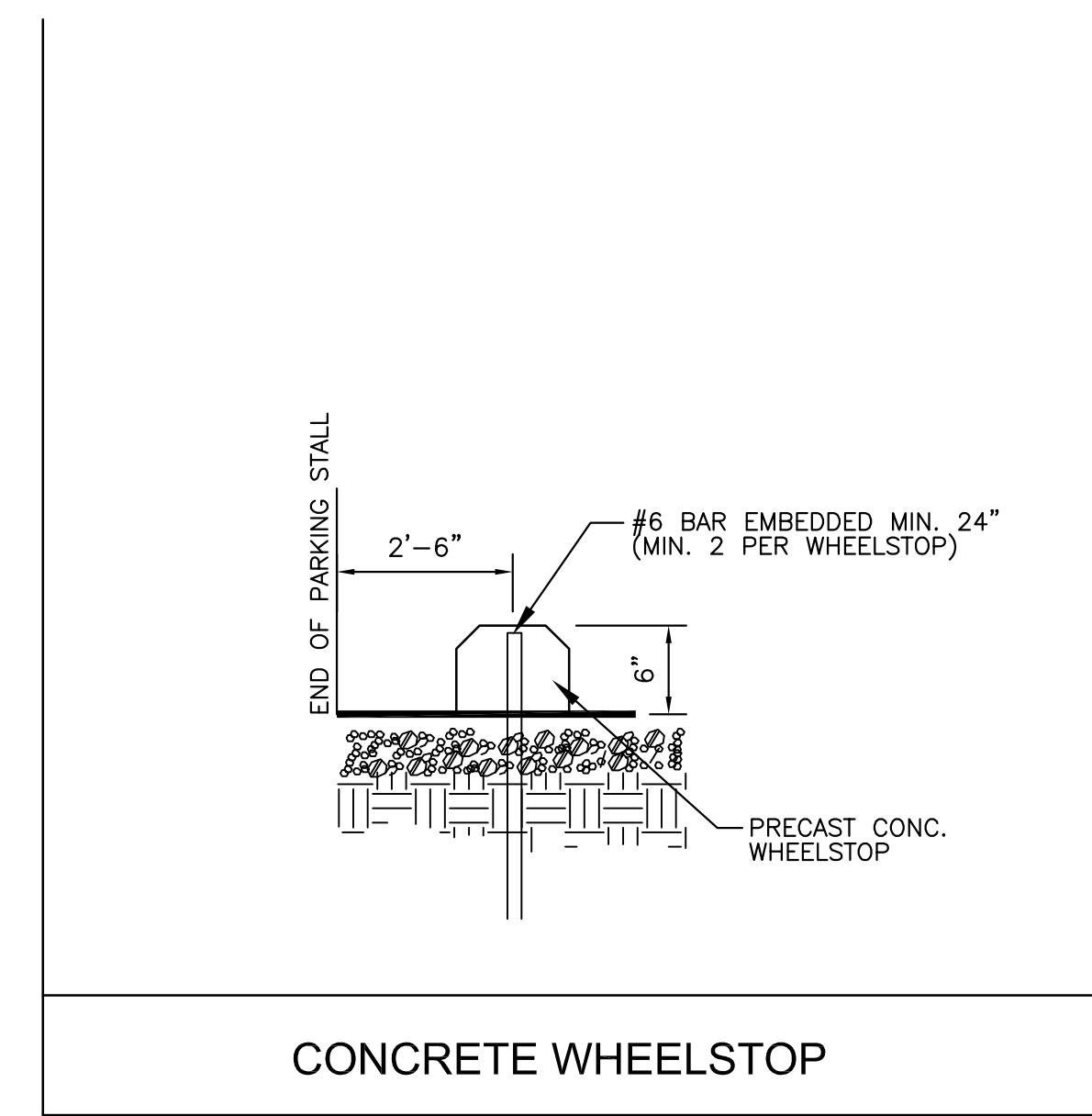
- 1. Do not discharge concrete or cement slurry from the site.
- 2. Dispose of, or recycle/steeled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- 3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- 2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.

**HAZARDOUS AND TOXIC WASTE**

- 1. Create designated hazardous waste collection areas on-site.
- 2. Place hazardous waste containers under cover or in secondary containment.
- 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



TYPE "ABOVE GRADE" WITH STRAW BALES

CONCRETE WASHOUT DETAIL & NOTES

**CONCRETE WASHOUT AREA**

Please show a Concrete Washout area, provide details and place notes below with detail provided. Do not locate containment areas or devices where accidental release of the contained liquid can threaten health or safety, or discharge to water bodies, channel, or storm drains.

**ONSITE TEMPORARY CONCRETE WASHOUT FACILITY, CONCRETE TRANSIT TRUCK WASHOUT PROCEDURES**

- Temporary concrete washout facilities should be located a minimum of 50 feet from storm drain inlets, open drainage facilities, and watercourses, unless determined infeasible by the Engineer or CRM.
- Temporary concrete washout facilities should be constructed above grade or below grade at the option of the Contractor.

**INSPECTION AND MAINTENANCE**

- The Engineer or CRM should monitor on site concrete waste storage and disposal procedures at least weekly.
- The Engineer or CRM should monitor concrete washing tasks, such as saw cutting, coring, grinding and grooving daily to ensure proper methods are employed.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

EFFECTIVE: 04/01/19

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

RECORD KEEPING AND REPORTING SELF-INSPECTIONS ARE REQUIRED EVERY 7 DAYS OR AFTER GREATER THAN 0.5 INCH RAINFALL AND IN ACCORDANCE WITH THE TABLE BELOW.

Table with 3 columns: Inspect, Frequency (during normal business hours), and Inspection records must include.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit.

Table with 2 columns: Item to Document and Documentation Requirements.

**2. Additional Documentation**

- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

1. Occurrences that must be reported

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if: They are 25 gallons or more, They are less than 25 gallons but cannot be cleaned up within 24 hours, They cause sheen on surface waters (regardless of volume), or They are within 100 feet of surface waters (regardless of volume).

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office and the Town of Waxhaw, by calling 704-843-2195, ext. 238 and sending email to crice@waxhaw.com, within the timeframes and in accordance with the other requirements listed below.

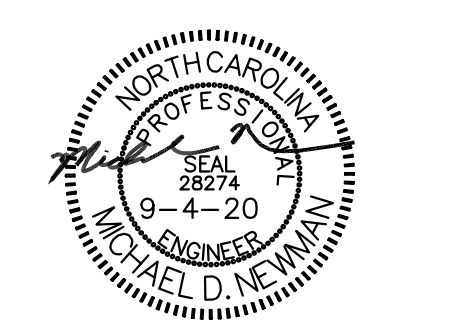
- (a) Visible sediment deposition in a stream or wetland: Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition.
- (b) Oil spills and release of hazardous substances per Item 1(b)-(c) above: A report at least ten days before the date of the bypass, if possible. Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.



**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

EFFECTIVE: 04/01/19

MDV Engineering logo and contact information: C/O Ayer Design Group, 215 Johnston Street, Rock Hill, SC 29730.



Arbys logo and RESTAURANT W/ DRIVE-THRU information: #8821, 1001 ASPINAL ST., WAXHAW, NC 28173.

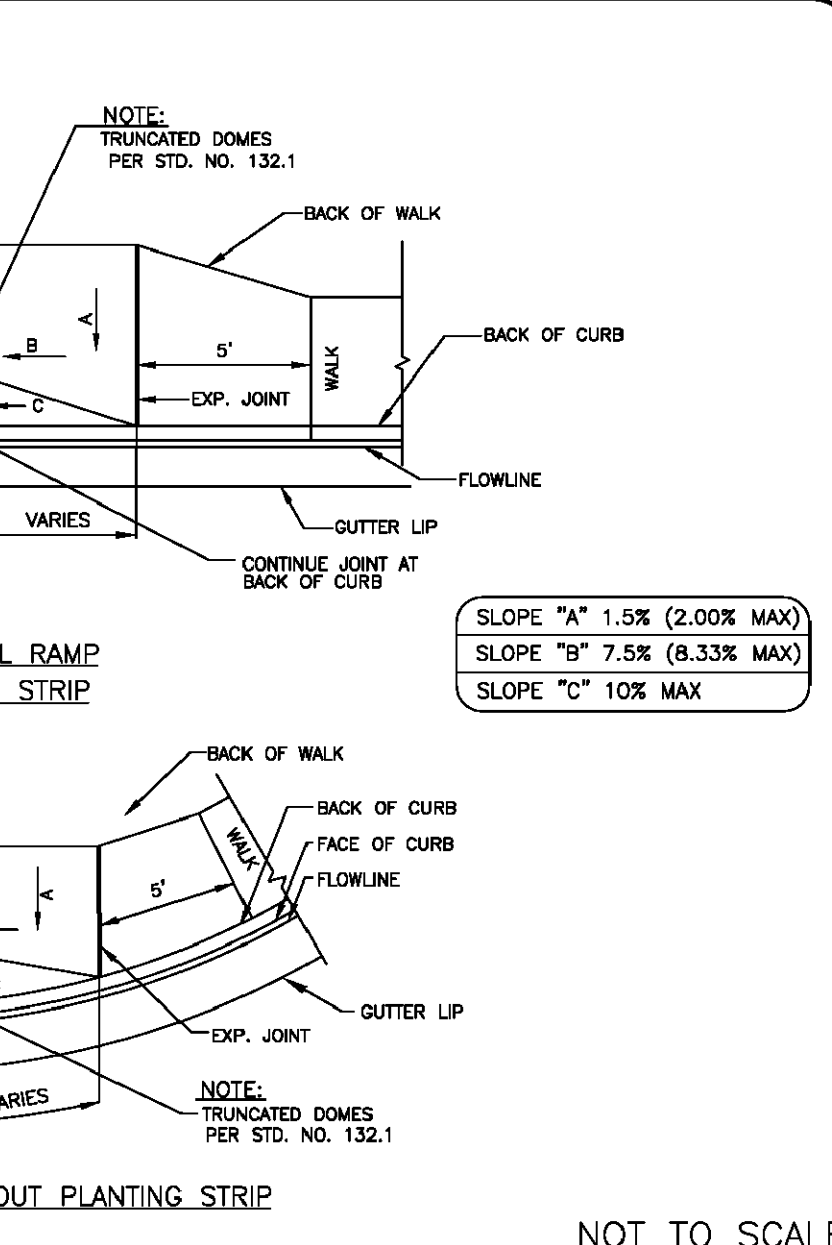
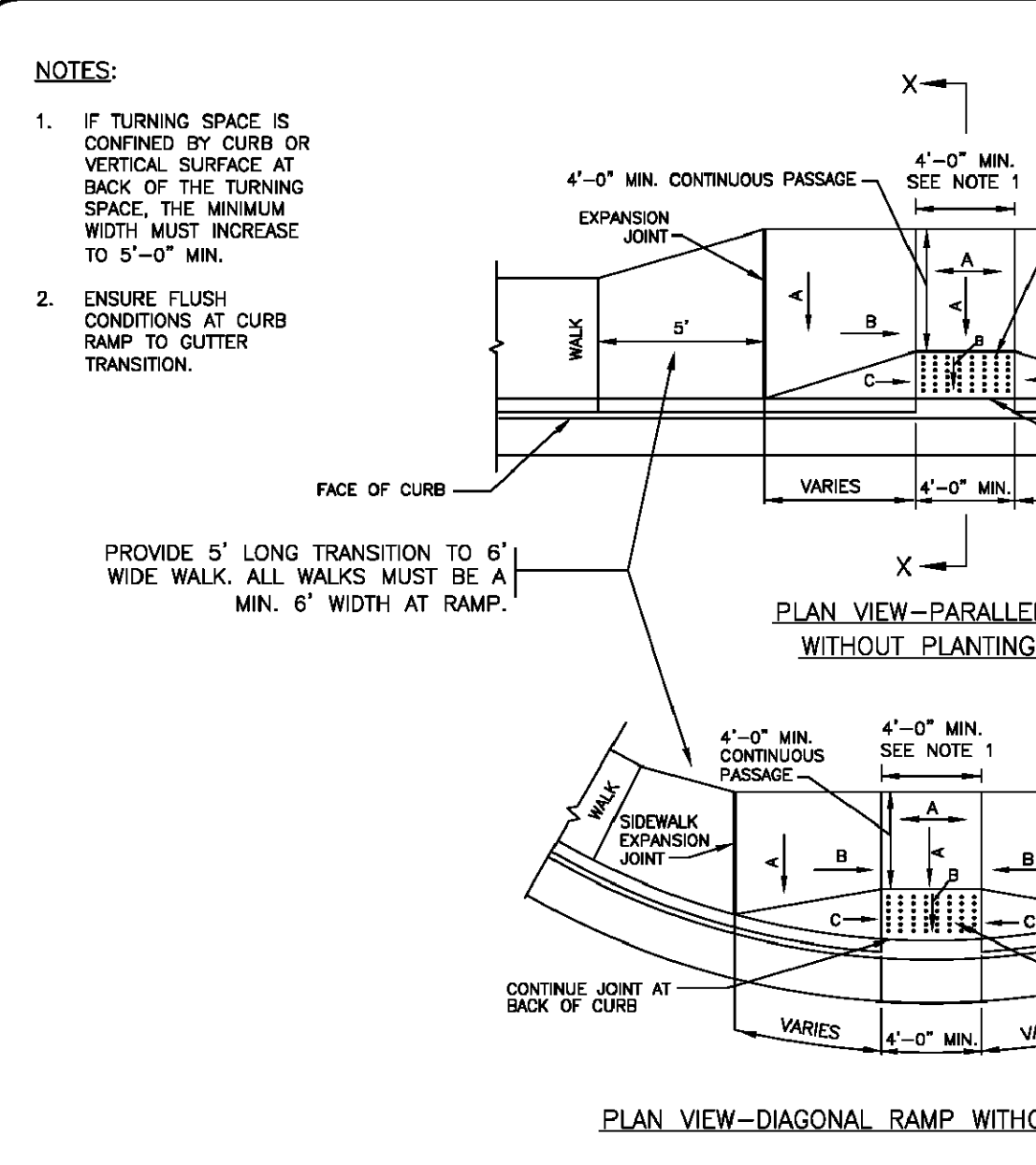
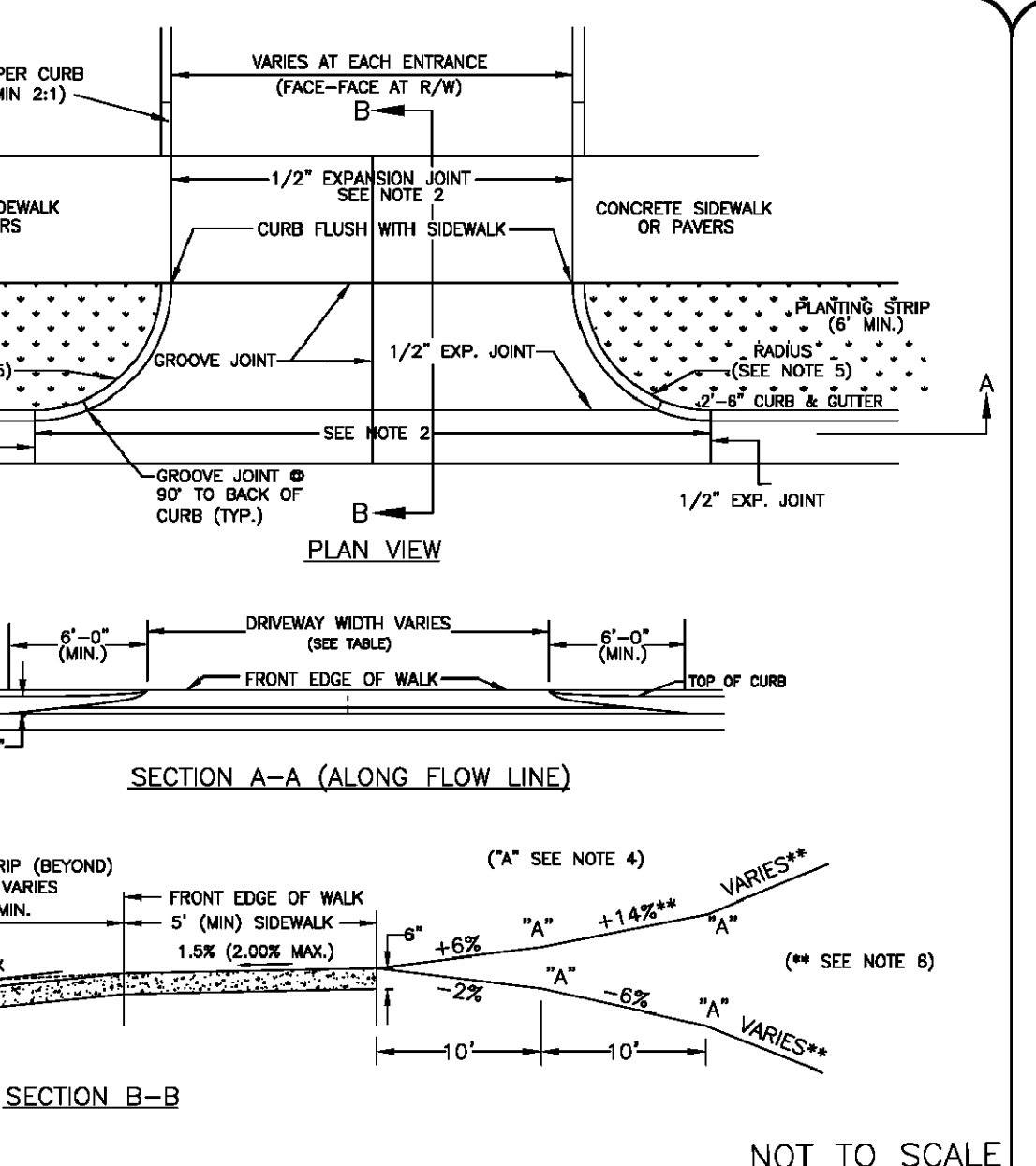
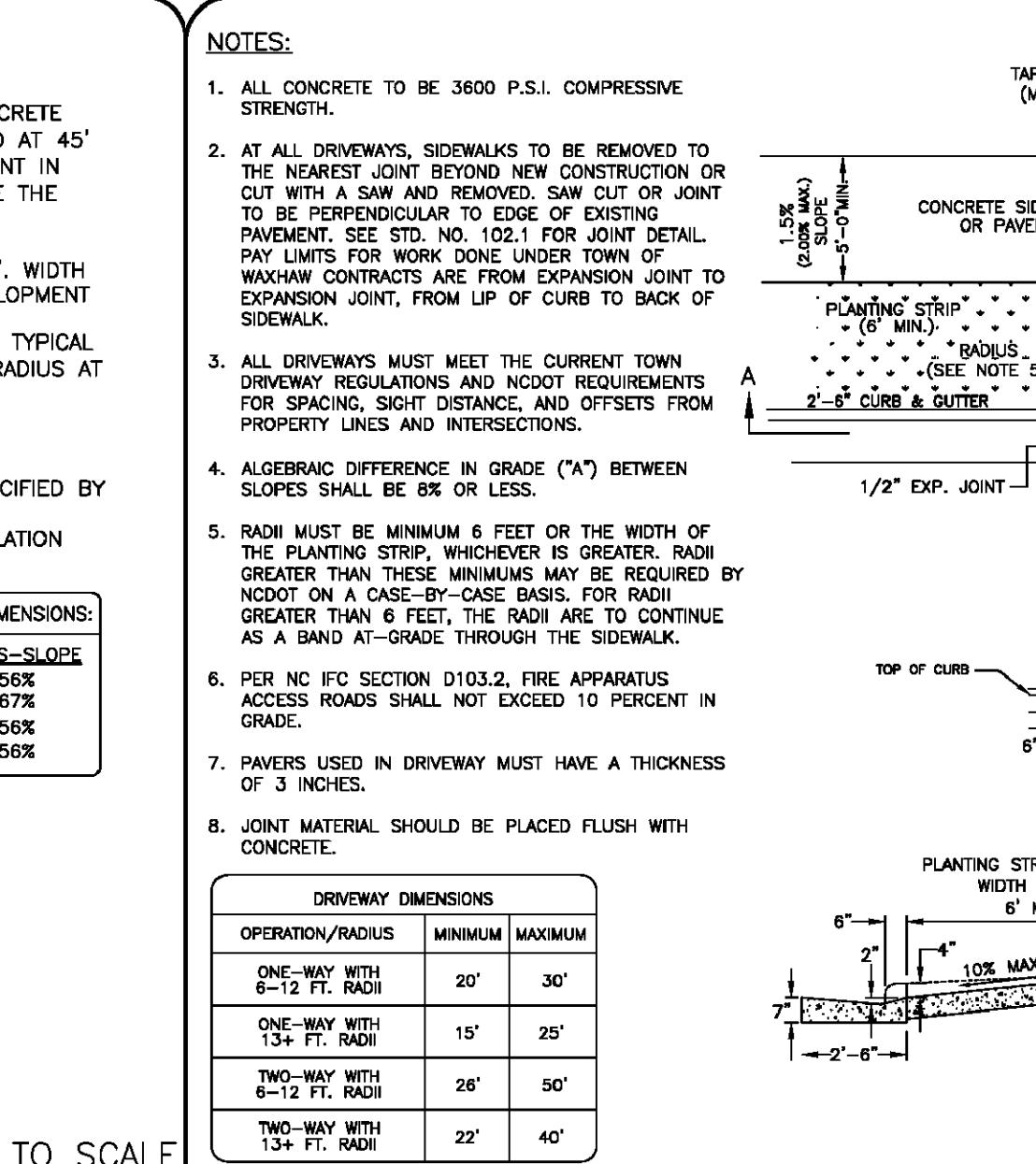
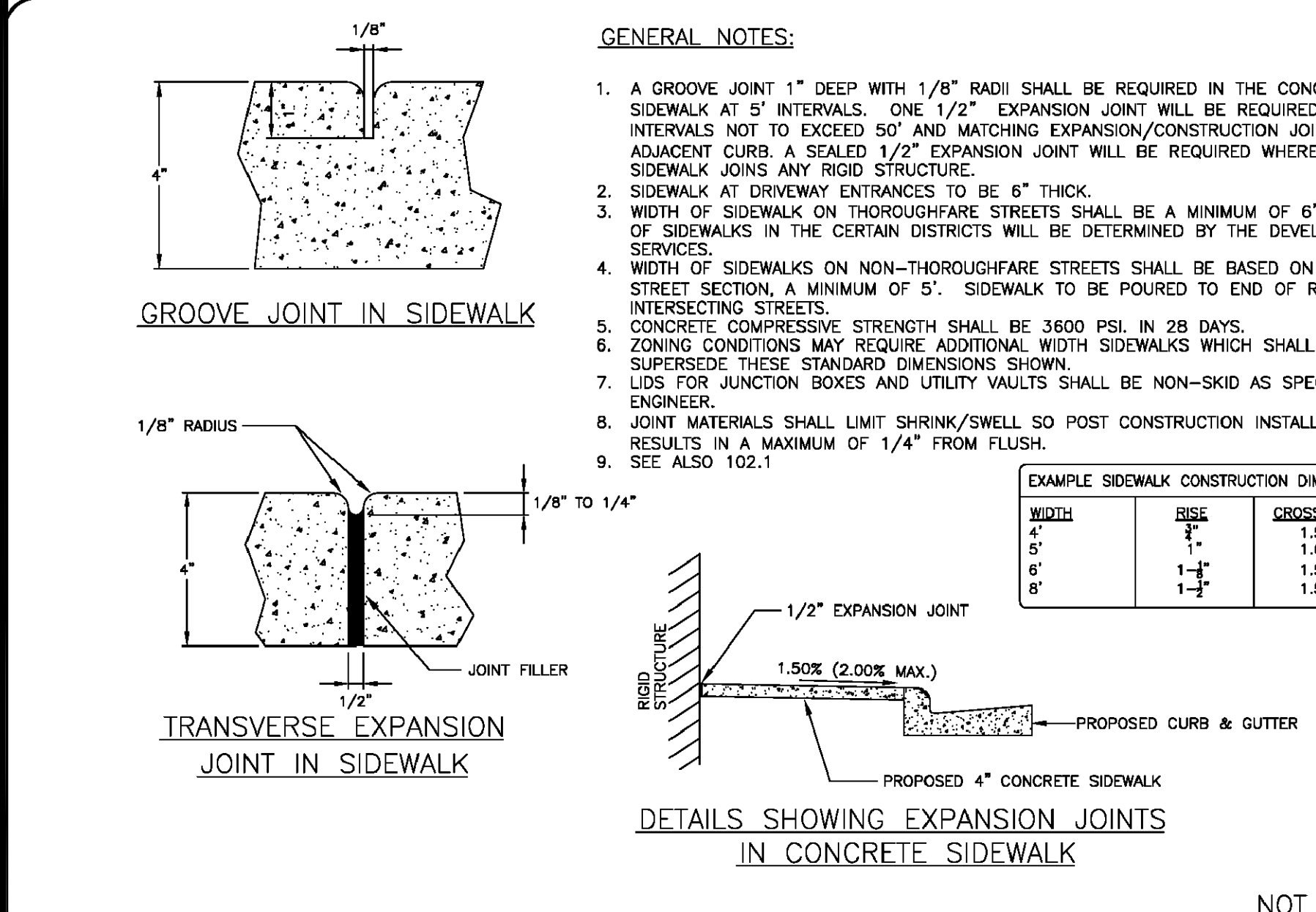
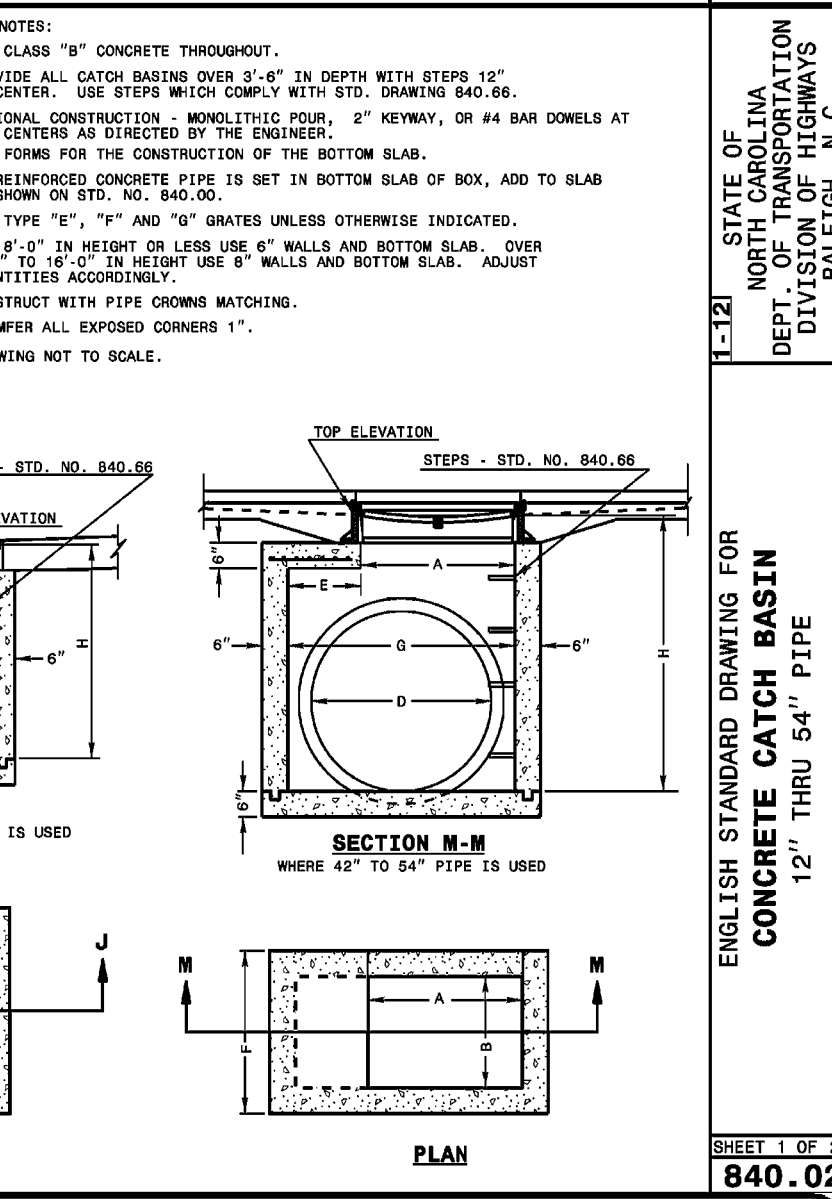
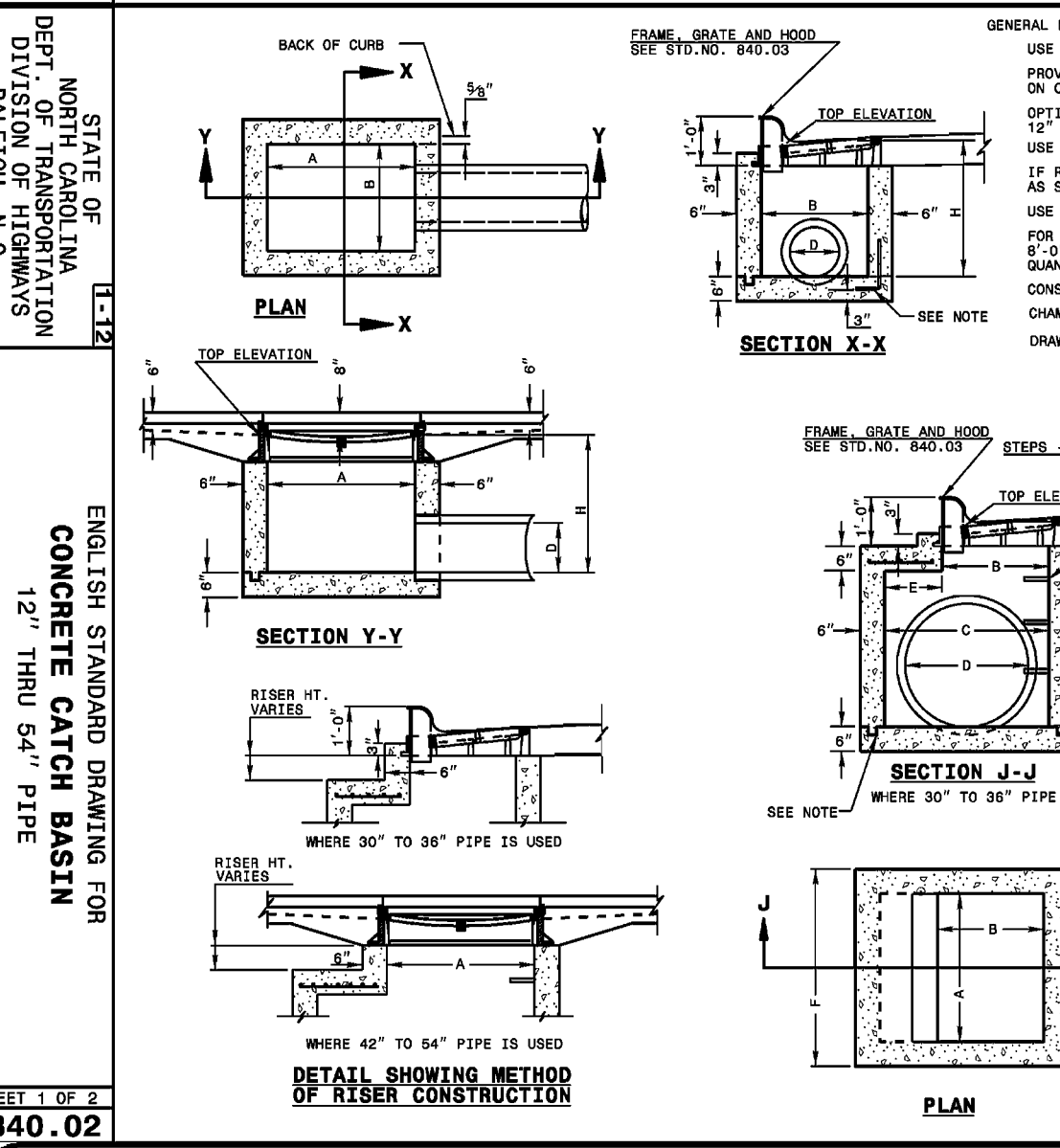
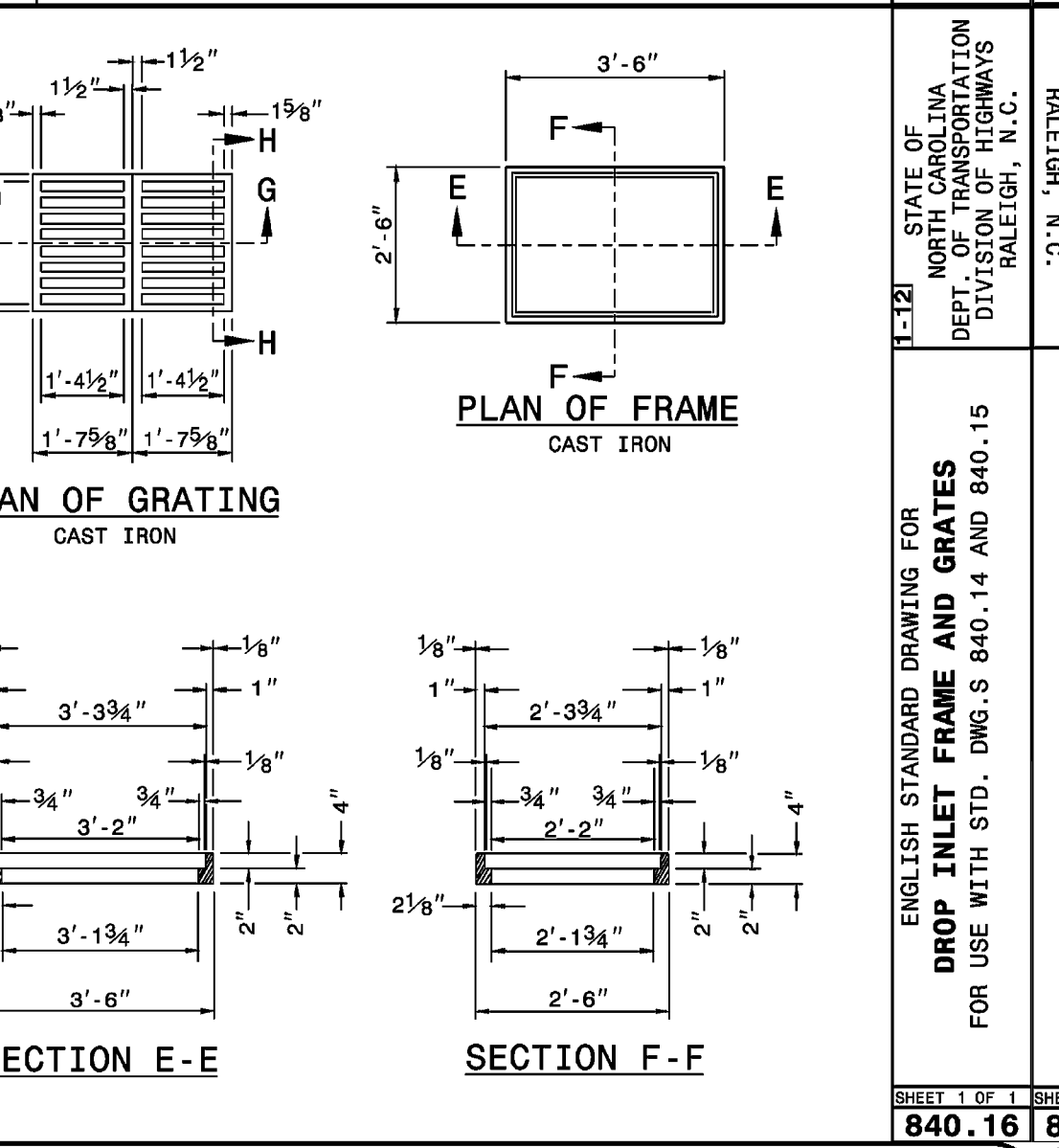
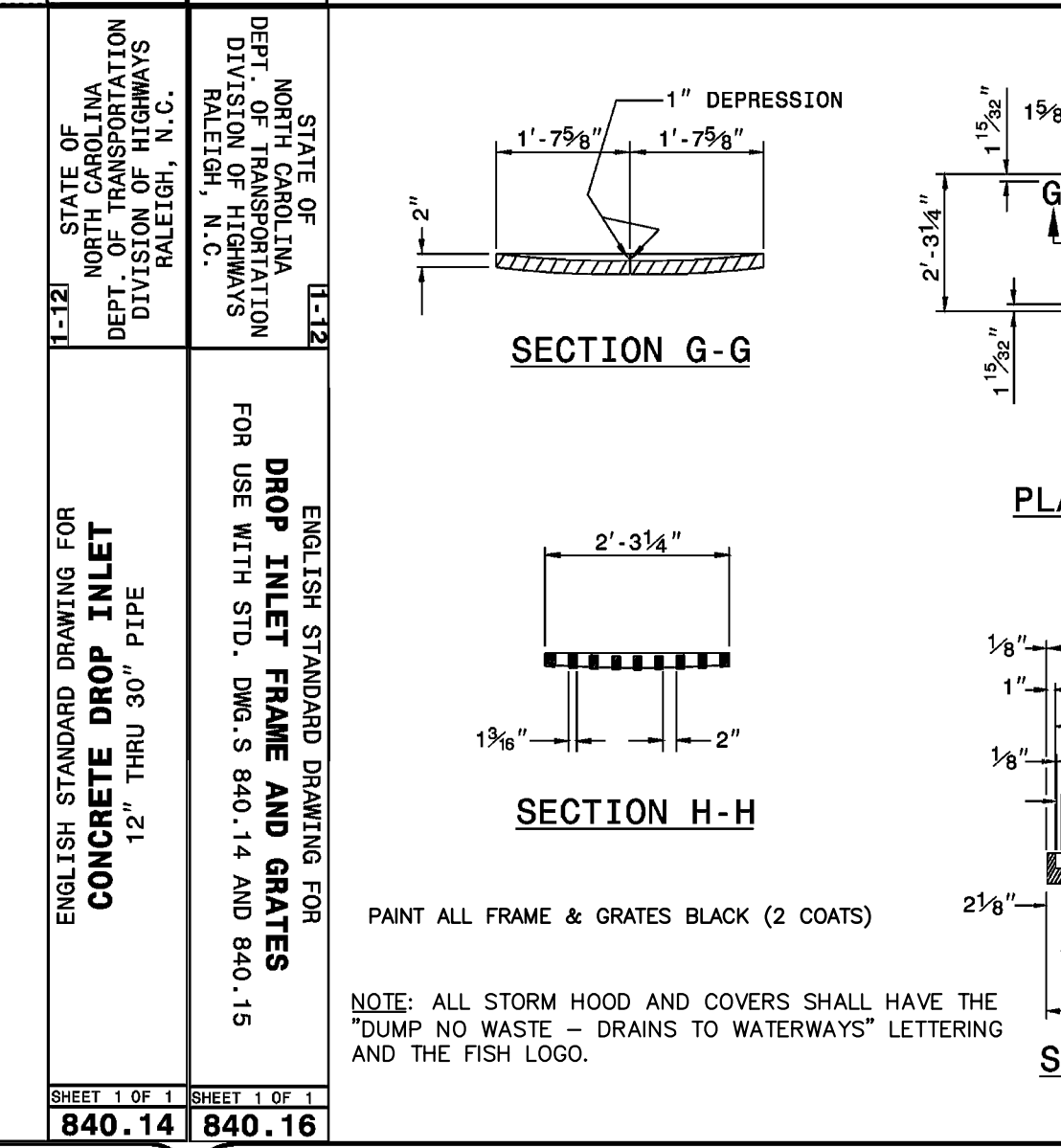
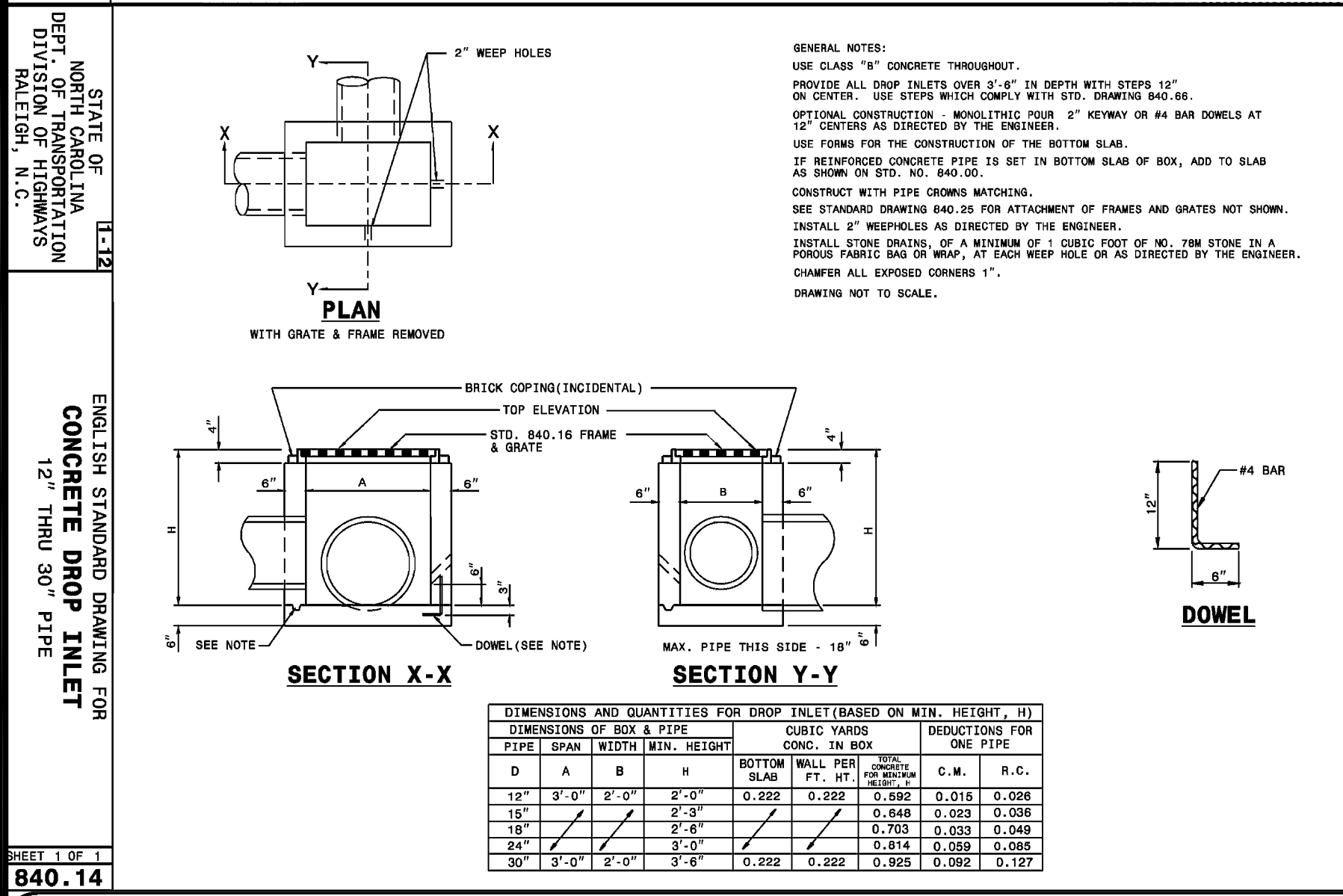
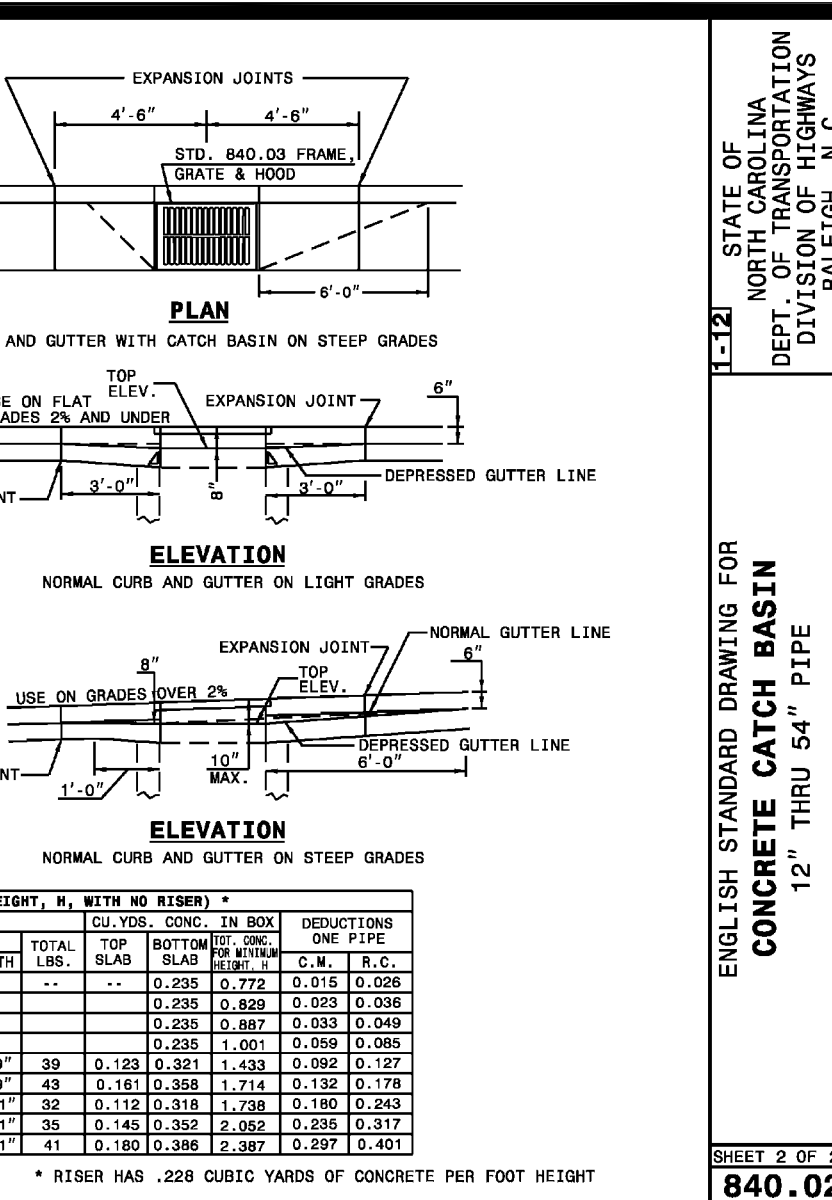
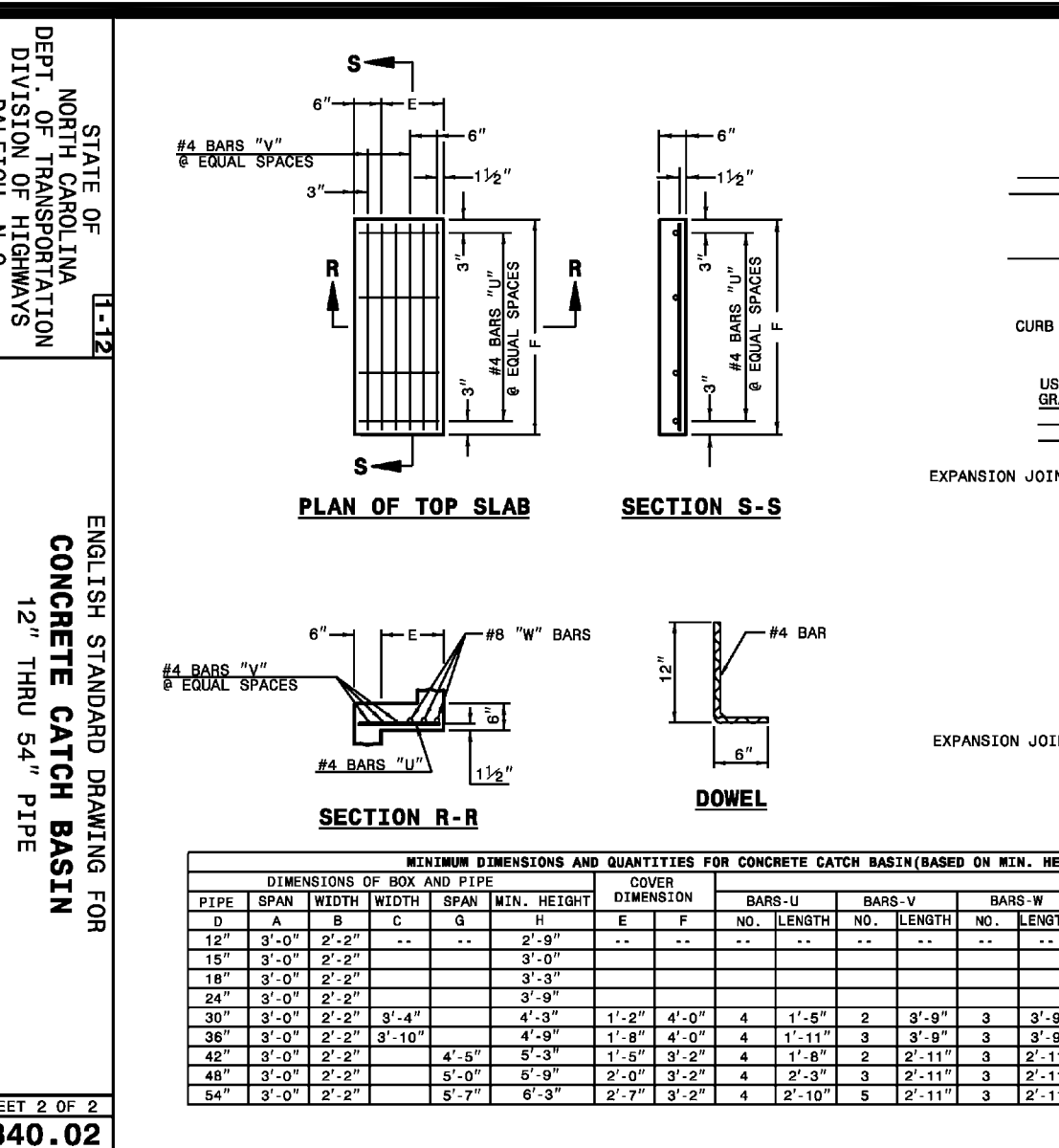
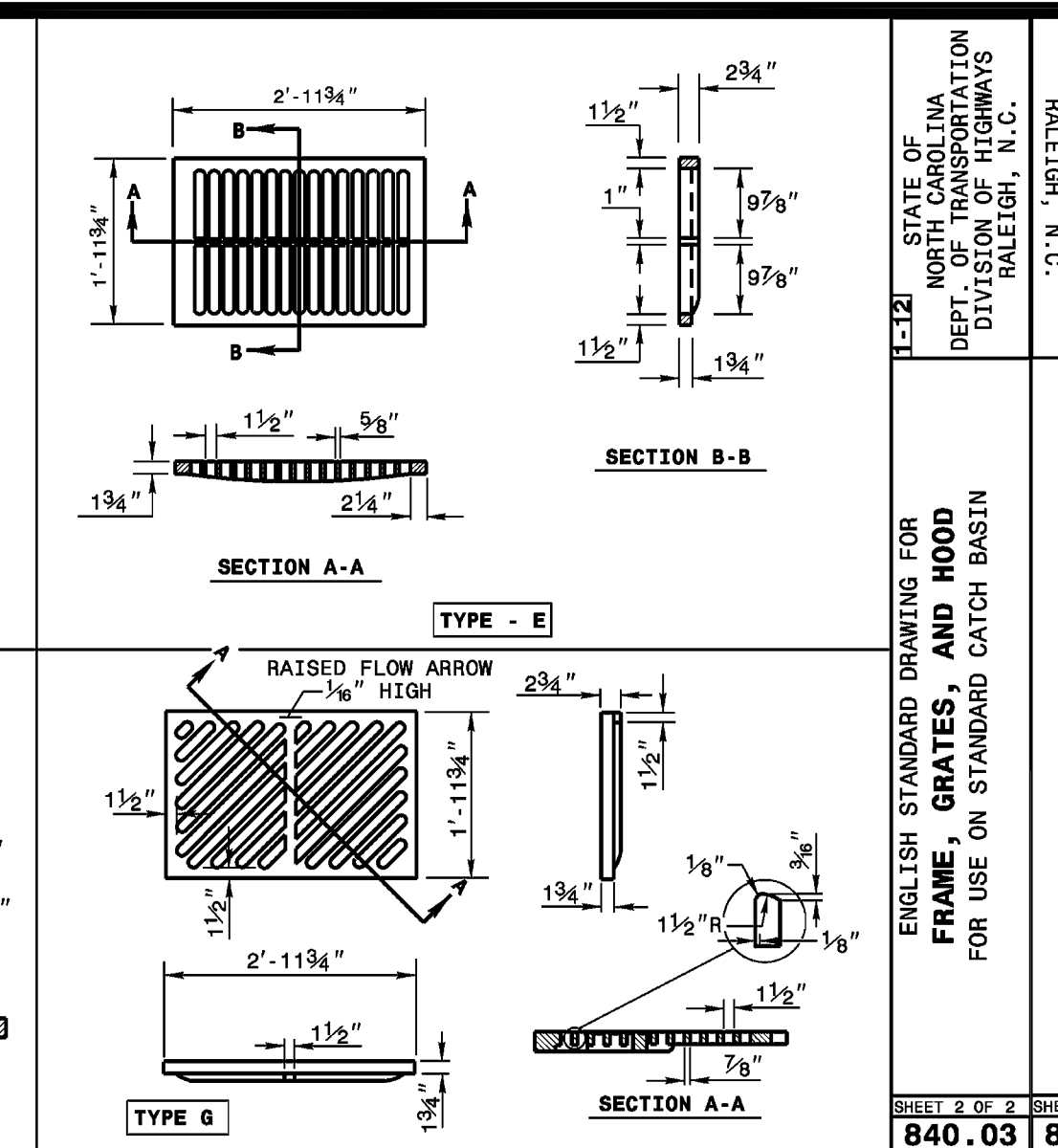
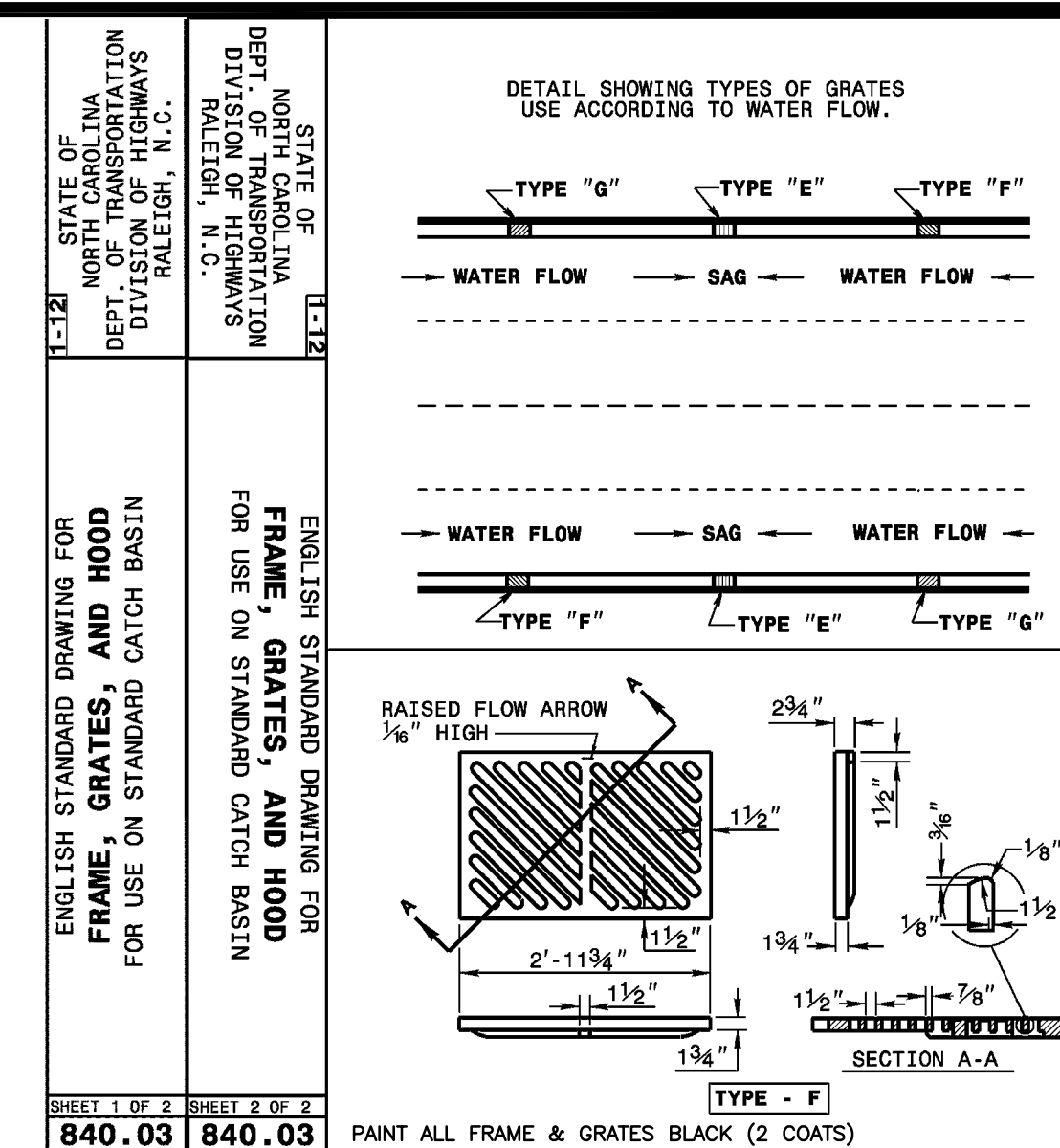
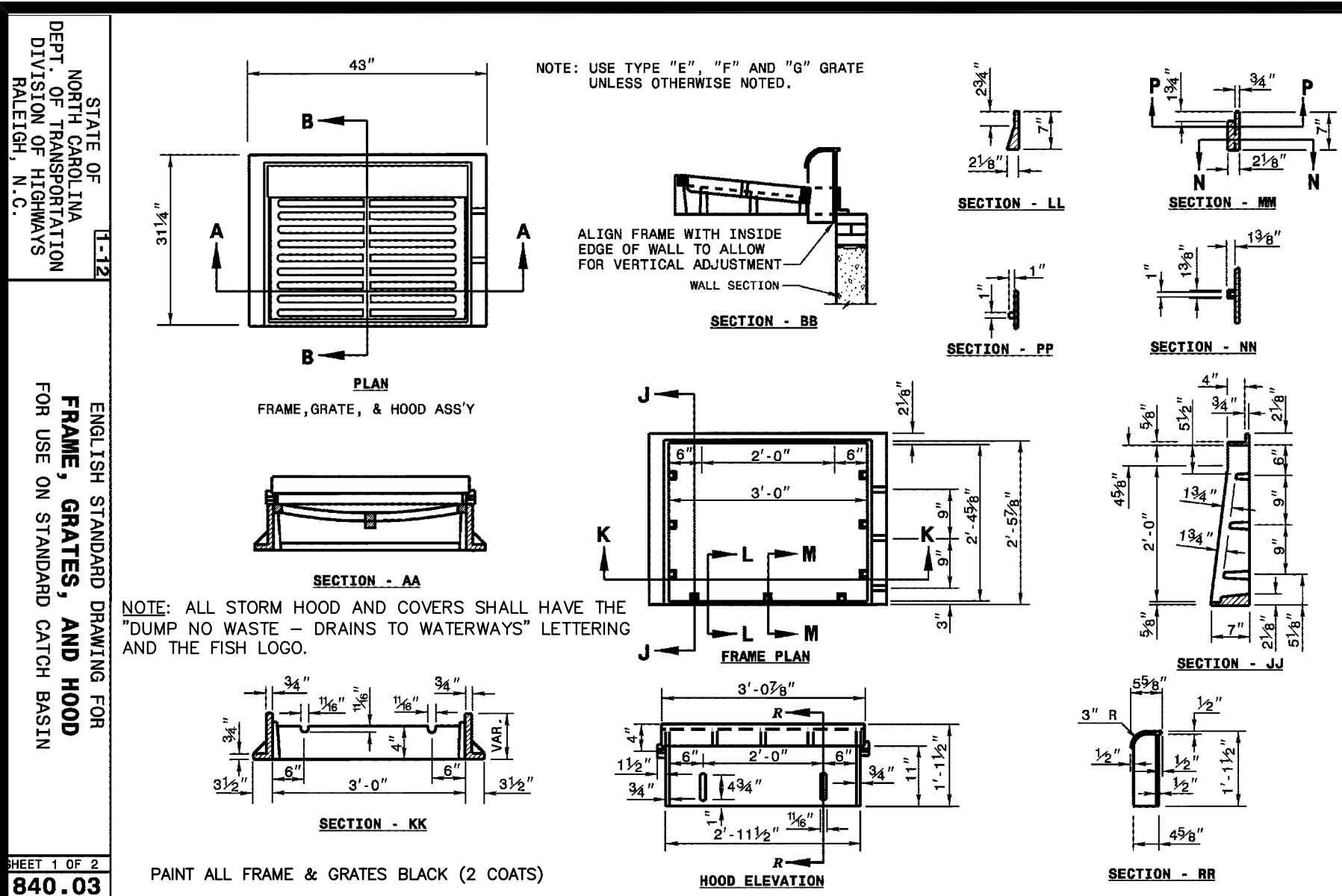
FOR BRG Brumit Restaurant Group logo and contact information: BRUMIT RESTAURANT GROUP, LLC, P.O. BOX 15726, ASHEVILLE, NC 28813.

Table with 2 columns: REVISIONS and PER TOWN PLAN REVIEW.

DWG. NAME : 2020-104, DRAWN BY : MDN, DATE : 5-26-20, SCALE: N.T.S.

DETAIL SHEET C.5





TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS

CONCRETE SIDEWALKS

STD. NO. 106.1 REV. 8/19

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS

TYPE II-MODIFIED DRIVEWAY DETAIL WITH WIDE PLANTING STRIP AND STANDARD CURB

STD. NO. 115.1 REV. 8/19

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS

ACCESSIBLE RAMP STANDARD WITHOUT PLANTING STRIP 2'-6" CURB AND GUTTER

STD. NO. 125.1

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS

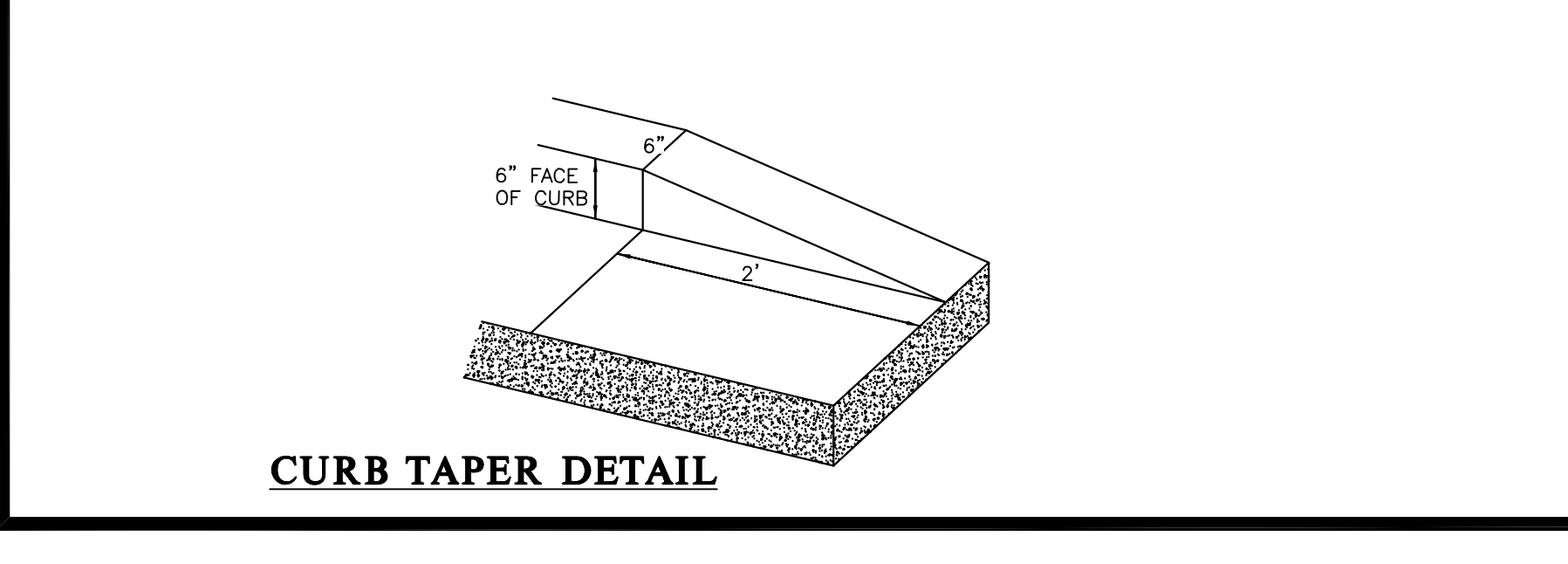
ACCESSIBLE RAMP STANDARD WITHOUT PLANTING STRIP 2'-6" CURB AND GUTTER

STD. NO. 125.1

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS

ACCESSIBLE RAMP STANDARD WITHOUT PLANTING STRIP 2'-6" CURB AND GUTTER

STD. NO. 125.1



MDV Engineering  
 P-0883  
 C/O Ayer Design Group  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 704-400-1044  
 Email: michaie@mdveng.com

PROJECT  
**Arbys**  
 RESTAURANT  
 W/ DRIVE-THRU  
 #8821  
 1001 ASPINAL ST.  
 WAXHAW, NC 28173  
 (PROVIDENCE ROAD)

FOR  
**BRG**  
 Brumit Restaurant Group  
 BRUMIT RESTAURANT GROUP, LLC  
 P.O. BOX 15726  
 ASHEVILLE, NC 28813  
 PH: 828.274.5835

REVISIONS

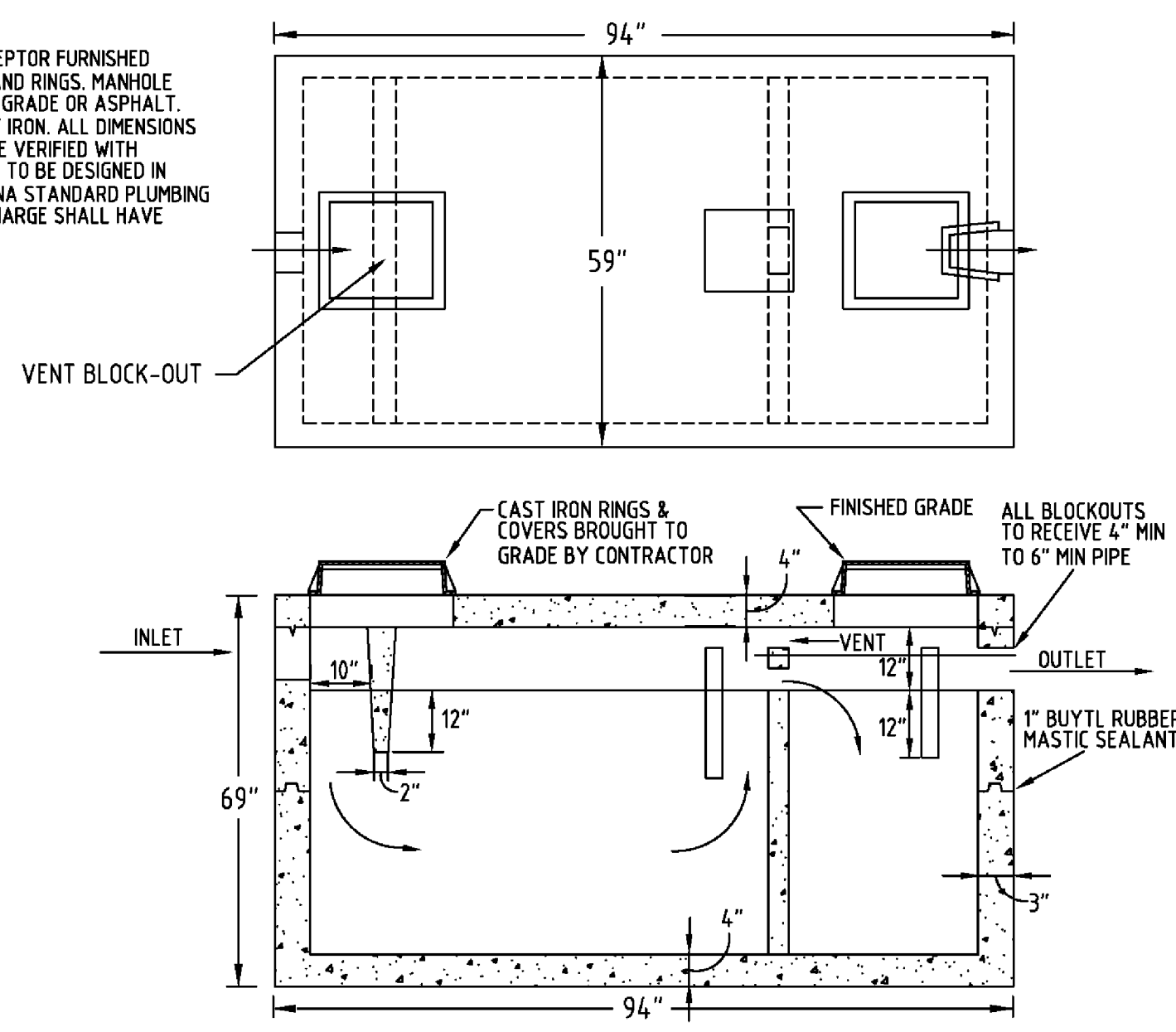
NO.	DATE	DESCRIPTION

DWG. NAME : 2020-104  
 DRAWN BY : MDN  
 DATE : 5-26-20  
 SCALE : N.T.S.

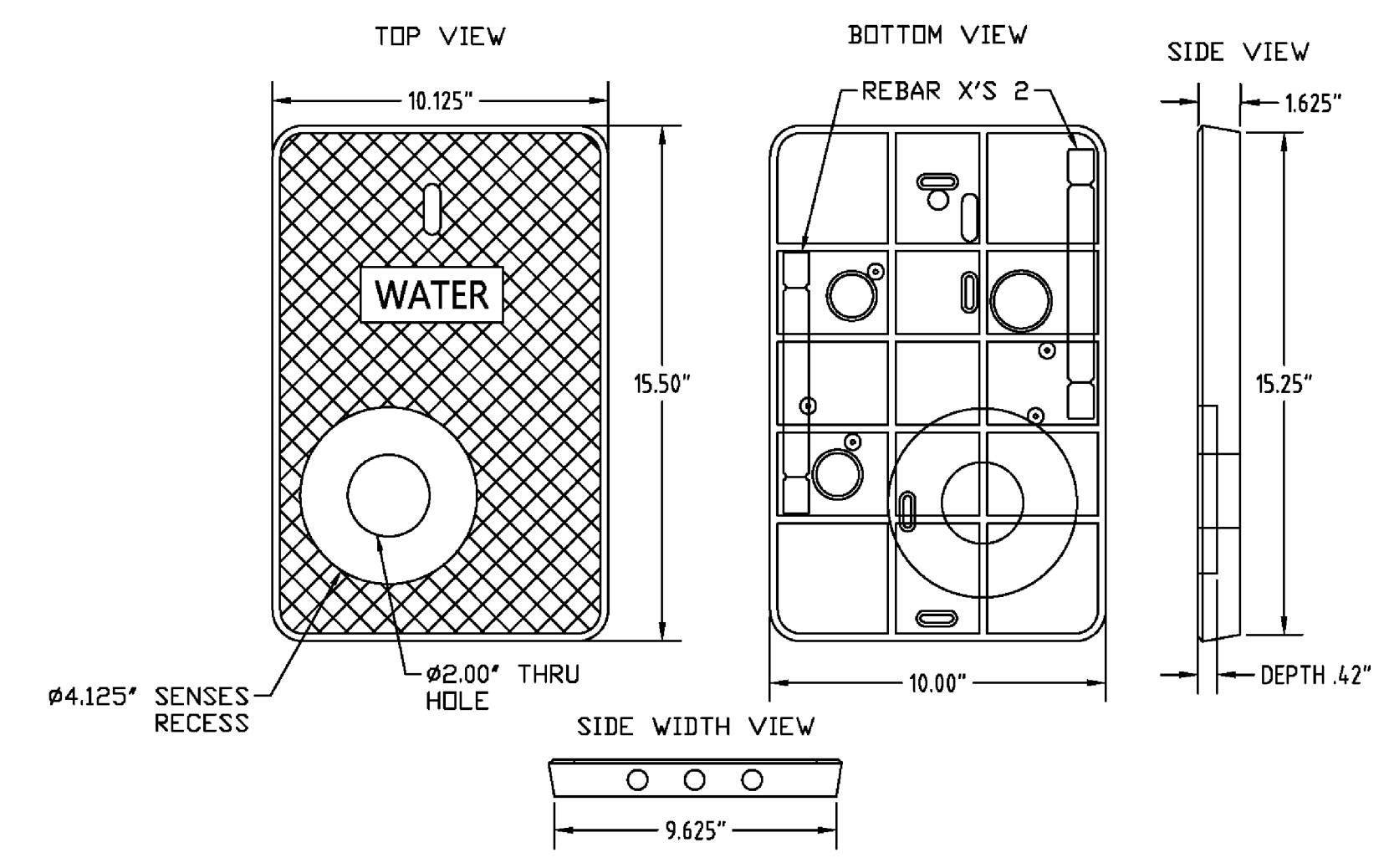
DETAIL SHEET  
**C.6**



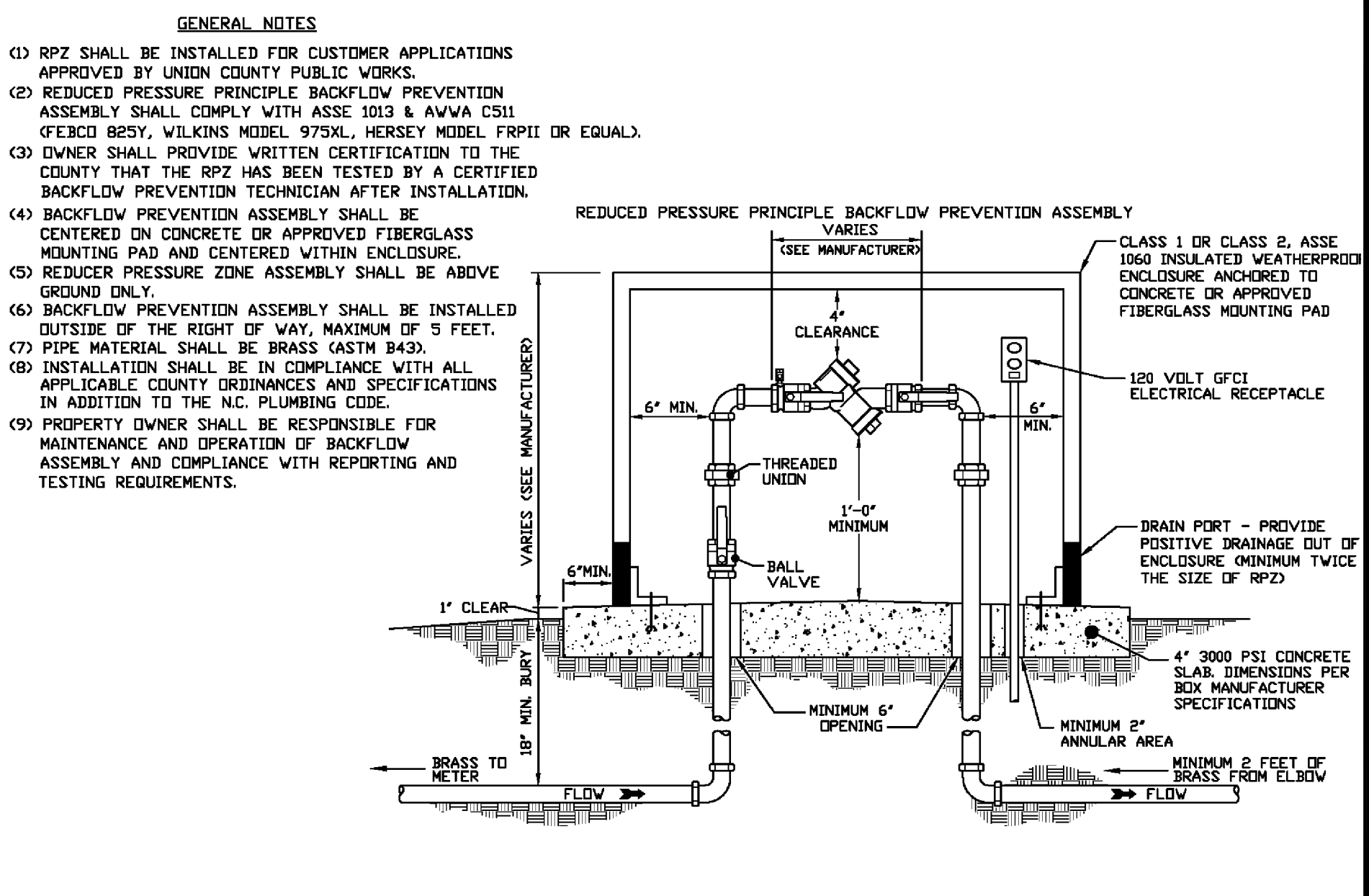
1500 GALLON MINIMUM GREASE INTERCEPTOR FURNISHED COMPLETE WITH CAST IRON MANHOLE AND RINGS. MANHOLE COVER SHALL BE FLUSH WITH FINISHED GRADE OR ASPHALT. ALL PIPE AND FITTINGS SHALL BE CAST IRON. ALL DIMENSIONS ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH MANUFACTURER. GREASE INTERCEPTOR TO BE DESIGNED IN ACCORDANCE WITH THE NORTH CAROLINA STANDARD PLUMBING CODE LATEST EDITION. INLET AND DISCHARGE SHALL HAVE TEES EQUAL TO NEENAH MODEL R-1660.



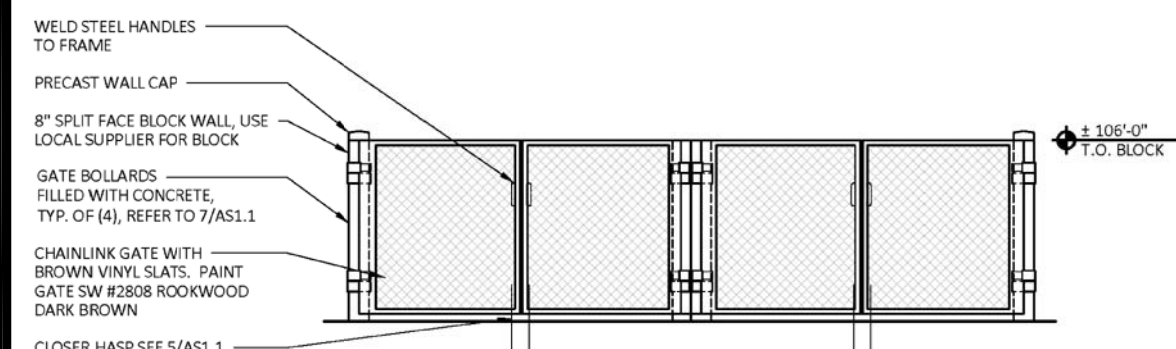
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**GREASE INTERCEPTOR** SCALE: N.T.S. DATE: 10-23-07 **26**



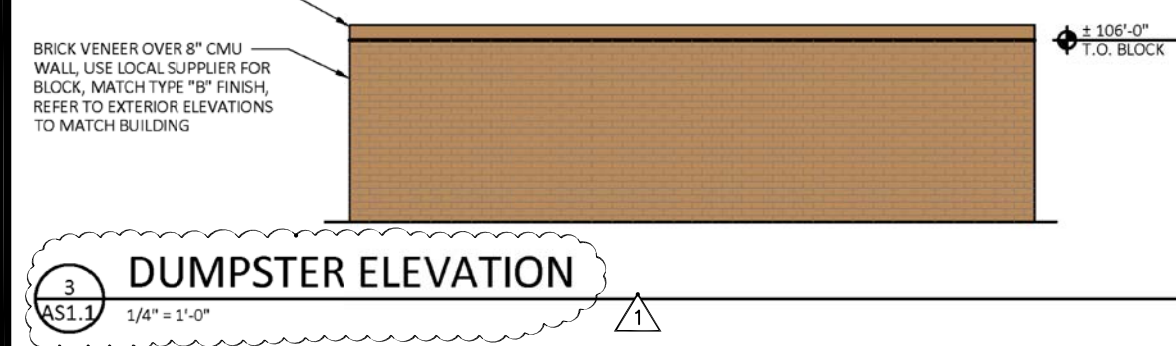
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**METER BOX LID FOR 3/4\"/> SCALE: N.T.S. DATE: 02/06/20 **6A****



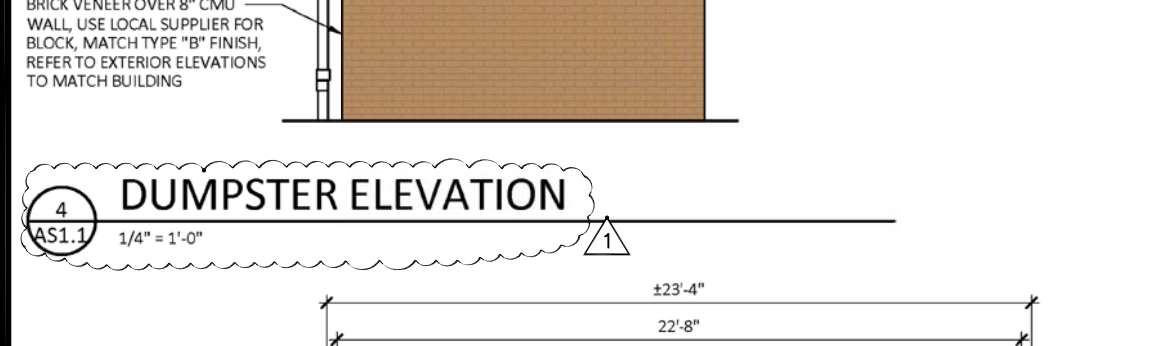
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**REDUCED PRESSURE ZONE ASSEMBLY (3/4\"/> SCALE: N.T.S. DATE: 12-13-13 **24A****



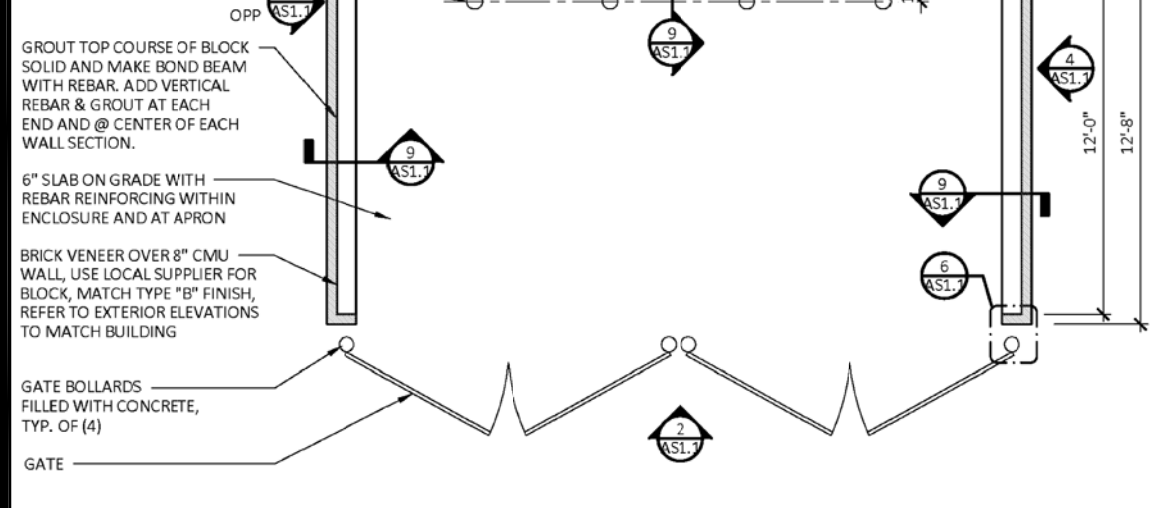
**DUMPSTER ELEVATION** 1/4\"/>



**DUMPSTER ELEVATION** 1/4\"/>

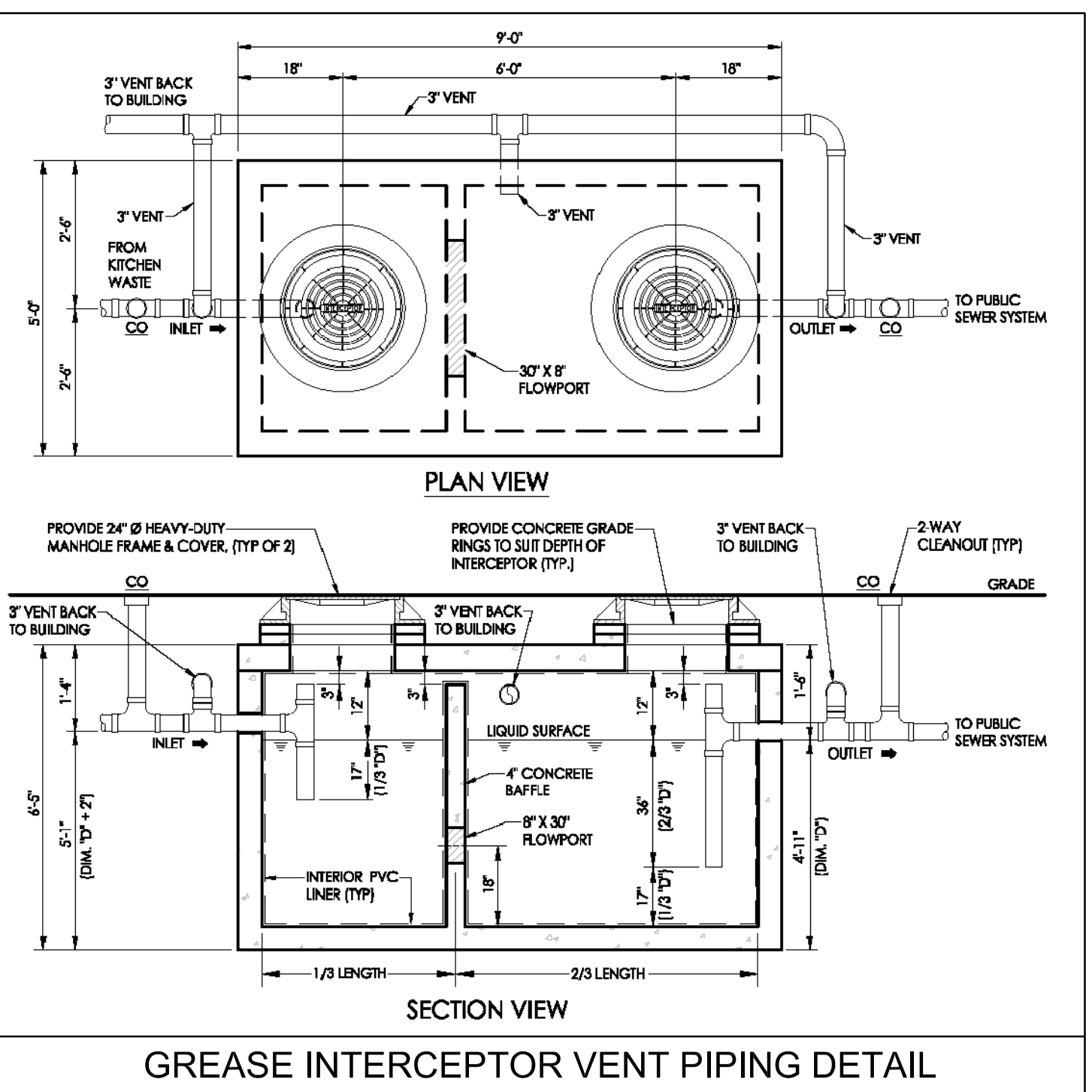


**DUMPSTER ELEVATION** 1/4\"/>

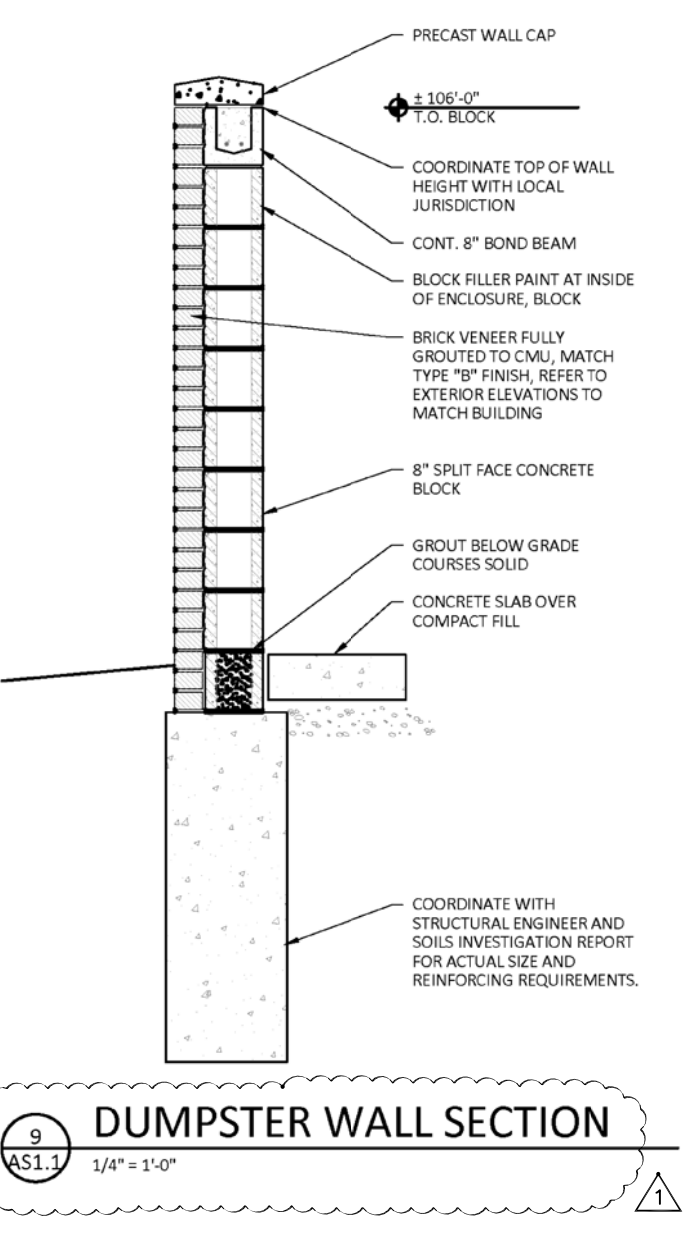


**DUMPSTER PLAN** 1/4\"/>

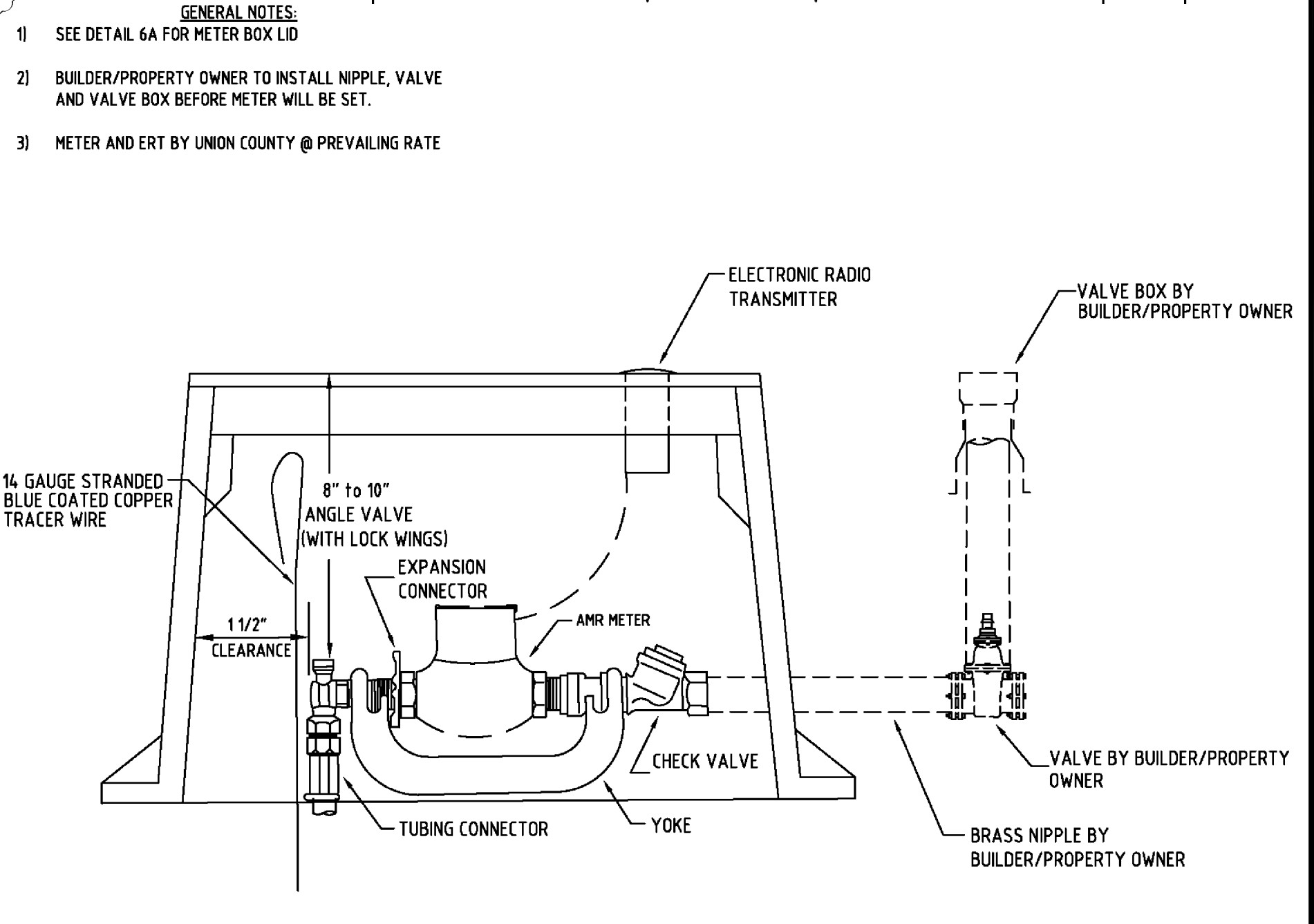
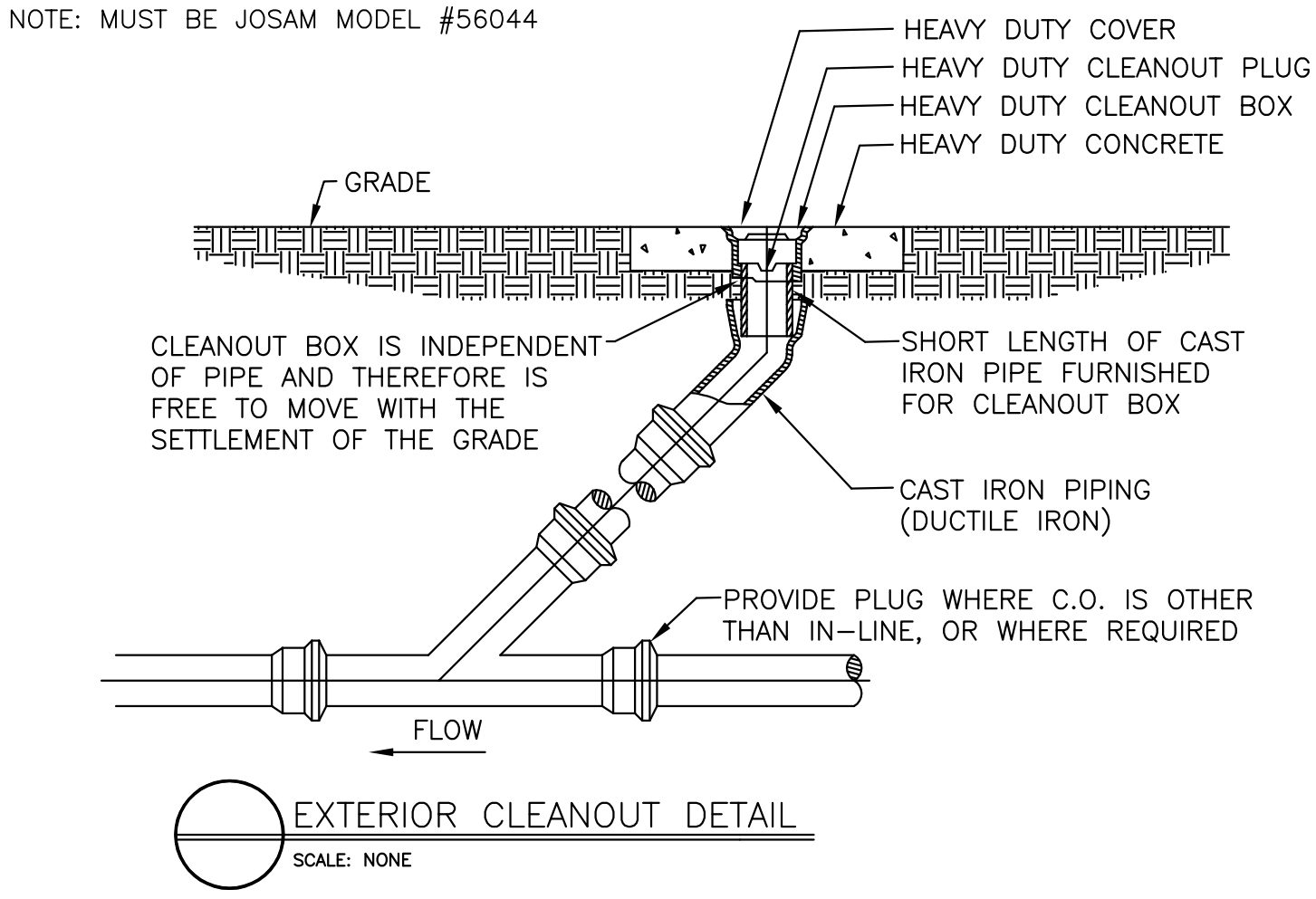
SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR DUMPSTER PLAN AND ELEVATIONS



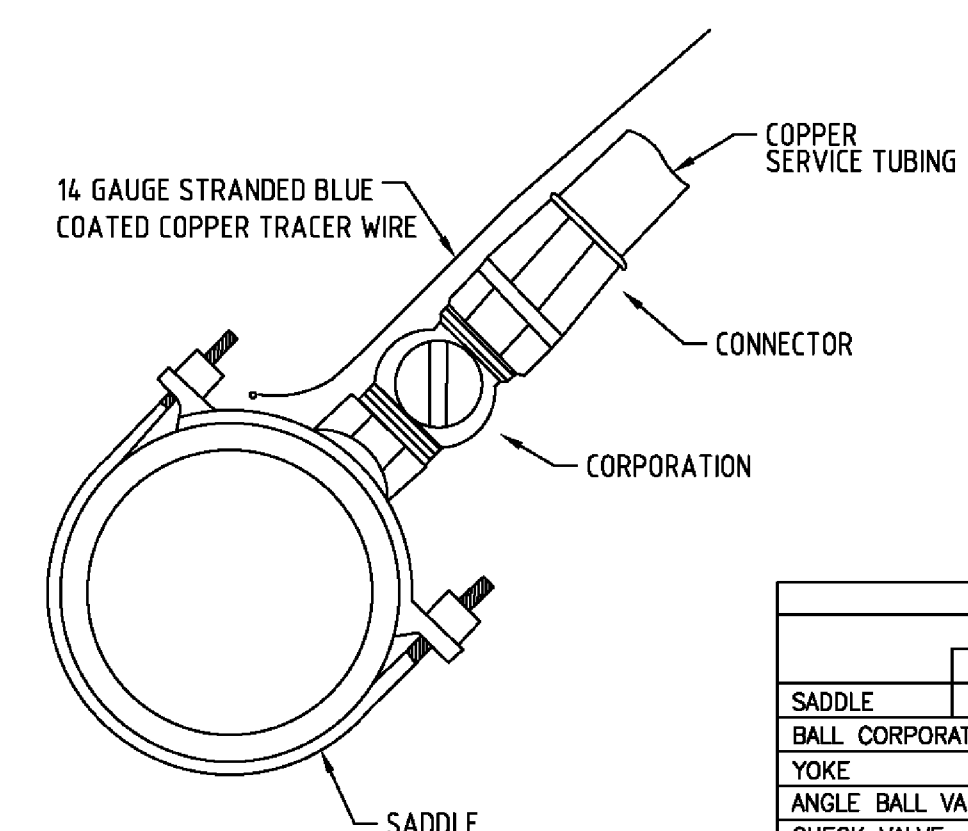
**GREASE INTERCEPTOR VENT PIPING DETAIL**



**DUMPSTER WALL SECTION** 1/4\"/>



UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**METER INSTALLATION FOR 3/4\"/> SCALE: N.T.S. DATE: 2/6/2020 **6****

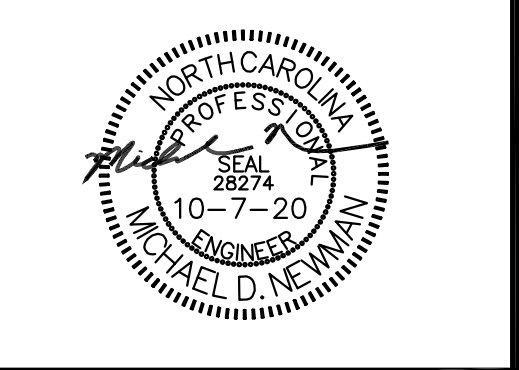


APPROVED SERVICE HARDWARE			
	MUELLER	FORD	
SADDLE UP TO 8"	2\"/>		

NOTE:  
ROMAC 101N SHALL REPLACE MUELLER FOR PIPE DIAMETER UP TO 8"  
SMITH BLAIR 317, FORD FC 202 OR ROMAC 202N SHALL REPLACE MUELLER FOR PIPE DIA. 12" AND UP

UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**SERVICE CONNECTION** SCALE: N.T.S. DATE: 10-4-11 **5**

**MDV Engineering**  
P-08853  
C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044  
Email: mdveng@mdveng.com



PROJECT  
**Arbys**  
**RESTAURANT w/ DRIVE-THRU**  
#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)  
PRESCOT VILLAGE PHASE 1,  
BUILDING 2, PARCEL D  
FOR  
**BRG**  
Brumit Restaurant Group  
BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5835

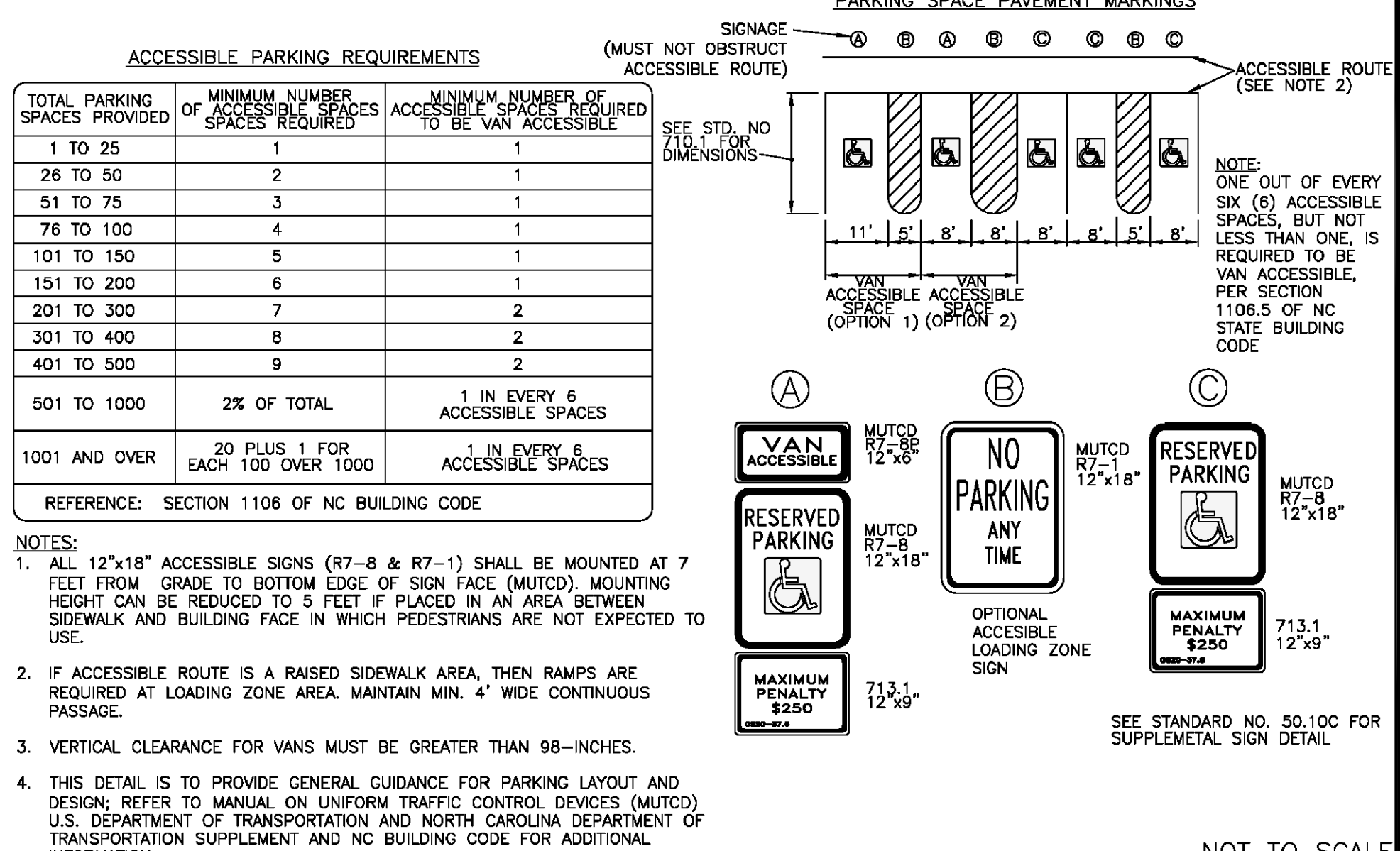
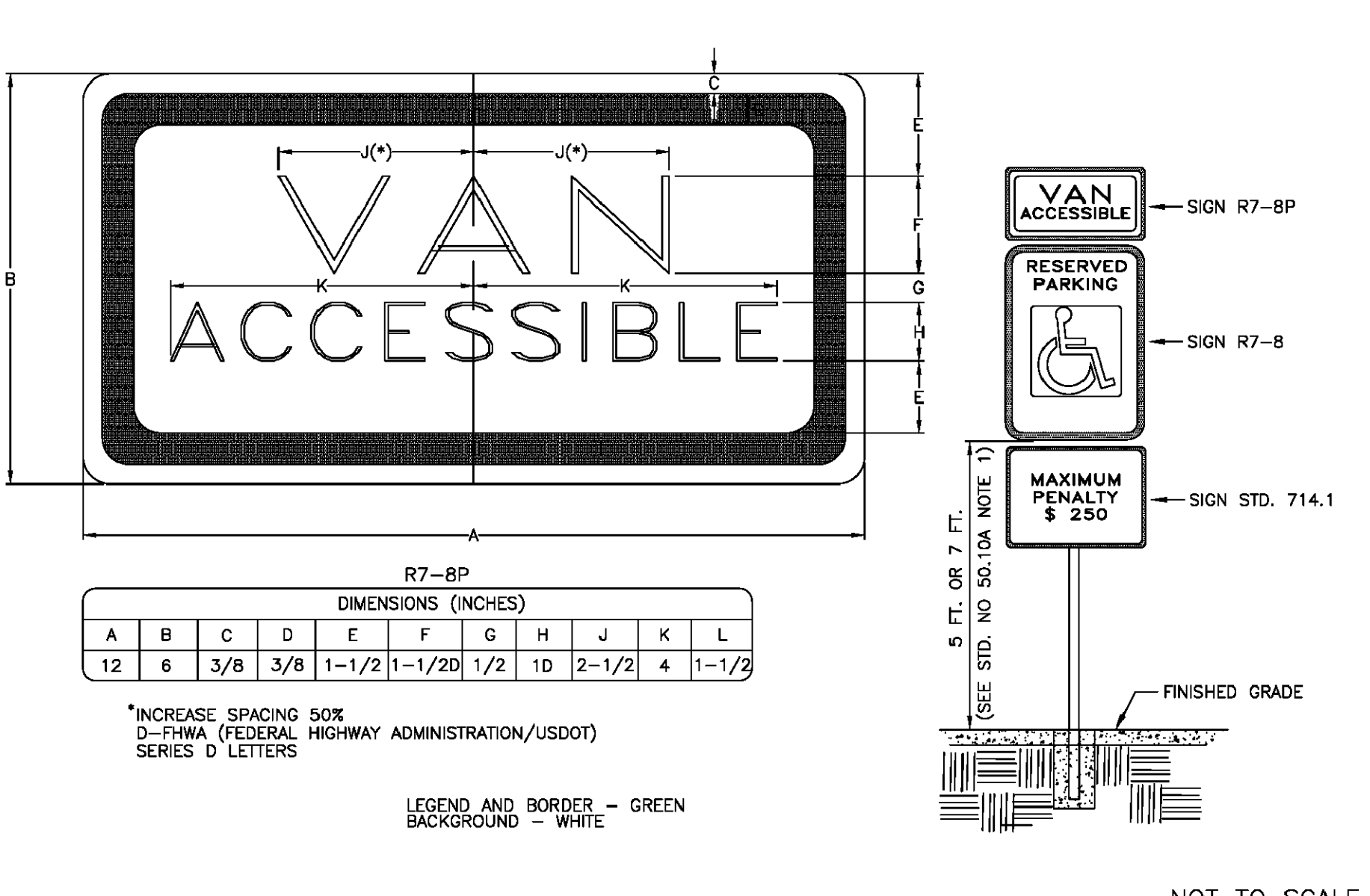
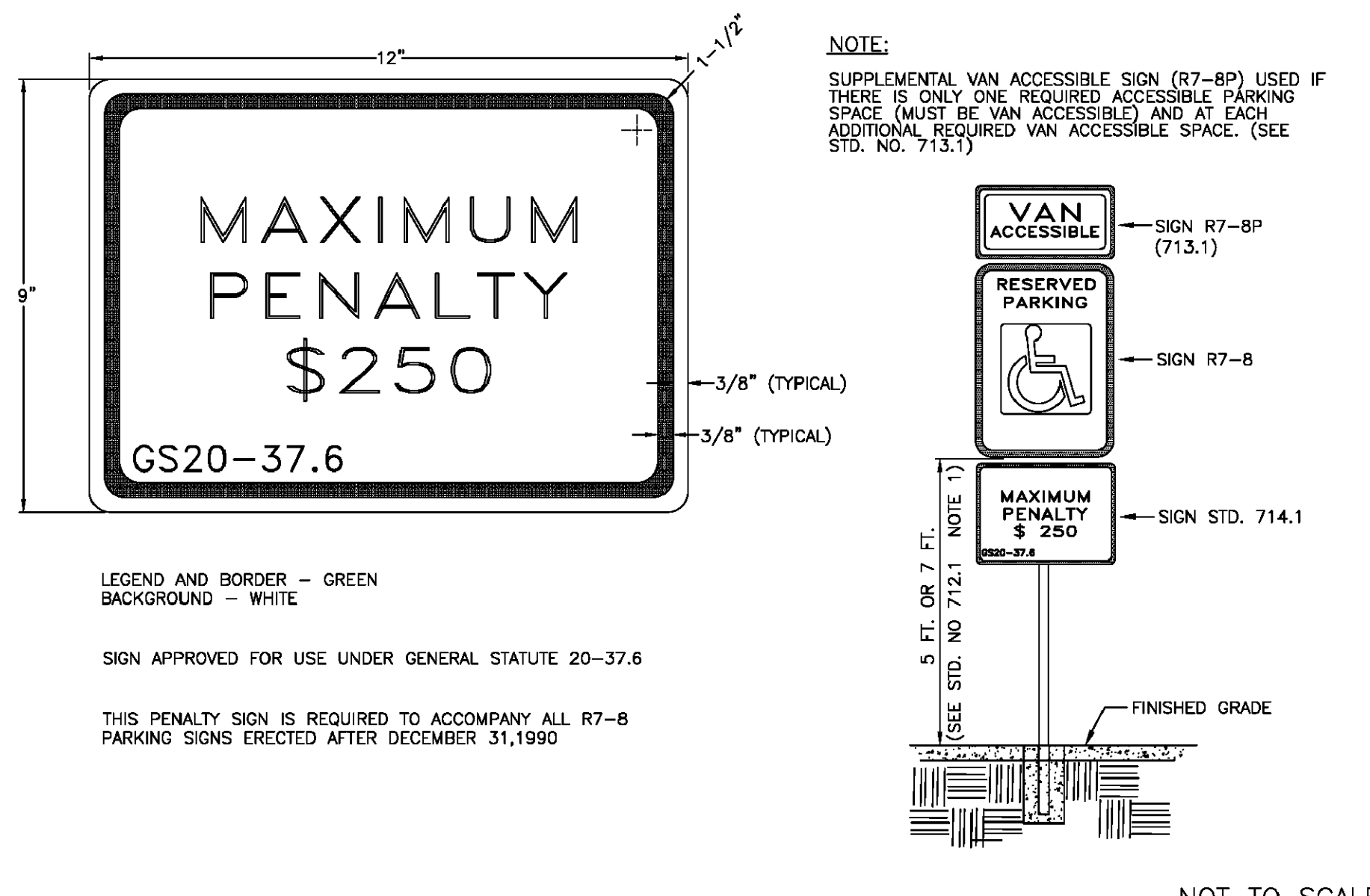
REVISIONS

9.4.20	PER TOWN PLAN REVIEW
10.1.20	PER U.C.P.W. REVIEW
10.1.20	PER TOWN PLAN REVIEW
10.7.20	PER U.C.P.W. REVIEW

DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 5-26-20  
SCALE: N.T.S

**DETAIL SHEET**  
**C.7**

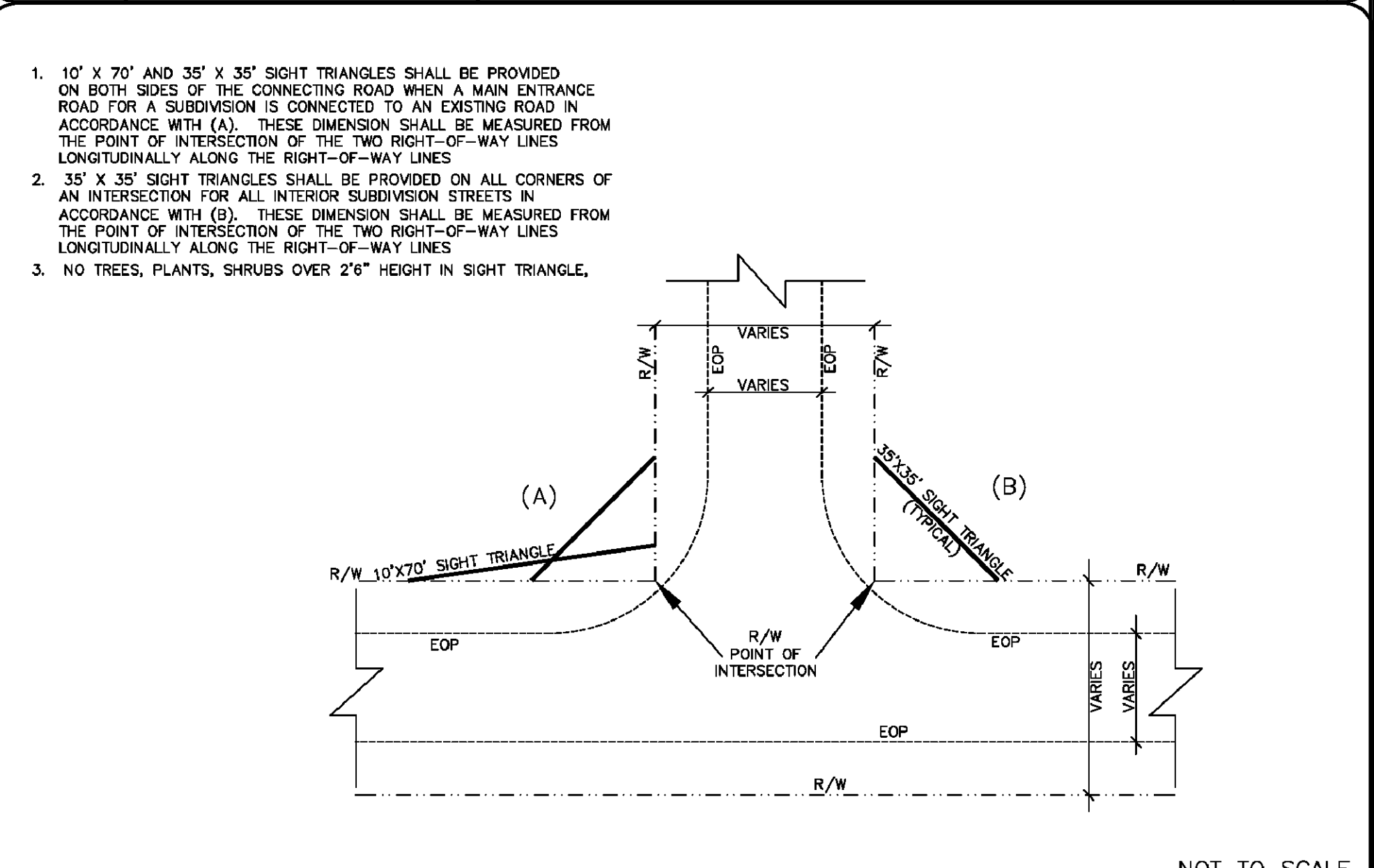
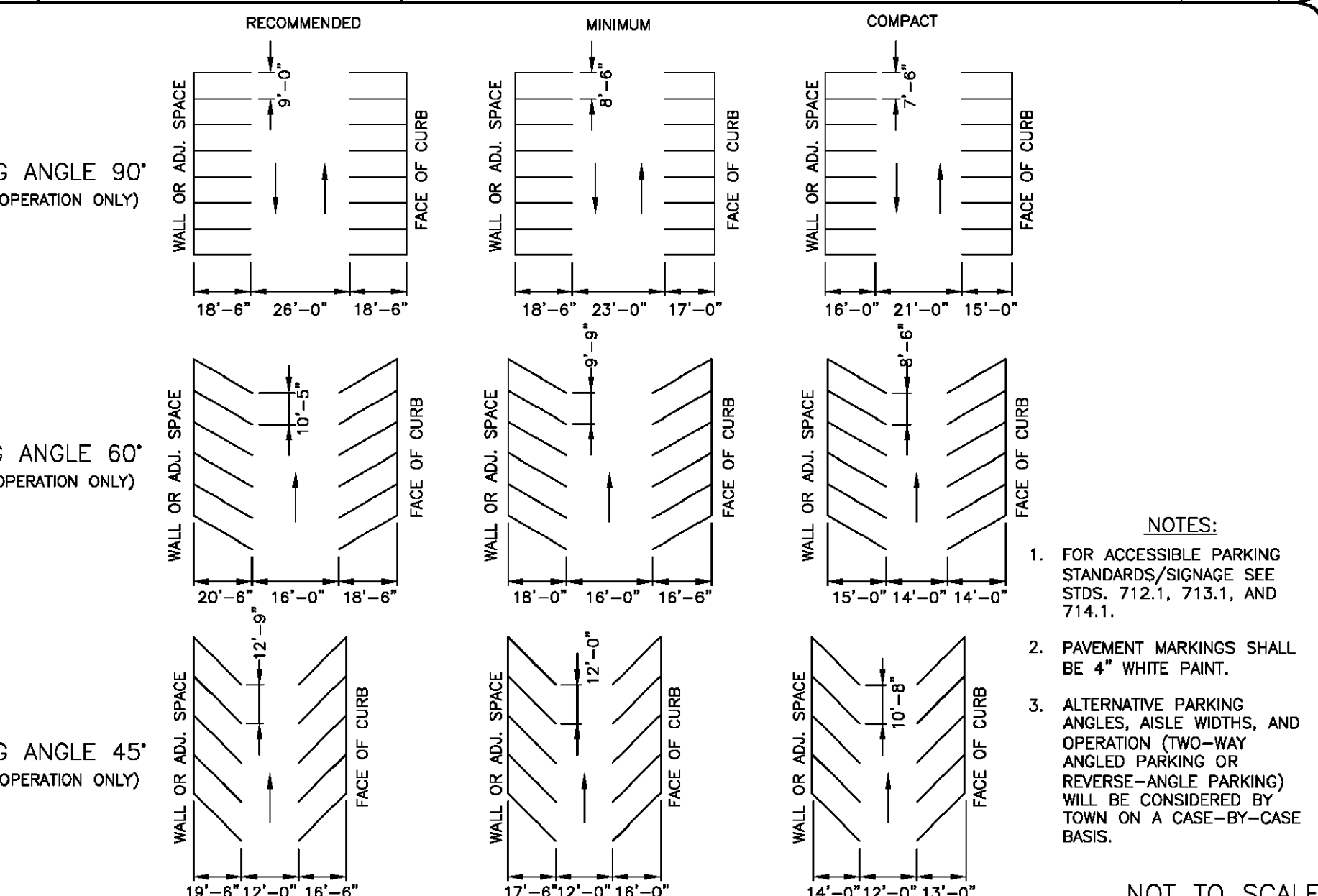
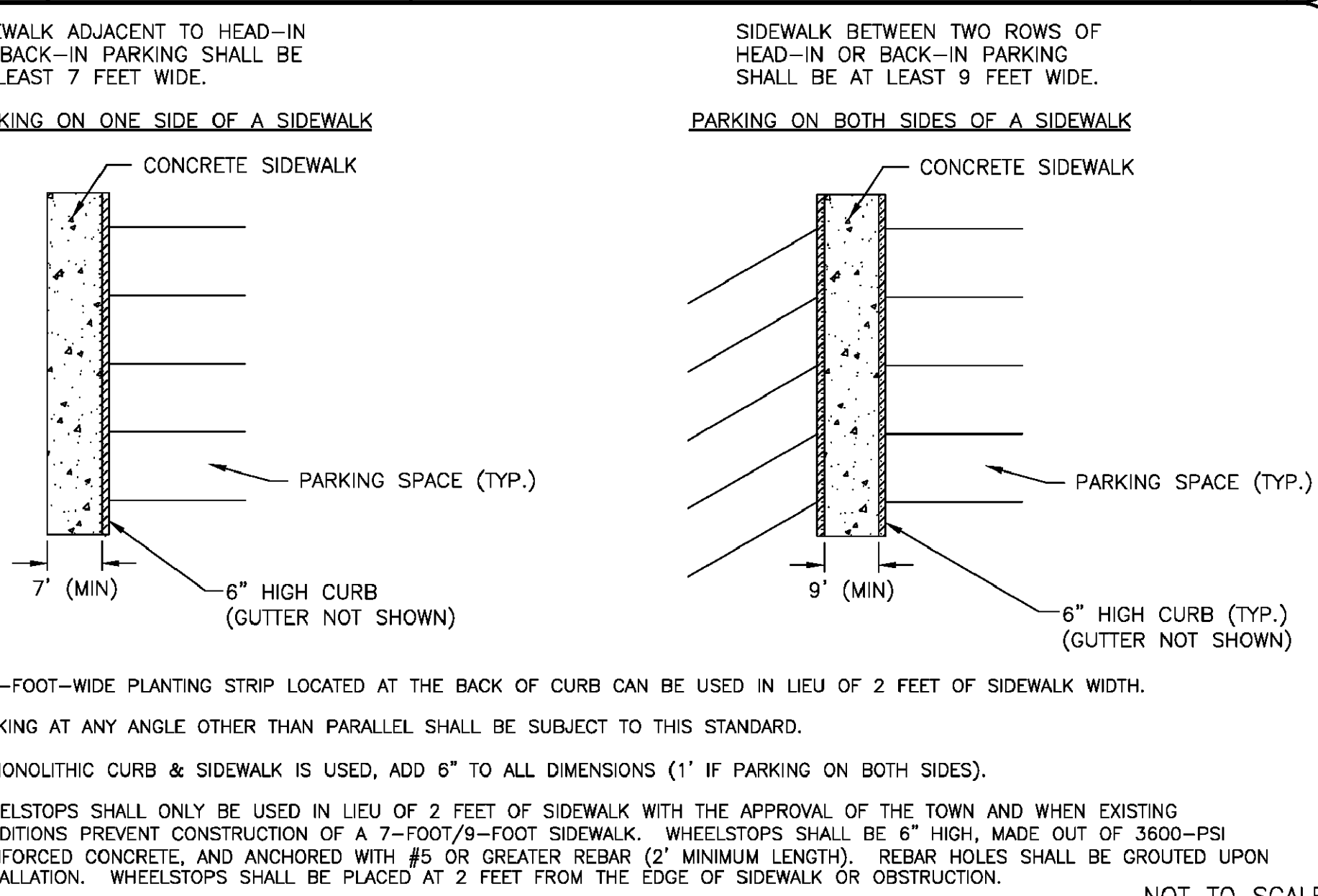




TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS SUPPLEMENTAL ACCESSIBLE PENALTY SIGN

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS SUPPLEMENTAL VAN ACCESSIBLE SIGN (R7-8P)

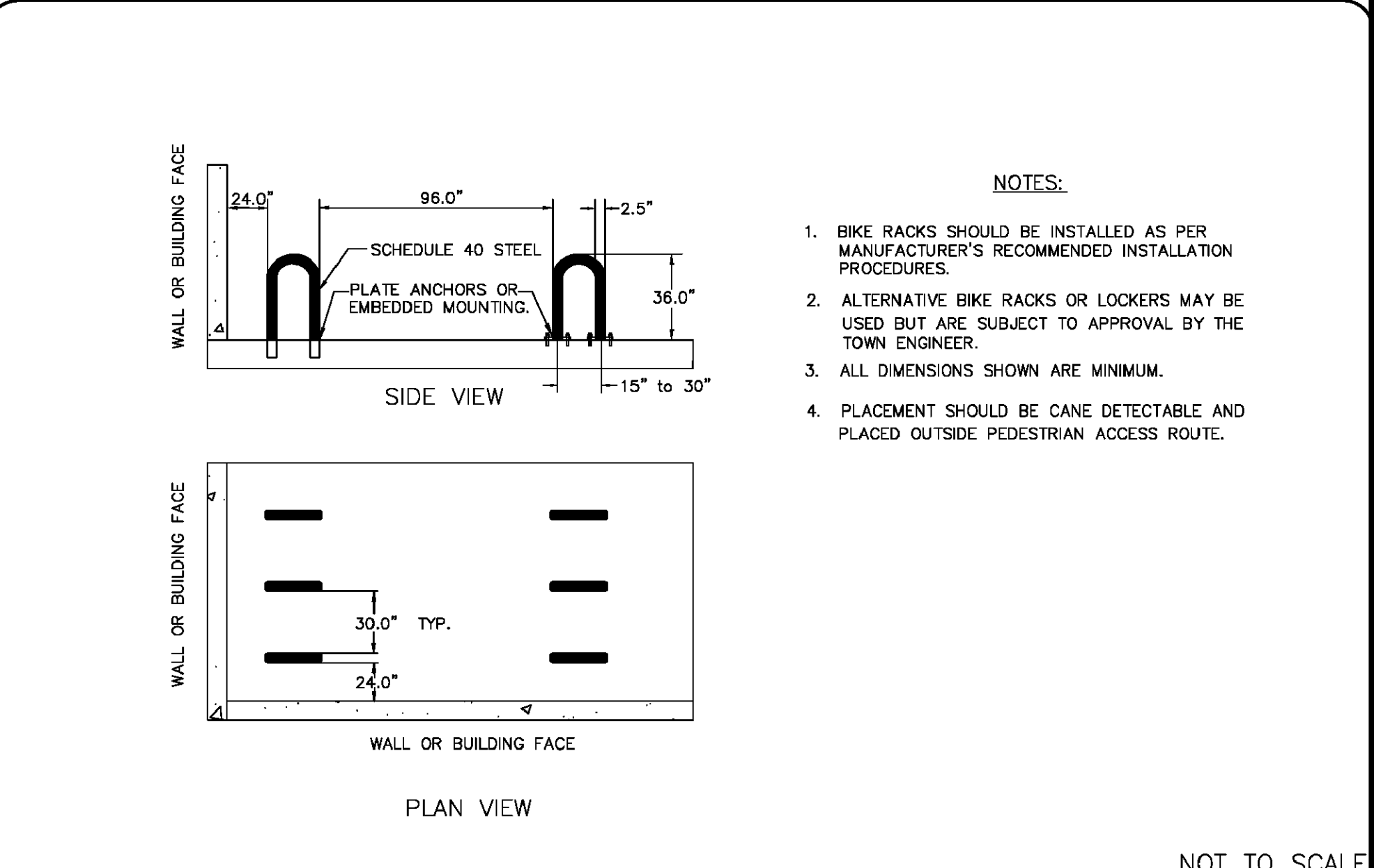
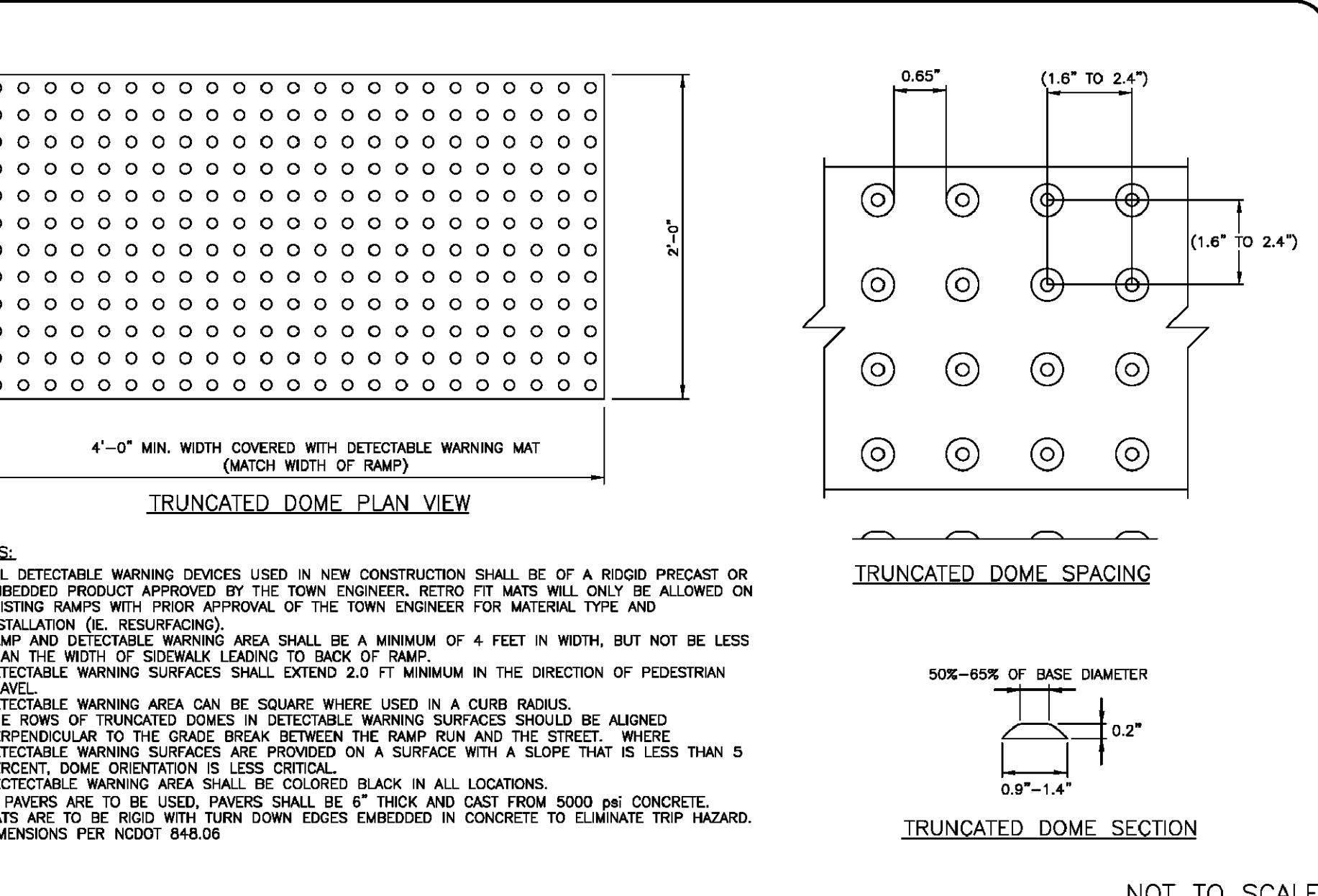
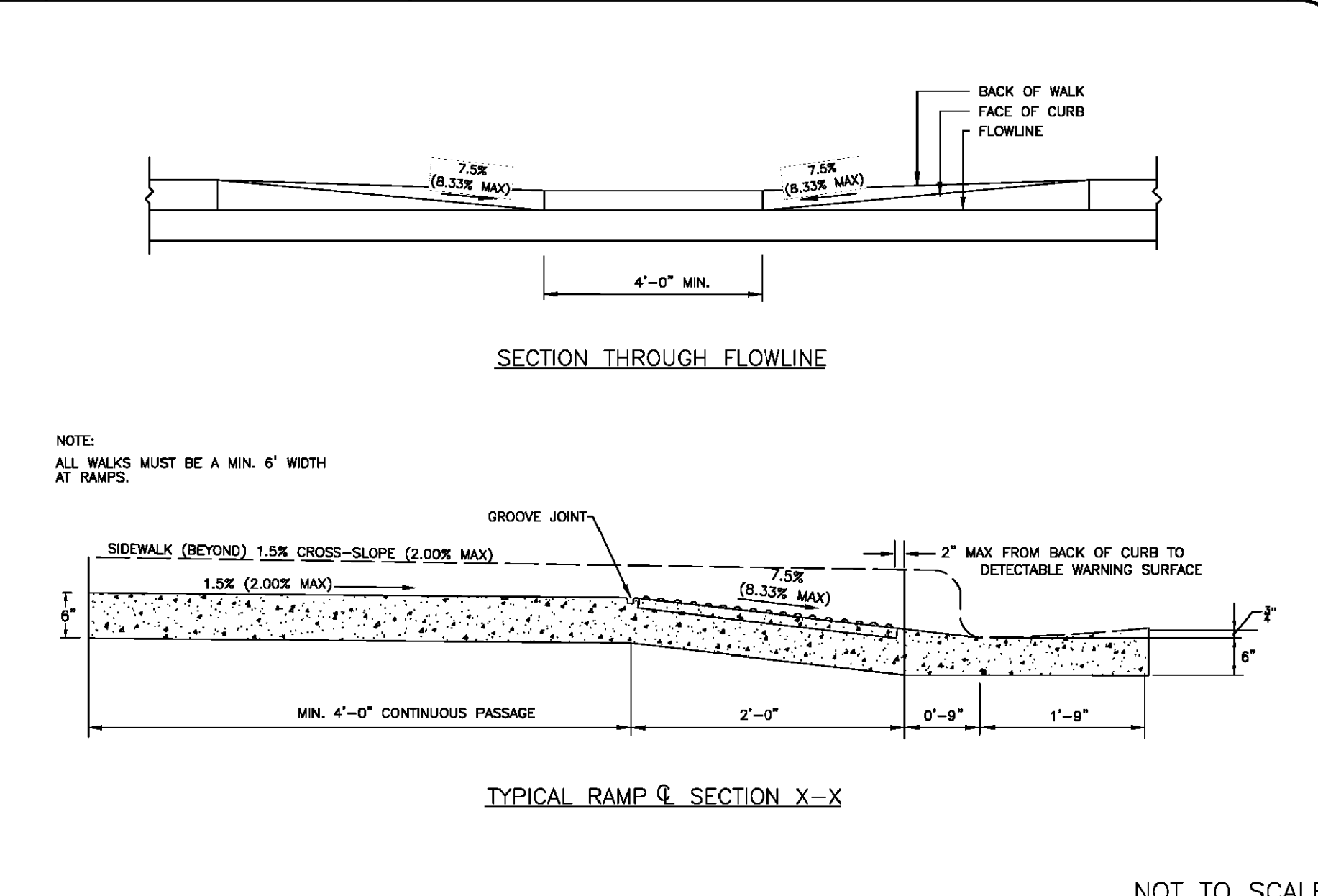
TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS ACCESSIBLE PARKING AND SIGNAGE STANDARDS



TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS PARKING STANDARDS (CONTINUED)

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS PARKING STANDARDS

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS TYPICAL SIGHT TRIANGLES

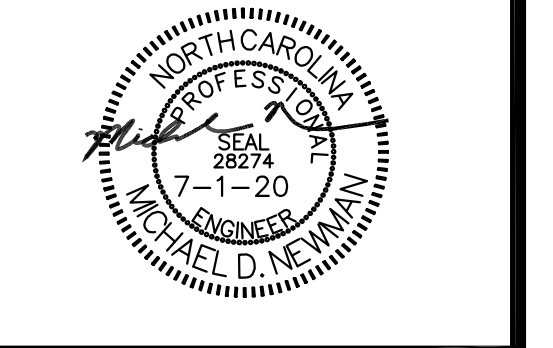


TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS ACCESSIBLE RAMP SECTIONS WITHOUT PLANTING STRIP (2'-6" CURB AND GUTTER)

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS TRUNCATED DOMES PLAN AND CROSS-SECTION

TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS INVERTED "U" RACK FOR BICYCLE PARKING

**MDV Engineering**  
 P-0883  
 C/O Ayer Design Group  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 704-400-1044  
 Email: michael@mdveng.com



PROJECT  
**Arbys**  
 RESTAURANT  
 w/ DRIVE-THRU  
 #8821  
 1001 ASPINAL ST.  
 WAXHAW, NC 28173  
 (PROVIDENCE ROAD)

FOR  
**BRG**  
 Brumit Restaurant Group  
 BRUMIT RESTAURANT GROUP, LLC  
 P.O. BOX 15726  
 ASHEVILLE, NC 28813  
 PH: 828.274.5835

REVISIONS

NO.	DATE	DESCRIPTION

DWG. NAME : 2020-104  
 DRAWN BY : MDN  
 DATE : 5-26-20  
 SCALE : N.T.S

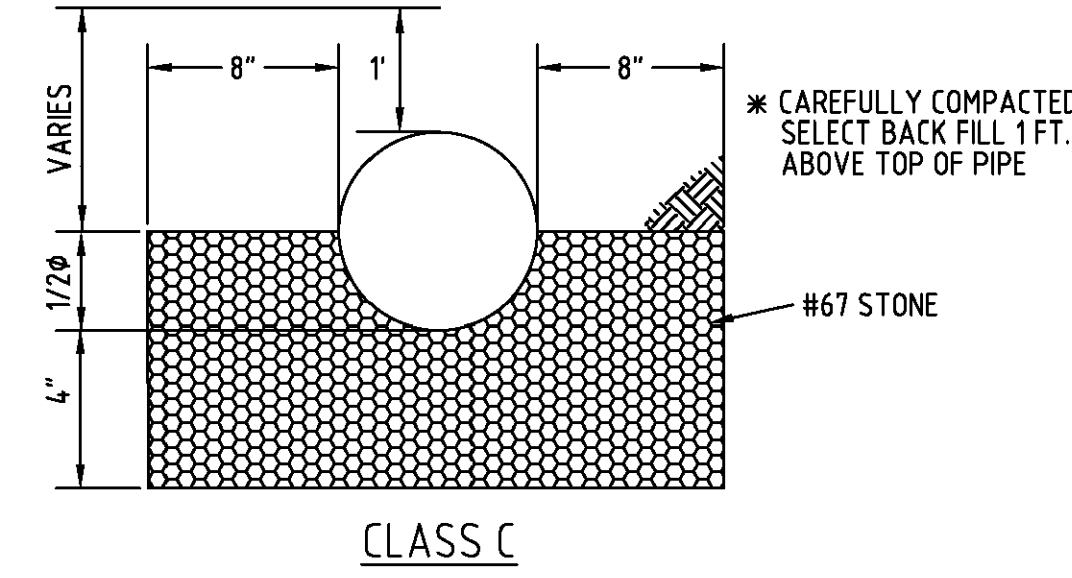
DETAIL SHEET  
**C.8**



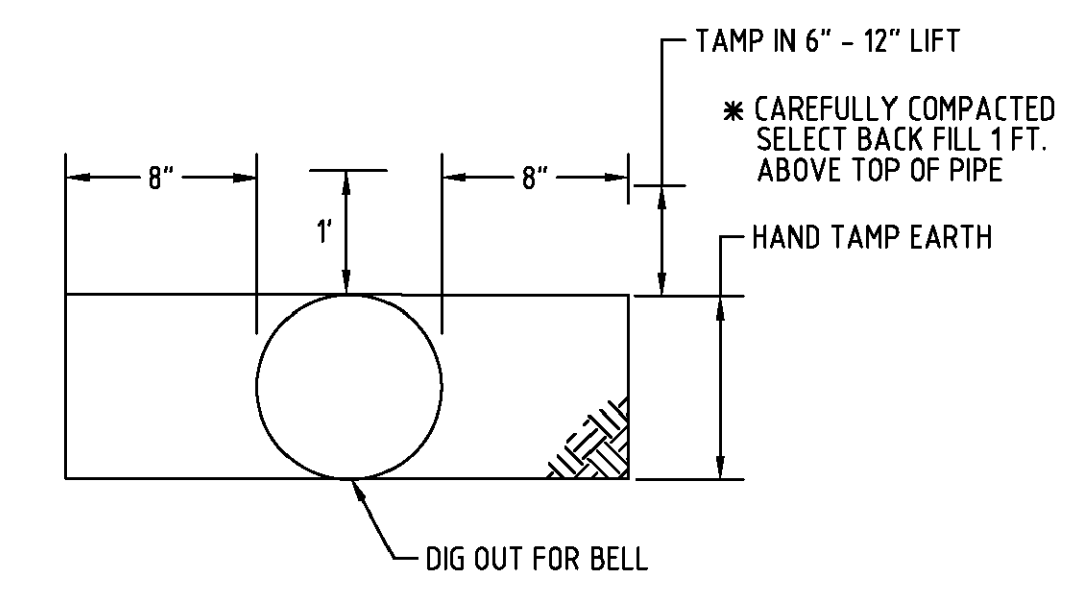
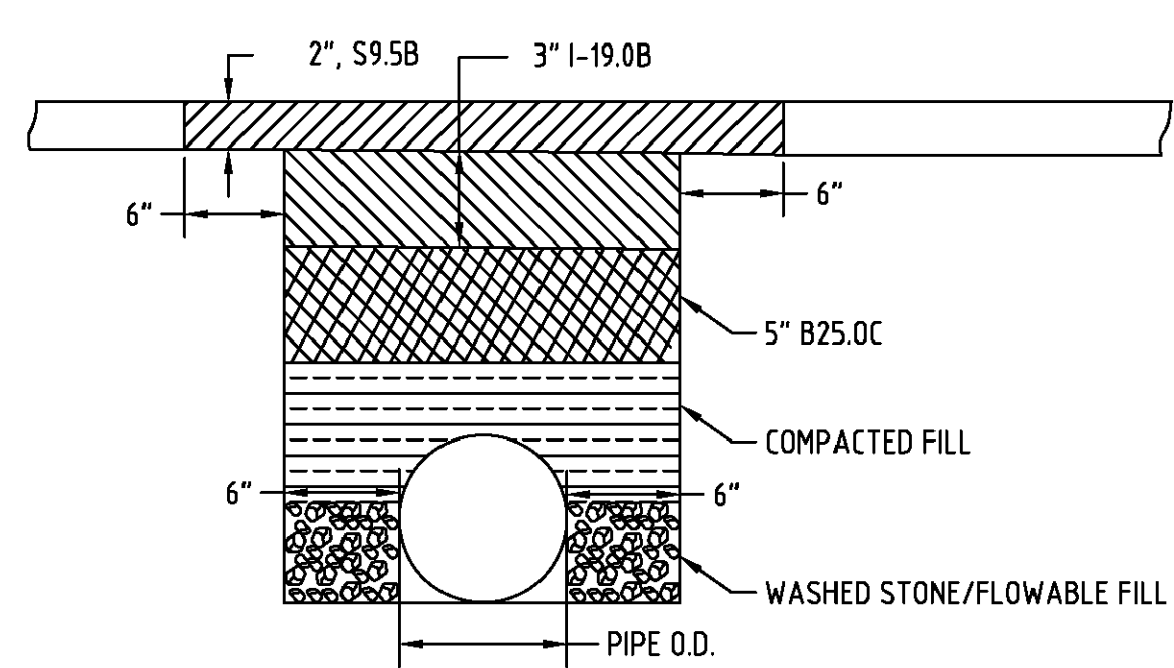


GRAVITY SEWER - BEDDING DETAIL

NOTES:  
FOR PVC -- USE SDR 35 FOR 10 FT. OR LESS.  
USE SDR 26 FOR 10 FT. OR MORE.  
  
USE DUCTILE IRON - IF UNDER 3 FT. DEEP  
OR OVER 18 FT. DEEP.  
  
\* NO STONES LARGER THAN # 67 STONE  
SHALL BE USED IN SELECT BACKFILL

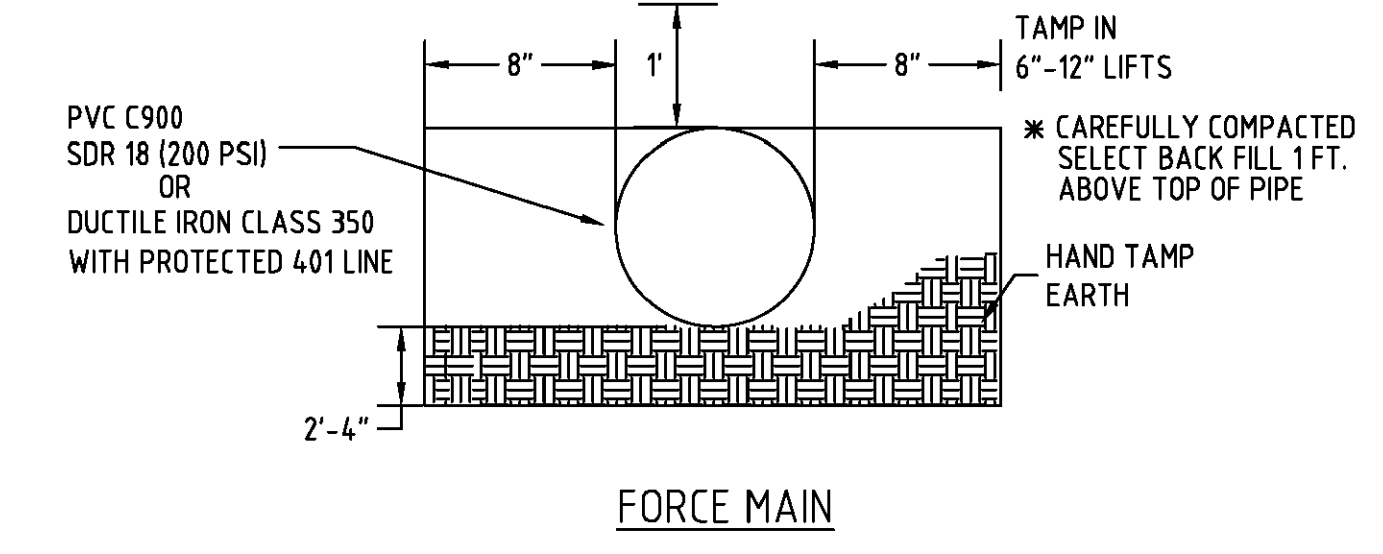


NOTE:  
FOR CONCRETE PAVEMENT SUBSTITUTE 3500 PSI  
CONCRETE TO MATCH EXISTING THICKNESS FOR  
1-2 ASPHALT 4" ABC STONE FOR H BASE.



NOTES:  
MINIMUM COVER IS 36"  
2" PVC SDR 21 (200 PSI)  
6"-8" PVC SDR 18  
12" OR LARGER DIP

\* NO STONES LARGER THAN # 67 STONE  
SHALL BE USED IN SELECT BACKFILL



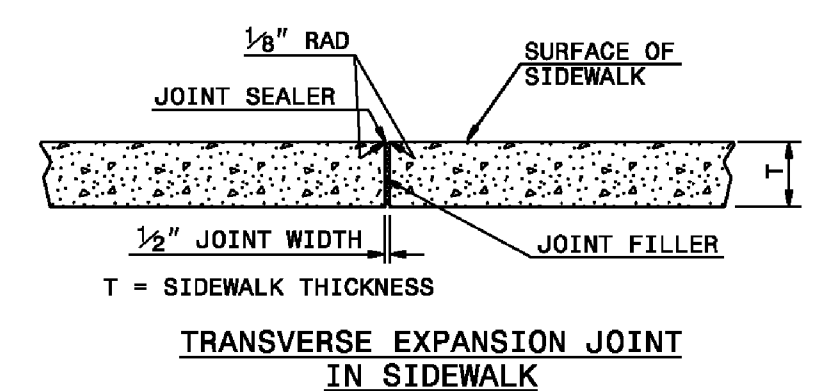
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.  
STANDARD DETAIL  
**SEWER BEDDING**  
SCALE: N.T.S.  
DATE: 12-16-13  
**8A**

UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.  
STANDARD DETAIL  
**PAVEMENT REPLACEMENT**  
SCALE: N.T.S.  
DATE: 11-7-14  
**15**

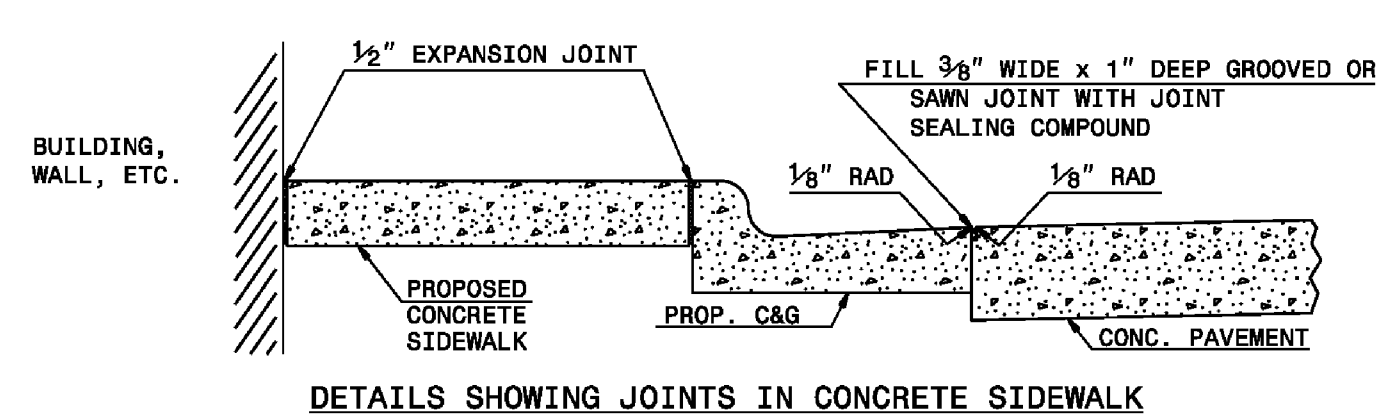
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.  
STANDARD DETAIL  
**WATER TRENCH**  
SCALE: N.T.S.  
DATE: 1-14-10  
**8B**



NOTES:  
CONSTRUCT STANDARD SIDEWALK 5' WIDE AND  
4" THICK UNLESS OTHERWISE DENOTED ON PLANS.  
  
PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADII  
IN THE CONCRETE SIDEWALK AT 5' INTERVALS.  
ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50'  
INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED  
WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.  
  
SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION  
REQUIREMENTS AND CONSTRUCTION GUIDELINES.



TRANSVERSE EXPANSION JOINT  
IN SIDEWALK



DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.  
  
ROADWAY STANDARD DRAWINGS FOR  
CONCRETE SIDEWALK  
  
SHEET 1 OF 1  
**848.01**

PROJECT

**Arbys**  
RESTAURANT  
w/ DRIVE-THRU  
#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)  
PRESCOT VILLAGE PHASE 1,  
BUILDING 2, PARCEL D

FOR  
**BRG**  
Brumit Restaurant Group  
BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5835

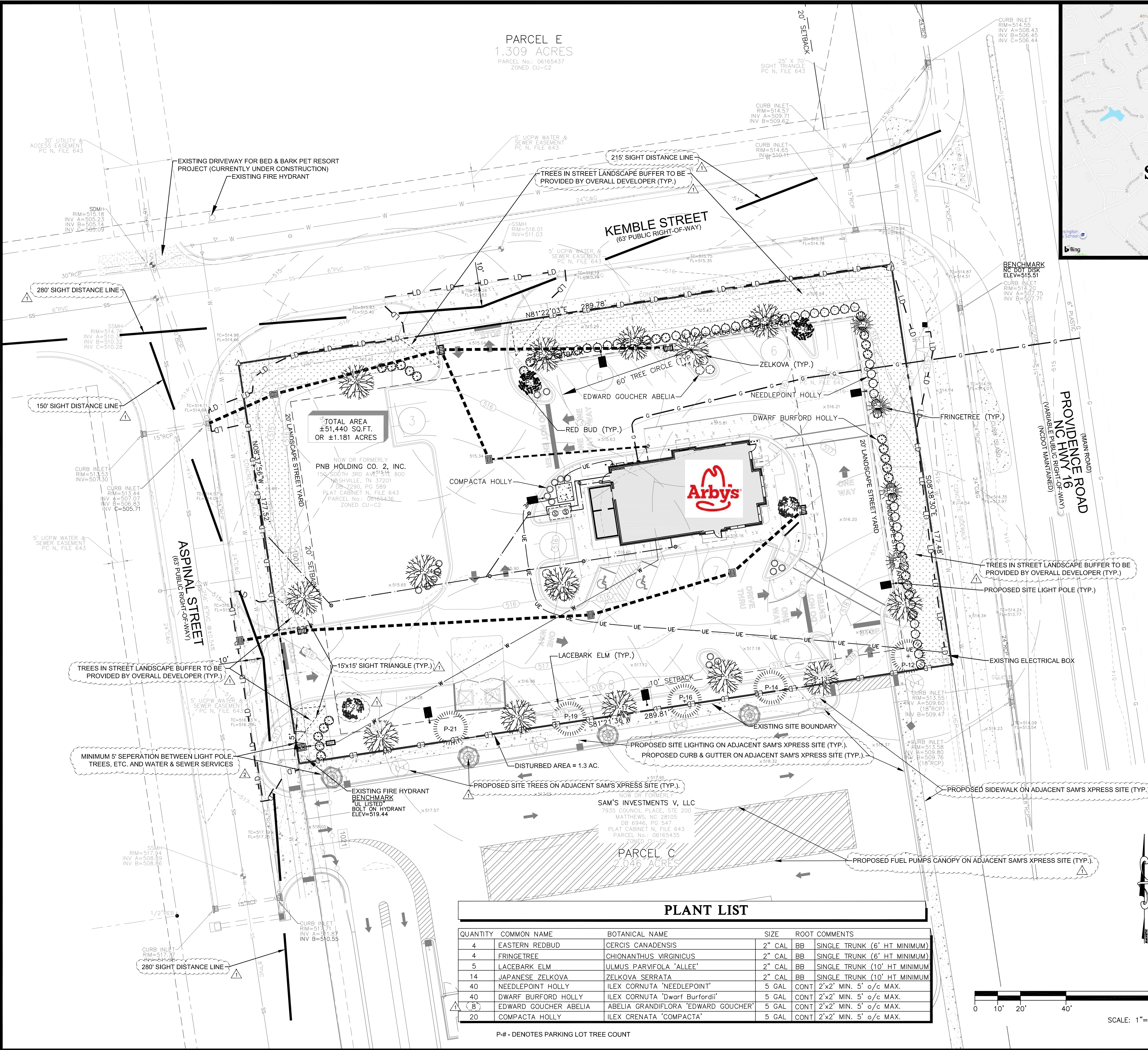
REVISIONS

9.4.20	PER TOWN PLAN REVIEW

DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 5-26-20  
SCALE: N.T.S

**DETAIL SHEET**  
**C.9**





PARCEL E  
1.309 ACRES  
PARCEL No. 06165437  
ZONED CU-C2

TOTAL AREA  
±51,440 SQ.FT.  
OR ±1.181 ACRES

NOW OR FORMERLY  
PNB HOLDING CO. 2, INC.  
150 SOUTH 3RD AVENUE SUITE 800  
NASHVILLE, TN 37203  
DB-Z290, PG 589  
PLAT CABINET N. FILE 643  
PARCEL No. 06165436  
ZONED CU-C2

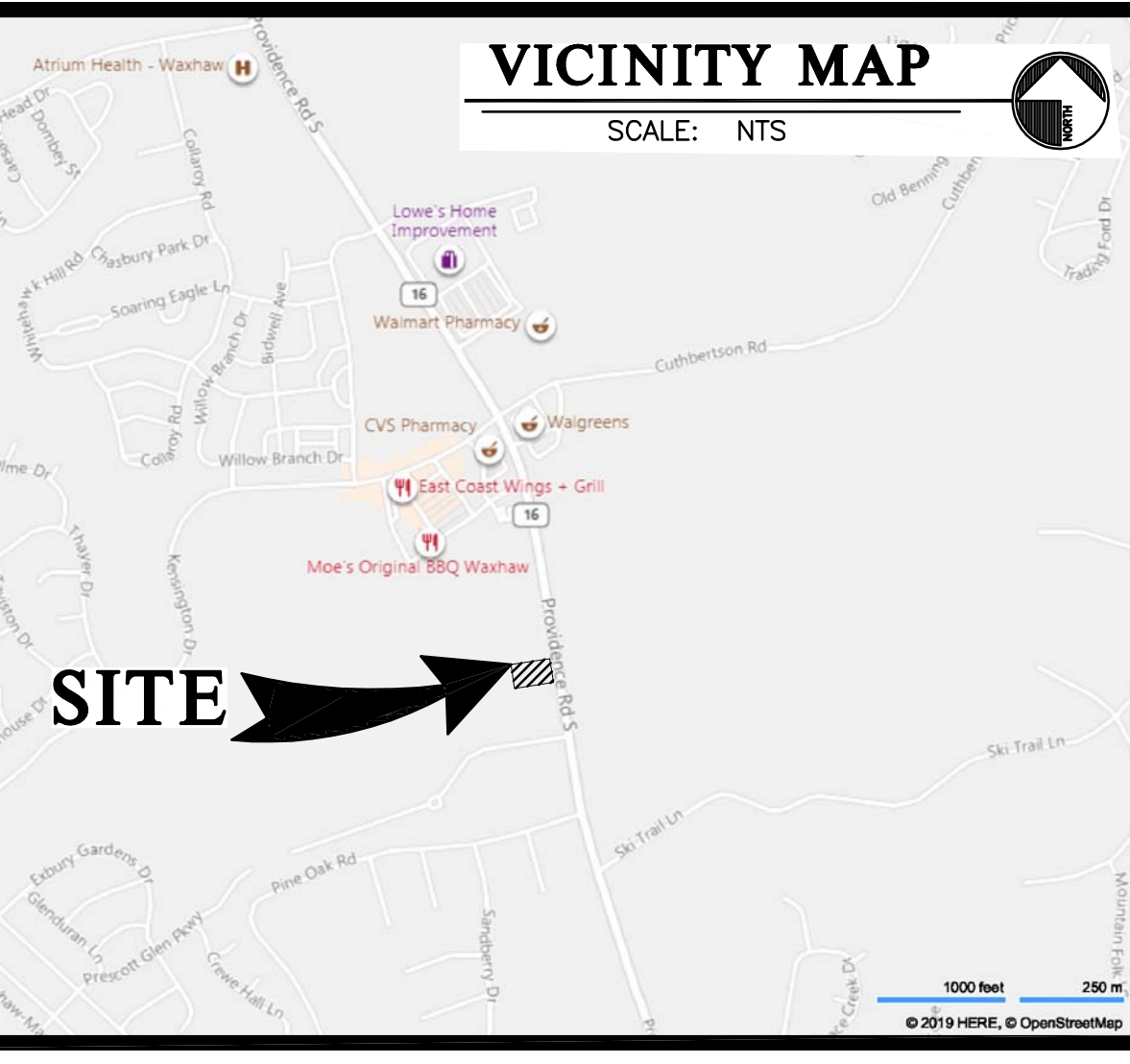
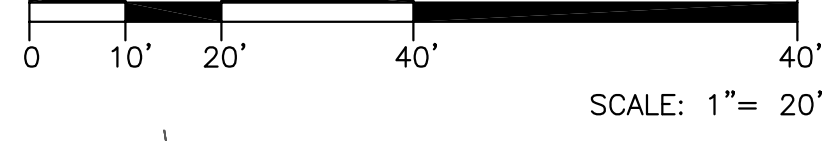
SAM'S INVESTMENTS V, LLC  
7935 COUNCIL PLACE, STE 200  
MATTHEWS, NC 28105  
DB 6946, PG 547  
PLAT CABINET N. FILE 643  
PARCEL No. 06165435  
ZONED CU-C2

PARCEL C  
2.046 ACRES

**PLANT LIST**

QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT COMMENTS
4	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL	BB SINGLE TRUNK (6' HT MINIMUM)
4	FRINGETREE	CHIONANTHUS VIRGINICUS	2" CAL	BB SINGLE TRUNK (6' HT MINIMUM)
5	LACEBARK ELM	ULMUS PARVIFOLA 'ALLEE'	2" CAL	BB SINGLE TRUNK (10' HT MINIMUM)
14	JAPANESE ZELKOVA	ZELKOVA SERRATA	2" CAL	BB SINGLE TRUNK (10' HT MINIMUM)
40	NEEDLEPOINT HOLLY	ILEX CORNUTA 'NEEDLEPOINT'	5 GAL	CONT 2'x2' MIN. 5' o/c MAX.
40	DWARF BURFORD HOLLY	ILEX CORNUTA 'Dwarf Burfordii'	5 GAL	CONT 2'x2' MIN. 5' o/c MAX.
(8)	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	5 GAL	CONT 2'x2' MIN. 5' o/c MAX.
20	COMPACTA HOLLY	ILEX CRENATA 'COMPACTA'	5 GAL	CONT 2'x2' MIN. 5' o/c MAX.

P-# - DENOTES PARKING LOT TREE COUNT



REMOVED STREET LANDSCAPE BUFFER TREE CALCULATIONS BECAUSE THESE TREES ARE TO BE PROVIDED BY OVERALL DEVELOPER (TYP.)

**CHAPTER 9  
TOWN OF WAXHAW PARKING LOT PLANTING REQUIREMENTS**

VEHICLE USE AREA = (26,809) S.F.  $\Delta$   
ONE DECIDUOUS TREE & FOUR SHRUBS PER (1,000) S.F. OF VEHICULAR USE AREA IS REQUIRED. ALL PARKING SPACES MUST BE WITHIN 60 FEET OF A TREE TRUNK.

1 TREE/1,000 S.F. V.U.A. REQUIRED  
(26,809) S.F./1,000 SF = (27) TREES REQUIRED;  
19 LARGE/MEDIUM MATURING TREES PROVIDED  
(8) SMALL MATURING TREES PROVIDED

4 SHRUBS/1,000 S.F. V.U.A. REQUIRED  
(26,809) S.F./1,000 SF = (108) SHRUBS REQUIRED;  
(108) SHRUBS PROVIDED

**TREES PER PARKING SPACE REQUIREMENTS**

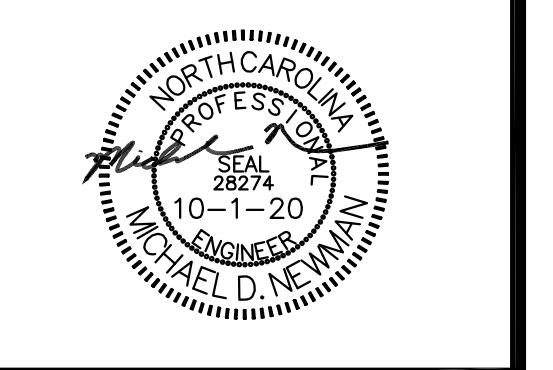
ALL PARKING SPACES ARE WITHIN THE REQUIRED 60' MINIMUM RADIUS OF A TREE.

**SEE SHEET LA.2 FOR PLANTING NOTES AND DETAILS.**

**LEGEND**

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SILT FENCE	---
BUILDING SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED WATER LINE	---
EXIST. WATER LINE	---
PROPOSED UNDERGROUND GAS LINE	---
EXIST. GAS LINE	---
PROPOSED UNDERGROUND ELECTRIC LINE	---
FUTURE UNDERGROUND POWER LINE	---
PROPOSED SANITARY SEWER LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	●
STATE DOT MONUMENT	○
1/2" REBAR W/ CAP SET	○
NAIL & DISK SET	○
TRAFFIC SIGNAL JUNCTION BOX	□
WATER VALVE	▽
WATER METER	▽
FIRE HYDRANT	▽
STORM MANHOLE	⊕
DROP INLET	⊕
SANITARY MANHOLE	⊕
EXIST. CLEANOUT	⊕
SIGN	+
FUTURE LIGHT POLE	+
STREET ADDRESS	+
CONCRETE	▨
GRAVEL	▨
SPOT ELEVATION	X 515.81

**MDV Engineering**  
P-0883  
C/O Ayer Design Group  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 704-400-1044  
Email: michael@mdveng.com



**PROJECT**

**Arby's**

**RESTAURANT  
W/ DRIVE-THRU**

#8821  
1001 ASPINAL ST.  
WAXHAW, NC 28173  
(PROVIDENCE ROAD)

FOR

**BRG**  
Brumit Restaurant Group

BRUMIT RESTAURANT GROUP, LLC  
P.O. BOX 15726  
ASHEVILLE, NC 28813  
PH: 828.274.5635

**REVISIONS**

9.4.20	PER TOWN PLAN REVIEW
10.1.20	PER U.C.P.W. REVIEW

DWG. NAME : 2020-104  
DRAWN BY : MDN  
DATE : 5-26-20  
SCALE: 1:20

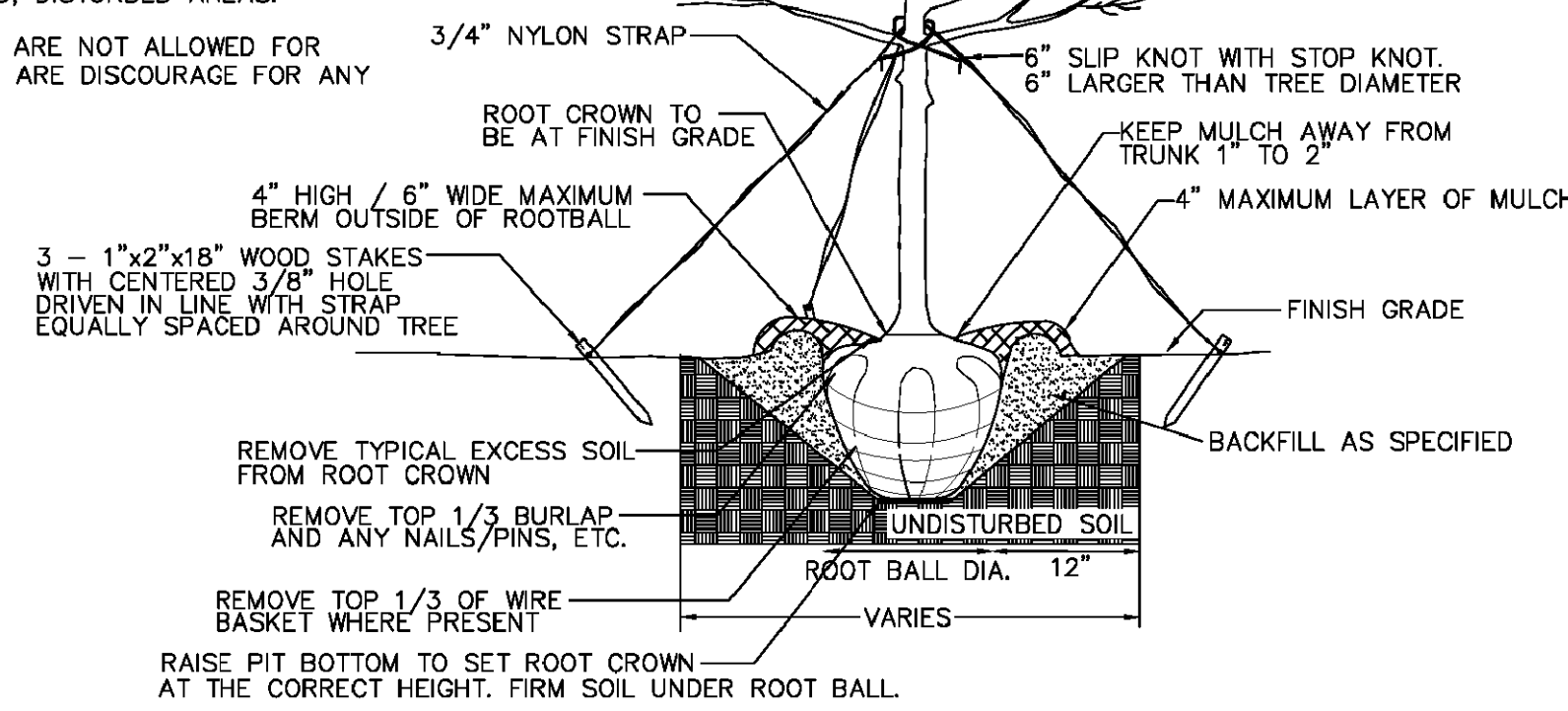
**LANDSCAPE PLAN**

**LA.1**



**NOTES:**

1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. STAKES AND STRAPPING ARE TO BE REMOVED ONE YEAR AFTER PLANTING
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.
6. MULTI-STEM TREES ARE NOT ALLOWED FOR STREET TREES AND ARE DISCOURAGED FOR ANY APPLICATION.



ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)  
 FOR EXAMPLE:

CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
3"	12'-14'	18'	24"	16"

NOT TO SCALE

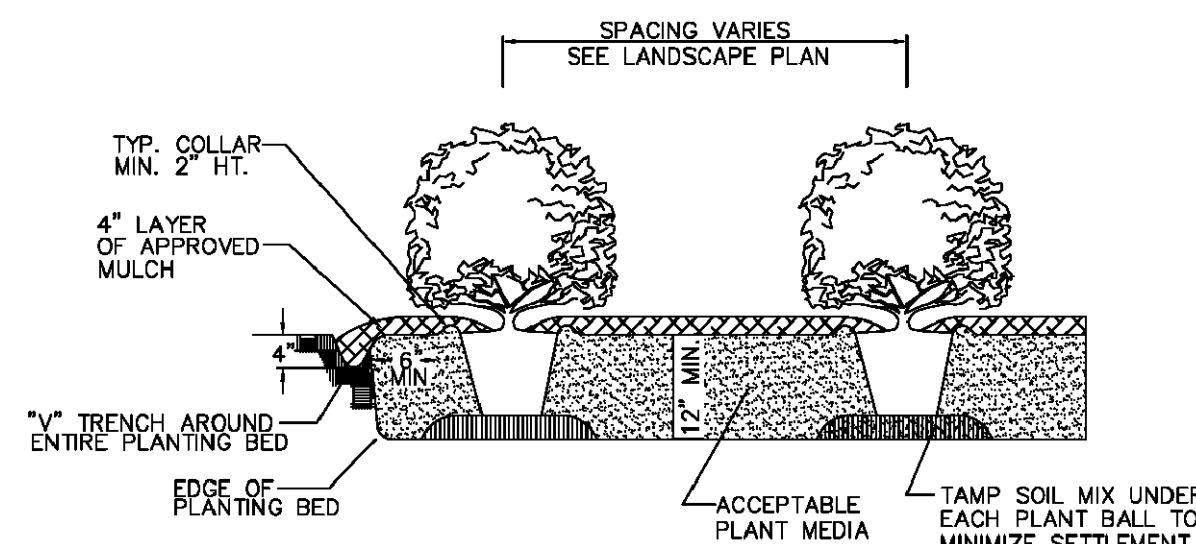
**TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS**

**TREE PLANTING  
(FOR SINGLE AND MULTI-STEM TREES)**

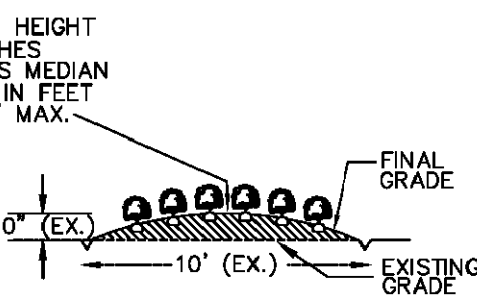
STD. NO.	REV.
600.1	

**NOTES:**

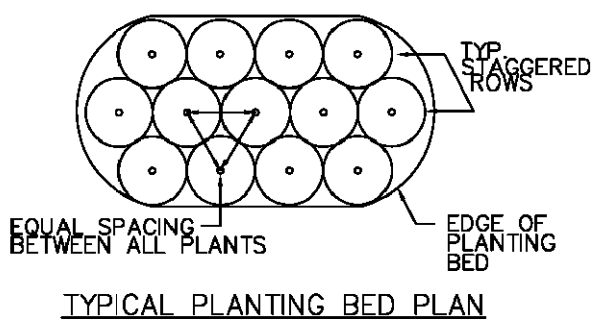
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



TYPICAL BED CROWNING



TYPICAL PLANTING BED PLAN

**TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS**

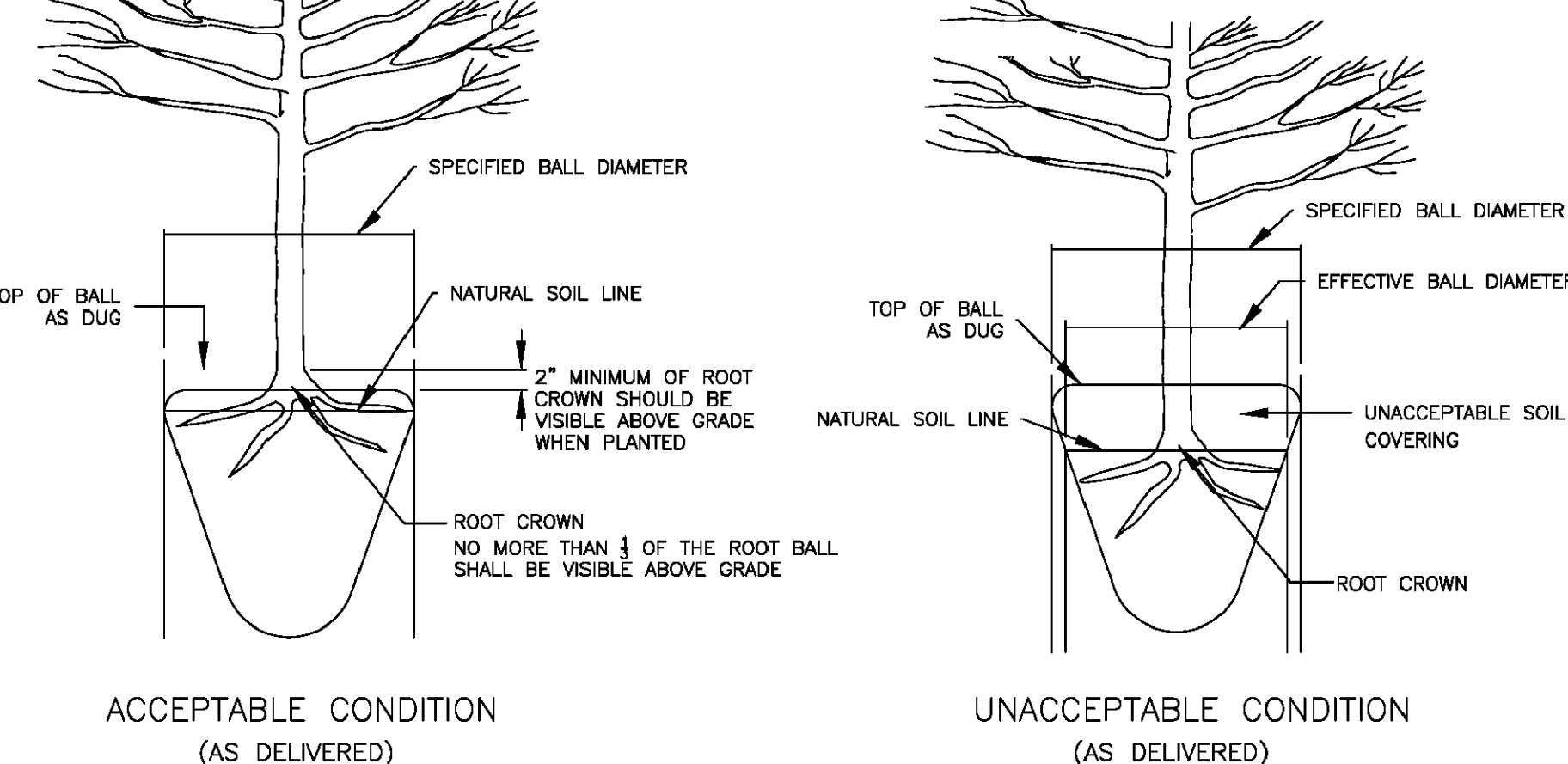
**SHRUB PLANTING BED**

STD. NO.	REV.
810.1	

**TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS**

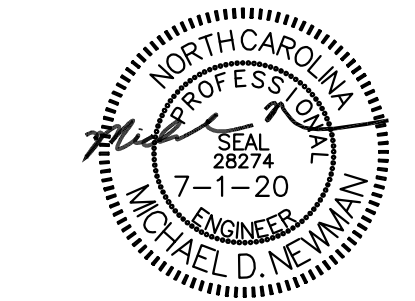
**ROOT FLARE DEPTHS  
(TREE ROOT BALL CONDITION ON TREES FROM SUPPLIERS)**

STD. NO.	REV.
614.1	



**NOTE:**

1. A ROOT FLARE EXCAVATION FOR ALL TREES SPECIFIED WILL BE DONE BY THE ARBORIST TO ENSURE THAT TREES WERE NOT PLANTED/GROWN TOO DEEPLY AT SOURCE (NURSERY). LANDSCAPE CONTRACTOR SHALL HAVE SUPPLIER MARK GROUND LEVEL LINE ABOVE ROOT BALL. IF ARBORIST DETERMINES THAT THERE IS EXCESSIVE SOIL OVER THE ROOT CROWN, THESE TREES WILL BE REJECTED.
2. NO TREES ARE TO BE PLANTED UNTIL THE ARBORIST HAS INSPECTED AND APPROVED EACH TREE.



**PLANTINGS IN STREET RIGHT-OF-WAY**

**GENERAL NOTES**

1. TREE GRATES AND ASSOCIATED IRRIGATION SYSTEMS ARE REQUIRED AT VARIOUS LOCATIONS IN THE DOWNTOWN AREAS TO COMPLY WITH THE DOWNTOWN STREETScape GUIDELINES AND OTHER ZONING REQUIREMENTS. ALL OTHER INSTALLATIONS OF IRRIGATION SYSTEMS WITHIN THE RIGHT-OF-WAY OF TOWN OR STATE MAINTAINED STREETS REQUIRE AN ENCROACHMENT AGREEMENT EXECUTED THROUGH TOWN OR NCDOT. THE TOWN'S ENCROACHMENT AGREEMENT REVIEW/APPROVAL PROCESS MAY INCLUDE ADDITIONAL REQUIREMENTS. CONTACT TOWN'S DEVELOPMENT SERVICES DEPARTMENT FOR ADDITIONAL INFORMATION REGARDING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.
2. AN INSPECTION SCHEDULE IS NEEDED FOR TREES THAT WILL BE PLANTED IN THE STREET RIGHT OF WAY DUE TO ZONING OR OTHER REQUIREMENTS. LANDSCAPE INSPECTION INCLUDE THE FOLLOWING:  
 SUBDRAINAGE INSPECTION  
 TREE PIT/WELL OR PLANTING STRIP INSPECTION  
 SOIL MIX APPROVALS/INSPECTIONS  
 TREE APPROVALS/INSPECTIONS - PRIOR TO PURCHASING THE TREES, TO BE MADE BY THE ARBORIST. THIS MAY INCLUDE PHOTO APPROVAL OR PARTICIPATION IN TAGGING THE TREES.  
 TREE PLANTING INSPECTION  
 IRRIGATION INSPECTION  
 FINAL WALK THROUGH  
 ALL OF THE ABOVE INSPECTIONS WILL BE PERFORMED BY THE ARBORIST EXCEPT FOR THE TREE APPROVALS AS NOTED.

**TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS**

**TREE PLANTING-NOTES  
(DRAINAGE AND INSPECTION)**

STD. NO.	REV.
615.1	

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS & DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED & BURLAPPED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, WITH SINGLE DOMINANT LEADER, FULL HEADED & MEET ALL REQUIREMENTS SPECIFIED IN PLANT LIST.
4. ALL PLANTS ARE SUBJECT TO REJECTION BY THE OWNER BEFORE, DURING, & AFTER INSTALLATION.
5. STAKE TREES AS NECESSARY.
6. ALL PLANTS & PLANT BEDS MUST BE COMPLETELY MULCHED WITH HARDWOOD MULCH. PINESTRAW MULCH IS NOT PERMITTED. LANDSCAPE FABRIC, SUCH AS TYPAR OR WEED-BLOCK, MUST BE INSTALLED IN PLANTING AREAS PRIOR TO MULCHING.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES & SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY & ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION, AT NO ADDITIONAL COST TO OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL PLANTING (INCLUDING WATER, SPRAYING, MULCHING, MOWING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE JOB IS ACCEPTED IN FULL, BY THE OWNER.
10. THE OWNER WILL CONTRACT FOR A PROGRAM OF LANDSCAPE MAINTENANCE SERVICES THROUGHOUT THE ONE (1) YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE AND SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE LANDSCAPE ARCHITECT).
12. THE LANDSCAPE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION, IF REQUESTED BY OWNER.
13. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
14. WATER TREES AFTER PLANTING.
15. MAINTAIN ORIGINAL GRADE OR SLIGHTLY ABOVE GRADE AT THE TREE BASE.
16. DO NOT BREAK ROOT BALL.
17. SET TRUNK PLUMB.
18. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
19. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, DEFOLIATES OR FAILS TO GERMINATE PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE & REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS AT NO COST TO THE OWNER.
20. STANDARDS SET FORTH IN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
21. IF SUFFICIENT ADDITIONAL TOPSOIL IS AVAILABLE, THE CONTRACTOR SHALL BACKFILL THE PARKING LOT ISLANDS WITH 100% TOPSOIL. PLANTERS SHALL BE FREE OF DELETERIOUS MATERIAL AND SOIL SHALL BE SUITABLE FOR PLANTING. ALL ROCKS AND DEBRIS SHALL BE REMOVED FROM PLANTING BEDS, INCLUDING SODDED AREAS, PRIOR TO INSTALLATION.
22. THE CONTRACTOR HAS THE COMPLETE RESPONSIBILITY FOR THE HANDLING OF ALL SURPLUS EXCAVATED MATERIALS INCLUDING THE REMOVAL OF ANY EXCESS MATERIALS FROM THE PROJECT SITE. THE CONTRACTOR SPECIFICALLY UNDERSTANDS AND AGREES THAT DUE TO THE SEQUENCE OF THE WORK, HE MAY NEED TO RETAIN SELECT EXACERBATED MATERIALS ON SITE TO MEET LATER NEEDS OF THE PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AS TO ANY DECISIONS MADE TO HAUL OFF EXCESS MATERIAL OR TO RETAIN MATERIAL ON SITE FOR LATER USE. THE CONTRACTOR SHALL HAVE THE COMPLETE RESPONSIBILITY FOR HAVING ADEQUATE, SUITABLE MATERIAL ON-SITE TO REPLACE UNSUITABLE MATERIAL OR TO OTHERWISE CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
23. THE CONTRACTOR SHALL REMOVE & DISPOSE OF ALL PLANT MATERIAL EXISTING ON SITE THAT DOES NOT CONFORM WITH THE LANDSCAPE PLAN. ALL LANDSCAPED AREAS SHALL BE TREATED AS SPECIFIED ON THE LANDSCAPE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. THIS SHALL INCLUDE ALL GRASS AREAS USED FOR EROSION CONTROL PURPOSES.
24. AREAS TO BE SODDED SHALL BE RAKED SMOOTH AND CONFORM TO PROPOSED GRADES. SOD SHALL BE ROLLED TO PROVIDE A CONSISTENTLY EVEN SURFACE.
25. ALL GRASSSED AREAS TO BE SODDED. LAWN AREAS SHOWN ON PLAN AND DISTURBED RIGHT-OF-WAY AREAS ALSO TO BE SODDED.

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE NOTES AND  
DETAILS**

DWG. NAME : 2020-104  
 DRAWN BY : MDN  
 DATE : 5-26-20  
 SCALE : N.T.S

**LANDSCAPE  
DETAILS**

**LA.2**

PROJECT

**RESTAURANT  
w/ DRIVE-THRU**

#8821  
 1001 ASPINAL ST.  
 WAXHAW, NC 28173  
 (PROVIDENCE ROAD)

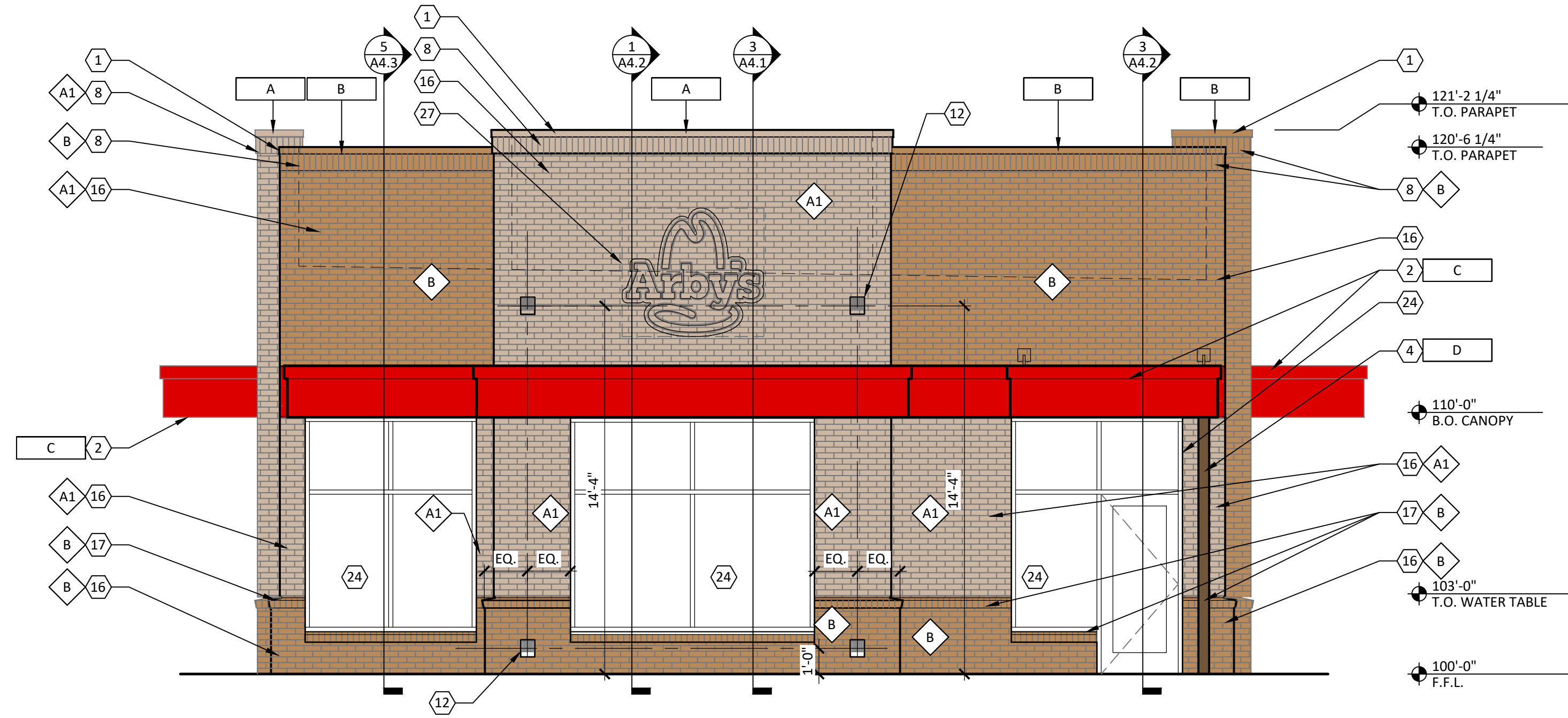
FOR

**BRG  
Brumit Restaurant Group, LLC**

P.O. BOX 15726  
 ASHEVILLE, NC 28813  
 PH: 828.274.5835

REVISIONS





**FRONT ELEVATION**

1  
A2.1  
1/4" = 1'-0"

**CODED NOTES** (X) (ALL CODED NOTES MAY NOT BE USED)

1. PRE-FINISHED METAL COPING.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
4. PRE-FABRICATED METAL POST FOR CANOPY.
5. ARBY'S SIGNAGE, REFER TO SIGNAGE VENDOR DRAWINGS.
6. PAINT DOOR AND FRAME.
7. NOT USED.
8. BRICK CORNICE, SOLDIER COURSE.
9. TINTED/SPANDREL GLAZING.
10. BRICK VENEER ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
11. DRIVE THRU WINDOW.
12. WALL MOUNTED LIGHT FIXTURE.
13. PAINT BOLLARD.
14. WALL PACK, REFER TO ELECTRICAL DRAWING.
15. ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
16. BRICK VENEER.
17. BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
18. SOLDIER COURSE BRICK.
19. ELECTRICAL EQUIPMENT.
20. GAS METER.
21. GREASE OUTLET.
22. Co2 HOOKUP.
23. COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
24. ALUMINUM STOREFRONT.
25. PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
26. CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
27. ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
28. ARBY'S LETTER SIGNAGE. MOUNT ON EIFS WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
29. PROVIDE A CLEAR UNOBSTRUCTED 30"X30" LANDING AREA FOR LADDER

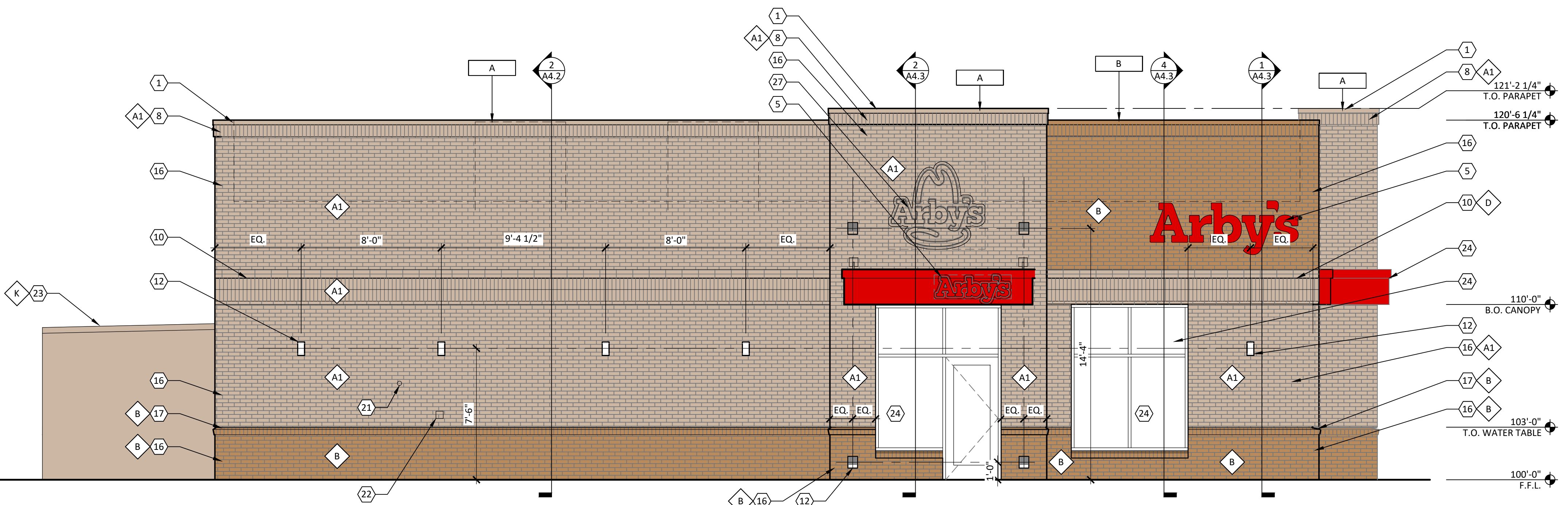
ZONING ADMINISTRATOR HAS WAIVED THE REQUIREMENTS OF THE TOWN OF WAXHAW UDO SECTION 20.2.2.E.1.D AND SECTION 20.2.2.E.1.F.

ALL SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH SECTION 13 OF THE TOWN OF WAXHAW UDO.

**FINISH SCHEDULE**

MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>FINISHES</b>			
A1	GENERAL SHALE	BASILICA	TEXTURE: VELOUR GROUT: CEMEX GRAY TYPE N 1000
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	NOT USED	---	---
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7538 TAMARIND	SATIN FINISH
<b>METALS</b>			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING LIGHT STONE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

- A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.
- B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
- C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- G. ALUMINUM STOREFRONT TO BE DARK BRONZE.
- H. ALL GLAZING TO BE 1" INSULATED GLAZING.
- I. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
- J. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- K. PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.
- L. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.
- M. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)
- N. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).

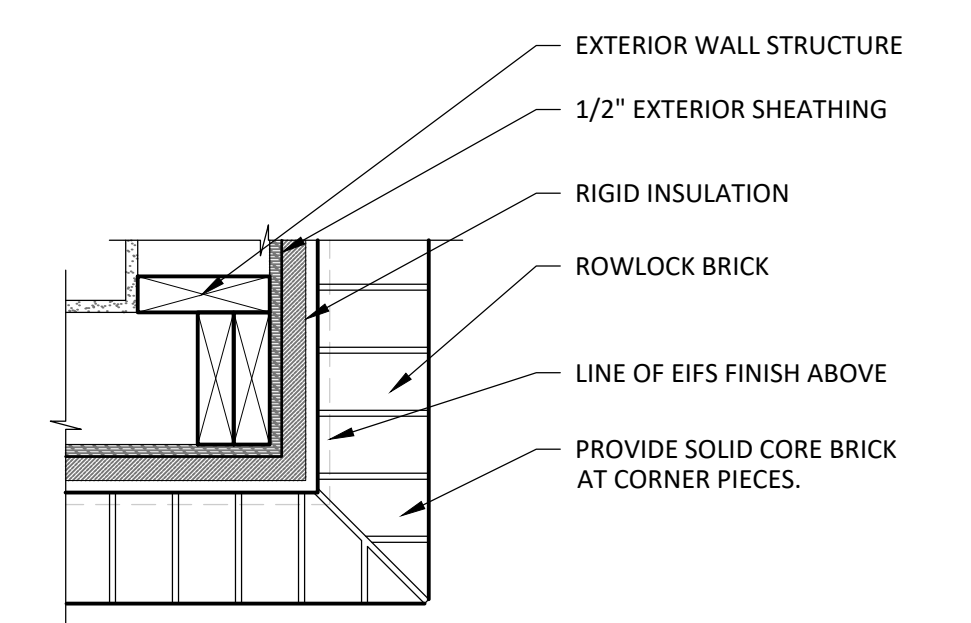


**SIDE ELEVATION**

2  
A2.1  
1/4" = 1'-0"

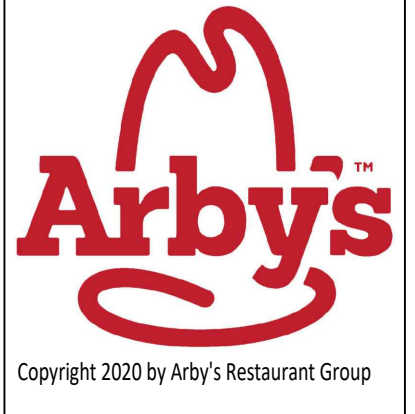
**DETAIL @ BRICK CORNER**

3  
A2.1  
1 1/2" = 1'-0"



**red**  
architecture + planning  
589 W Nationwide Boulevard  
Suite B  
Columbus, Ohio 43215  
tel: 614.487.8770  
fax: 614.487.8777

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**ARBY'S RESTAURANT GROUP**  
INSPIRE DUAL REGULAR 40 - REVERSE  
1001 ASPINAL ST.  
FOR  
WAXHAW, NC 28173  
BRUMIT RESTAURANT GROUP  
P.O. BOX 15726 ASHEVILLE, NC 28813

PROJECT NUMBER: ARF173

ISSUE	DATE
SD	JUN 10, 2020
OWNER REVIEW	AUG 27, 2020

EXTERIOR ELEVATIONS

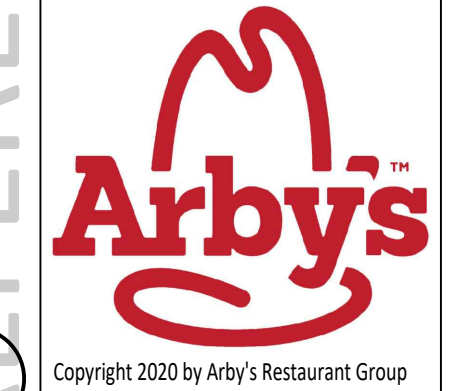
SHEET:

**A2.1**

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**ARBY'S RESTAURANT GROUP**  
 INSPIRE DUAL REGULAR 40 - REVERSE  
 1001 ASPINAL ST.  
 FOR  
 BRUMIT RESTAURANT GROUP  
 P.O. BOX 15726 ASHEVILLE, NC 28813

PROJECT NUMBER: ARF173	
ISSUE	DATE
SD	JUN 10, 2020
OWNER REVIEW	AUG 27, 2020

EXTERIOR ELEVATIONS

SHEET:  
**A2.2**

**CODED NOTES** (X) (ALL CODED NOTES MAY NOT BE USED)

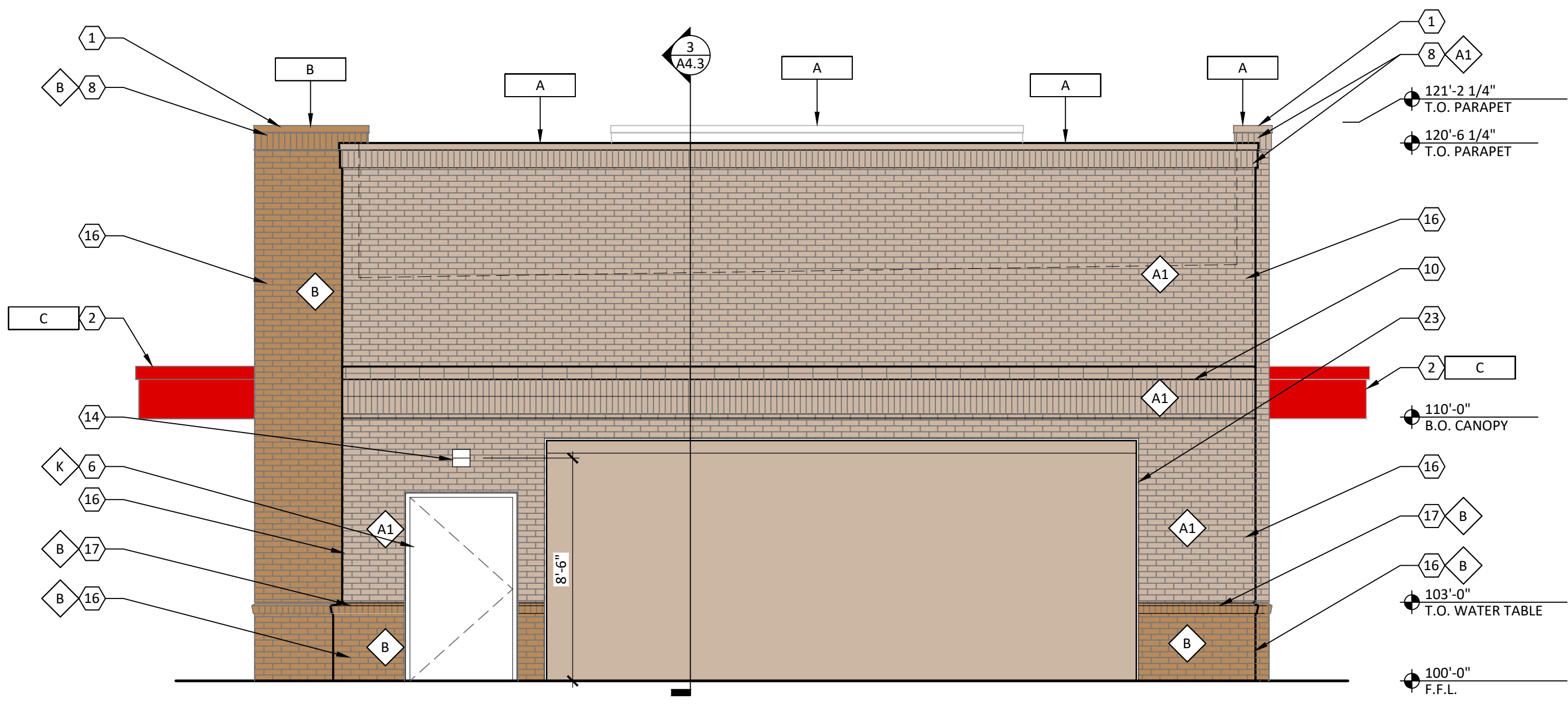
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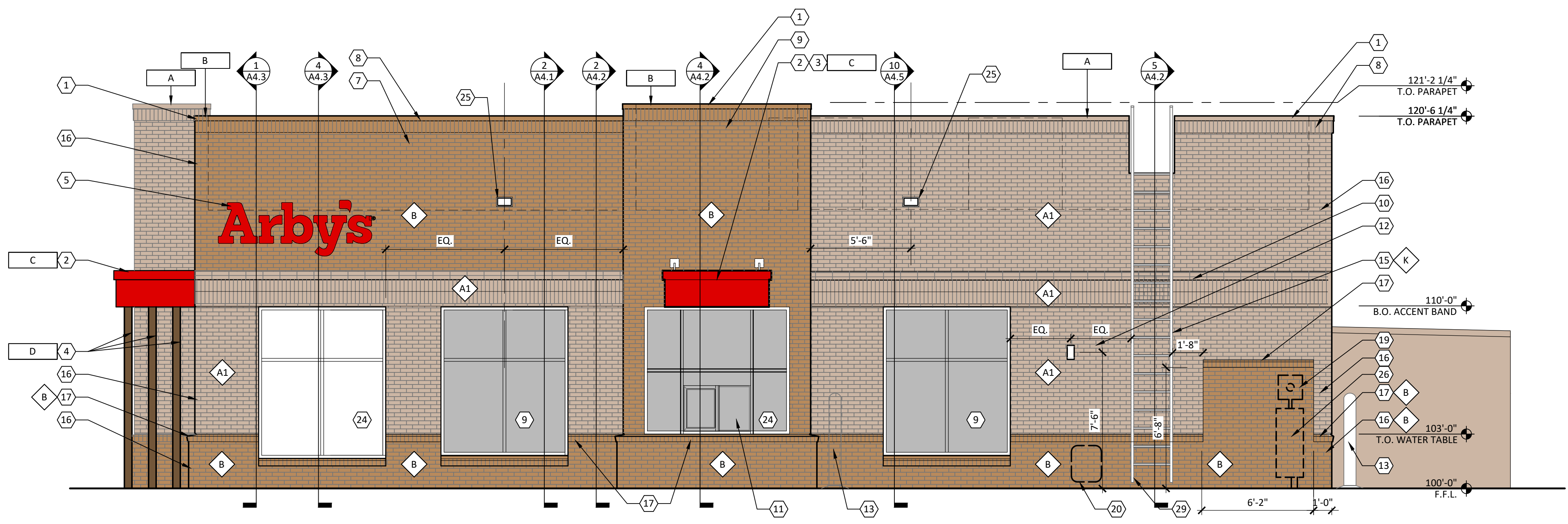
ZONING ADMINISTRATOR HAS WAIVED THE REQUIREMENTS OF THE TOWN OF WAXHAW UDO SECTION 20.2.2.E.1.D AND SECTION 20.2.2.E.1.F.

ALL SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH SECTION 13 OF THE TOWN OF WAXHAW UDO.

ZONING ADMINISTRATOR HAS WAIVED THE REQUIREMENT THAT THE WINDOWS ALONG THE KEMBLE STREET SIDE ELEVATION MUST BE ENTIRELY CLEAR GLASS, THUS ALLOWING OPAQUE GLAZING ALONG THE KEMBLE STREET SIDE ELEVATION PER THE 2007 WRITTEN ORDER APPROVING PRESCOTT VILLAGE, FOUND IN THE CONCLUSIONS, SUBHEADING "3. EXTERIOR BUILDING MATERIALS (BUILDING SKIN)."

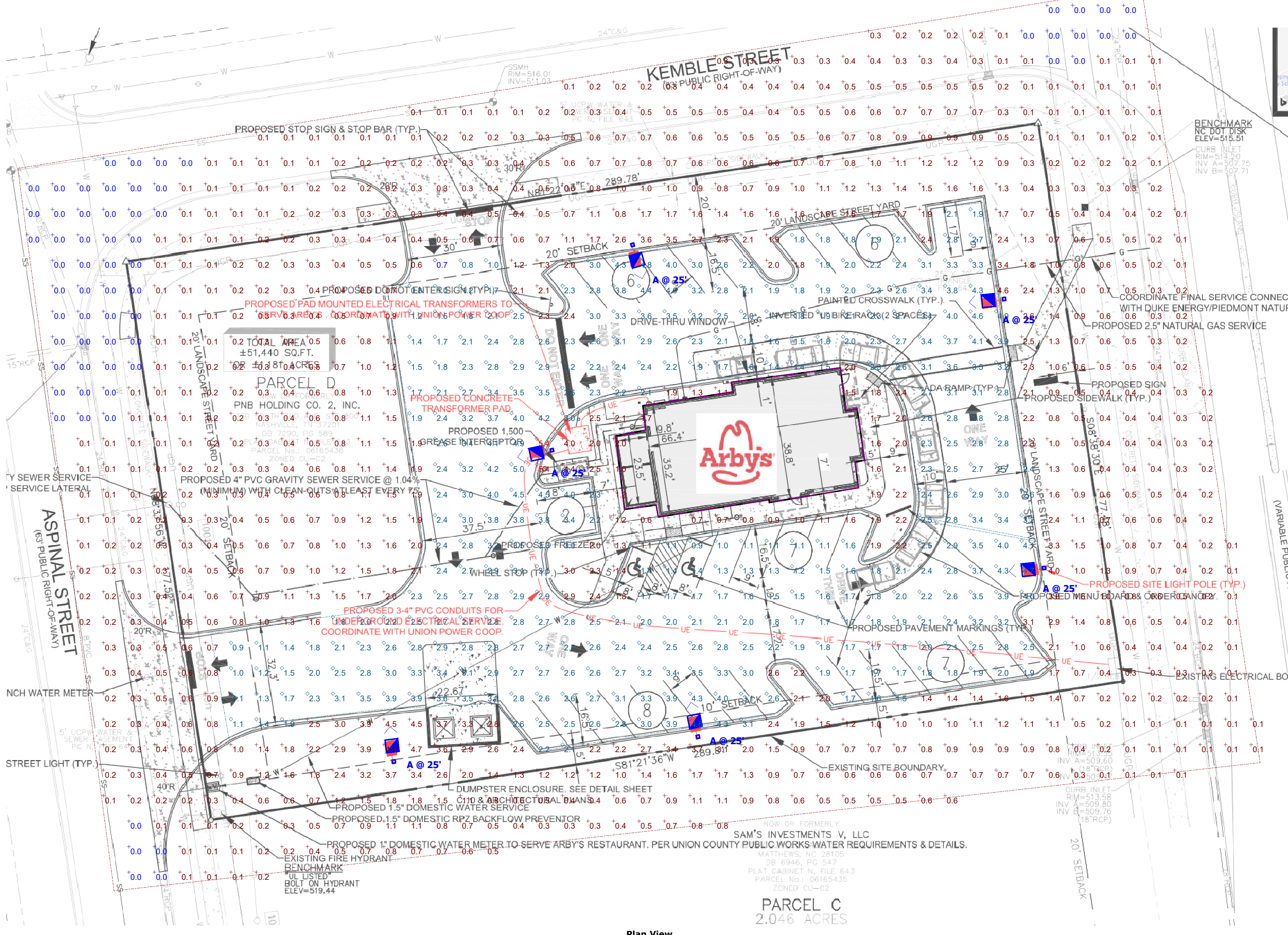


**1 REAR ELEVATION**  
 1/4" = 1'-0"



**2 SIDE ELEVATION**  
 1/4" = 1'-0"





Plan View  
Scale - 1" = 20'

**Note**  
 1. Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).  
 2. Please refer to the "Plan View" for mounting heights.  
 3. Product information can be obtained at [www.Acuitybrands.com](http://www.Acuitybrands.com)

Luminaire Locations										
Location		Aim								
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
2	A	-123.93	287.34	25.00	25.00	164.17	0.00	-123.58	286.14	0.00
3	A	-7.40	270.35	25.00	25.00	264.36	0.00	-8.65	270.23	0.00
4	A	-103.44	132.98	25.00	25.00	348.50	0.00	-103.69	134.21	0.00
5	A	-198.82	125.21	25.00	25.00	353.66	0.00	-198.96	126.46	0.00
6	A	5.15	185.94	25.00	25.00	264.36	0.00	3.90	185.82	0.00
7	A	-149.21	222.91	25.00	25.00	258.19	0.00	-150.44	222.66	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Spill Light Summary	+	1.3 fc	5.4 fc	0.0 fc	N/A	N/A
Stat Zone # 2	◇	2.6 fc	5.4 fc	0.7 fc	7.7:1	3.7:1

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
+	A	6	American Electric Lighting	ATB2 40BLEDE15 XXXXX R4 4K/5K	ATB2 SERIES LED 1500MA TYPE 4 4000K/5000K CCT	LED Array	1	21798	0.91	198

**Disclaimer**  
 This architectural lighting submittal is provided only for informational purposes and to the help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.