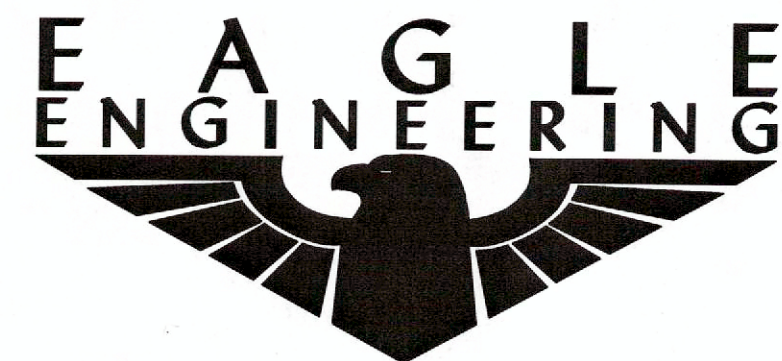


# CARRINGTON SQUARE - PARCEL 1

## CONSTRUCTION PLANS

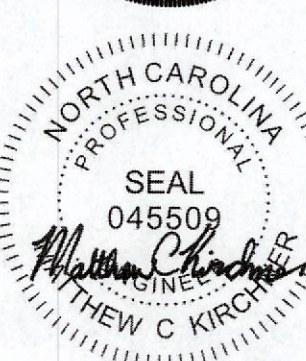
TOWN OF WAXHAW, UNION COUNTY, NORTH CAROLINA

SITE AND DEVELOPMENT DATA	
JURISDICTION	TOWN OF WAXHAW
TAX PARCEL(S)	06-162-018
SITE ADDRESS	2925 PROVIDENCE ROAD SOUTH, WAXHAW, NC
ZONING	EXISTING ZONING CD-C3
USE CLASSIFICATION	COMMERCIAL
TOTAL AREA	1.63 ACRES
MINIMUM FRONT SETBACK	20'
MINIMUM CORNER/SIDE SETBACK	45' & 25'
MINIMUM REAR SETBACK	25'
DISTURBED AREA	0.79 ACRES



2013-A Van Buren Avenue  
Indian Trail, NC 28079  
(704) 882-4222  
www.eagleonline.net

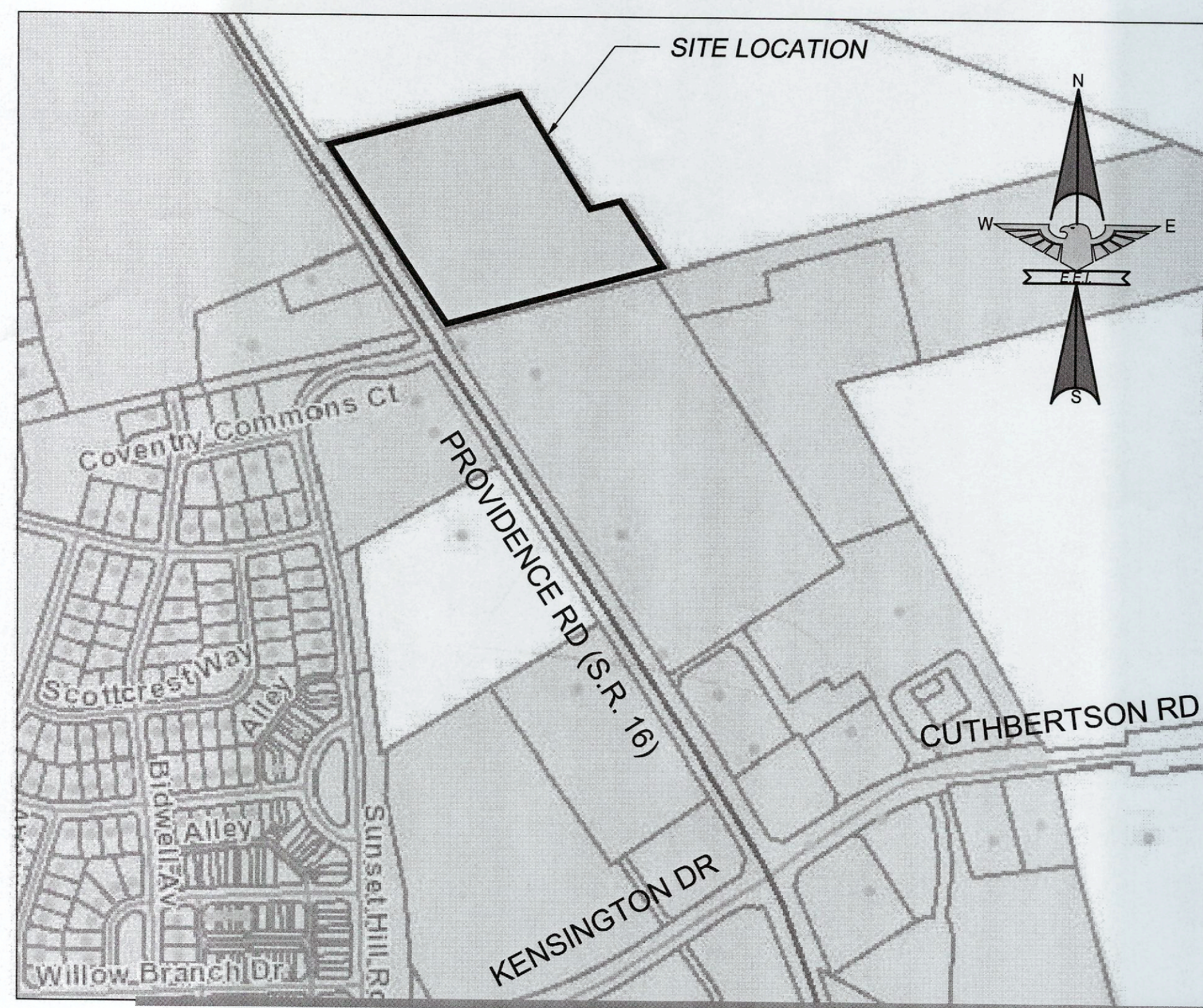
P.O. BOX 551  
Alpharetta, GA 30009  
(678) 339-0640



08/20/19

PROJECT ENGINEER: MATHEW C. KIRCHNER, P.E.  
STREET ADDRESS: 2013A VAN BUREN AVENUE  
CITY, STATE, ZIP: INDIAN TRAIL, NC 28079  
PHONE: 704.882.4222  
FAX: 704.882.4232

PREPARED FOR: WAXHAW SOUTH STAR, LLC  
STREET ADDRESS: 101 S. KINGS DRIVE SUITE 200  
CITY, STATE, ZIP: CHARLOTTE, NC 28204  
PHONE: (704) 333-8484  
CONTACT: BLANTON HAMILTON  
EMAIL: BHAMILTON@TRIBEK.COM



VICINITY MAP

SCALE: 1" = 400'

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	EXISTING CONDITIONS
C-2.0	OVERALL SITE PLAN
C-3.0	EROSION CONTROL PLAN
C-3.1	EROSION CONTROL DETAILS
C-3.2	STANDARDS AND SPECIFICATIONS
C-4.0	OVERALL GRADING PLAN
C-4.1	FINISH GRADING PLAN
C-5.0	OVERALL UTILITY PLAN
C-6.0	SITE DETAILS
C-6.1	SITE DETAILS - WATER AND SEWER
C-6.2	SITE DETAILS - PLAY AREA LAYOUT
L-1.1	PLANTING PLAN
L-1.2	PLANTING LEGEND AND SPECIFICATIONS

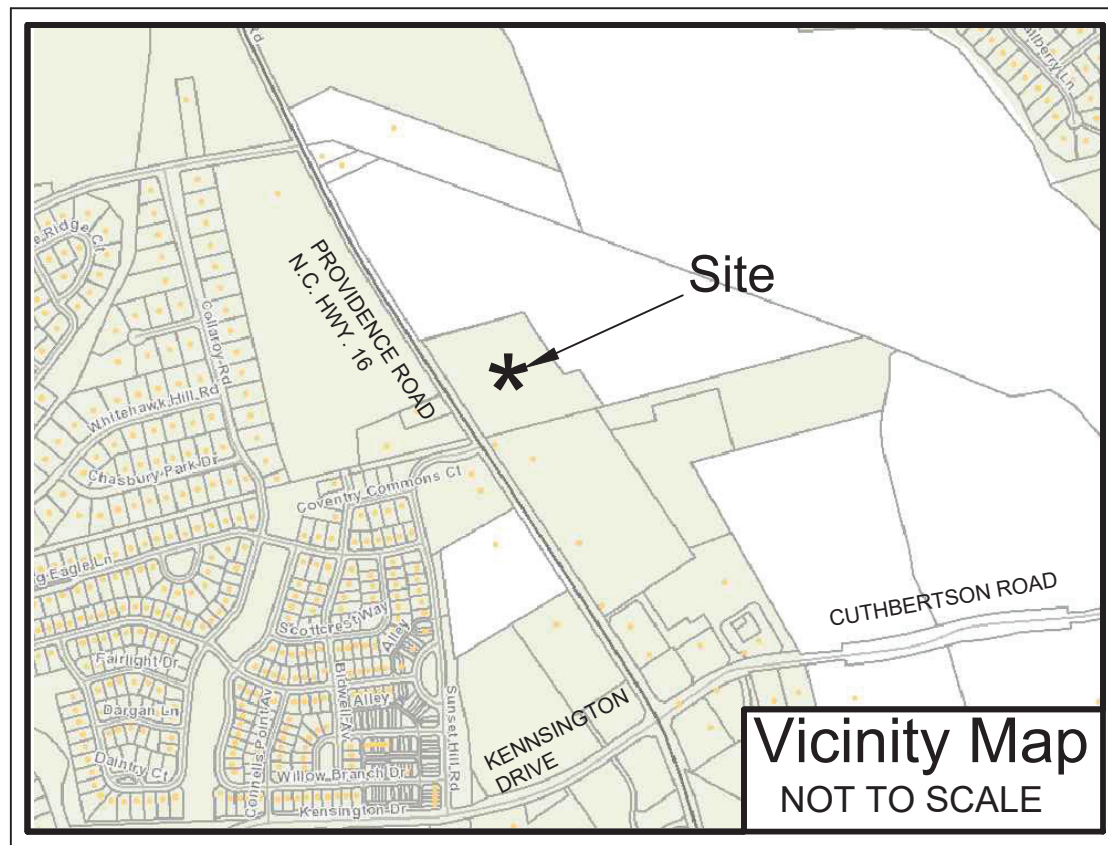
NO.	DATE	BY	ISSUE
1	06-19-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
2	07-17-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
3	08-20-2019	SAP	ADDED PLAY AREA LAYOUT DETAIL



BEFORE YOU DIG!  
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N.C. ONE-CALL CENTER  
IT'S THE LAW!

TOWN OF WAXHAW  
APPROVED FOR CONSTRUCTION ONLY  
THESE DRAWINGS MEET THE MINIMUM CRITERIA SPECIFIED IN THE TOWN UNAPPROVED DEVELOPMENT ORDINANCE  
AND ARE APPROVED FOR CONSTRUCTION ONLY. THIS APPROVAL DOES NOT RELIEVE THE DEVELOPER FROM  
OBTAINING APPROVALS FROM OTHER AGENCIES HAVING AUTHORITY OVER THE PROJECT. THE DEVELOPER MUST  
SUBMIT AS-BUILT DRAWINGS TO THE TOWN PRIOR TO OBTAINING ANY PERMITS TO OPERATE OR FINAL PLATS.  
APPROVED BY: *Blanton Hamilton* DATE: 8/23/19





**MISCELLANEOUS NOTES**

AREAS COMPUTED USING COORDINATE GEOMETRY.  
 IRON REBARS AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.  
 DEED REFERENCE: AS SHOWN.  
 ALL ADJOINER PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".  
 RAW ERROR OF CLOSURE: 1:10,000+. BOUNDARY TRAVERSE WAS ADJUSTED USING THE LEAST SQUARES METHOD.  
 OTHER UNDERGROUND UTILITIES MAY EXIST BUT THEIR LOCATIONS ARE NOT KNOWN.  
 THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.  
 ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.  
 THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 3710447400J, EFFECTIVE DATE OCTOBER 16, 2008.

**UTILITY NOTES**

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THERE IS NO CERTAINTY OF THE ACCURACY OF THE INFORMATION AND IT SHALL BE CONSIDERED IN THE LIGHT BY THOSE USING THIS SURVEY. UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THIS SURVEYOR IS NOT RESPONSIBLE FOR THE SUFFICIENCY OF THE UNDERGROUND UTILITY INFORMATION PROVIDED HEREON, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**ZONING INFORMATION**

EXISTING ZONING: CU-C3  
 CASE # CU-2008-009 APPROVED MARCH 13, 2007

**SCHEDULE B, SECTION II**

- SCHEDULE B - SECTION II**  
**EXCEPTIONS**  
 TITLE POLICY NO. NCS-757906-PHX1, EFFECTIVE DATE OCTOBER 16, 2017.
1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTER, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
  2. TAXES OR ASSESSMENTS FOR THE YEAR 2017, BUT NOT YET DUE AND PAYABLE, AND ALL SUBSEQUENT YEARS.
  3. GRANT OF EASEMENT TO NORTH CAROLINA NATURAL GAS CORPORATION, A DELAWARE CORPORATION RECORDED IN BOOK 927, PAGE 693, UNION COUNTY REGISTRY. AFFECTS THE PROPERTY TO THE EXTENT SHOWN HEREON.
  4. RIGHT-OF-WAY AND EASEMENT AGREEMENT BY AND BETWEEN CUTHBERTSON RD I, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY AND CARRINGTON - FIRST COLONY, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY RECORDED IN BOOK 4142, PAGE 13, UNION COUNTY REGISTRY. AFFECTS THE PROPERTY TO THE EXTENT SHOWN HEREON.
  5. DEED FOR HIGHWAY RIGHT OF WAY TO CUTHBERTSON RD I, LLC RECORDED IN BOOK 489, PAGE 193, UNION COUNTY REGISTRY. AFFECTS THE PROPERTY TO THE EXTENT SHOWN HEREON.
  6. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
  7. TITLE TO ANY PORTION OF THE PROPERTY WITHIN THE RIGHT OF WAY OF PROVIDENCE ROAD.
  8. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
  9. THIS ITEM HAS BEEN INTENTIONALLY DELETED.

**LEGAL DESCRIPTION**

BEGINNING AT AN EXISTING P.K. NAIL IN THE ASPHALT OF THE "REAR ACCESS DRIVE/ROADWAY TRACT" AS SHOWN IN DEED BOOK 4142, PAGE 13, UNION COUNTY REGISTRY, AND HAVING NORTH CAROLINA STATE PLANE COORDINATES OF N: 445,242.77 E: 1,472,634.16. SAID BEGINNING POINT BEING LOCATED ON THE LINE OF SARA LIGHTING, INC. PROPERTY (DEED BOOK 5213, PAGE 513).  
 THENCE FROM THE POINT OF BEGINNING S77°09'41"W 62.07 FEET TO A POINT IN PROVIDENCE ROAD (N.C. HIGHWAY 16), THENCE ALONG PROVIDENCE ROAD THE FOLLOWING TO COURSES: 1) N32°05'30"W 237.97 FEET TO A POINT, 2) N31°57'45"W 391.83 FEET TO A POINT BEING THE SOUTHERLY CORNER OF THE ROBERT AND CHRISTINE PFISTER PROPERTY (DEED BOOK 376, PAGE 137).  
 THENCE LEAVING PROVIDENCE ROAD AND WITH THE LINE OF ROBERT & CHRISTINE PFISTER THE FOLLOWING 4 COURSES: 1) N77°05'53"E CROSSING A 1/2" NEW IRON REBAR AT 41.30 FEET FOR A TOTAL DISTANCE OF 619.14 FEET TO AN EXISTING 1" IRON PIPE, 2) S32°13'38"E 391.75 FEET TO AN EXISTING 1" IRON PIPE, 3) N77°24'05"E 93.93 FEET TO AN EXISTING 1/2" EYE BOLT, 4) S32°03'59"E 238.77 FEET TO AN EXISTING 1" IRON PIPE IN THE NORTHERLY LINE OF CUTHBERTSON RD I, LLC (DEED BOOK 4142, PAGE 4).  
 THENCE WITH THE LINE OF THE CUTHBERTSON RD I, LLC PROPERTY AND CONTINUING WITH THE LINE OF THE AFOREMENTIONED SARA LIGHTING, INC. PROPERTY, S77°09'41"W 652.84 FEET TO THE POINT AND PLACE OF BEGINNING.  
 THE PROPERTY AS DESCRIBED CONTAINS 8.965 ACRES, MORE OR LESS, ALL AS SHOWN ON AN ALTA/NSPS SURVEY PREPARED BY EAGLE ENGINEERING, INC. (RUSSELL L. WHITEHURST, NC PLS L-3661) AND DATED JUNE 5, 2017 AND LAST REVISED APRIL 1, 2019.

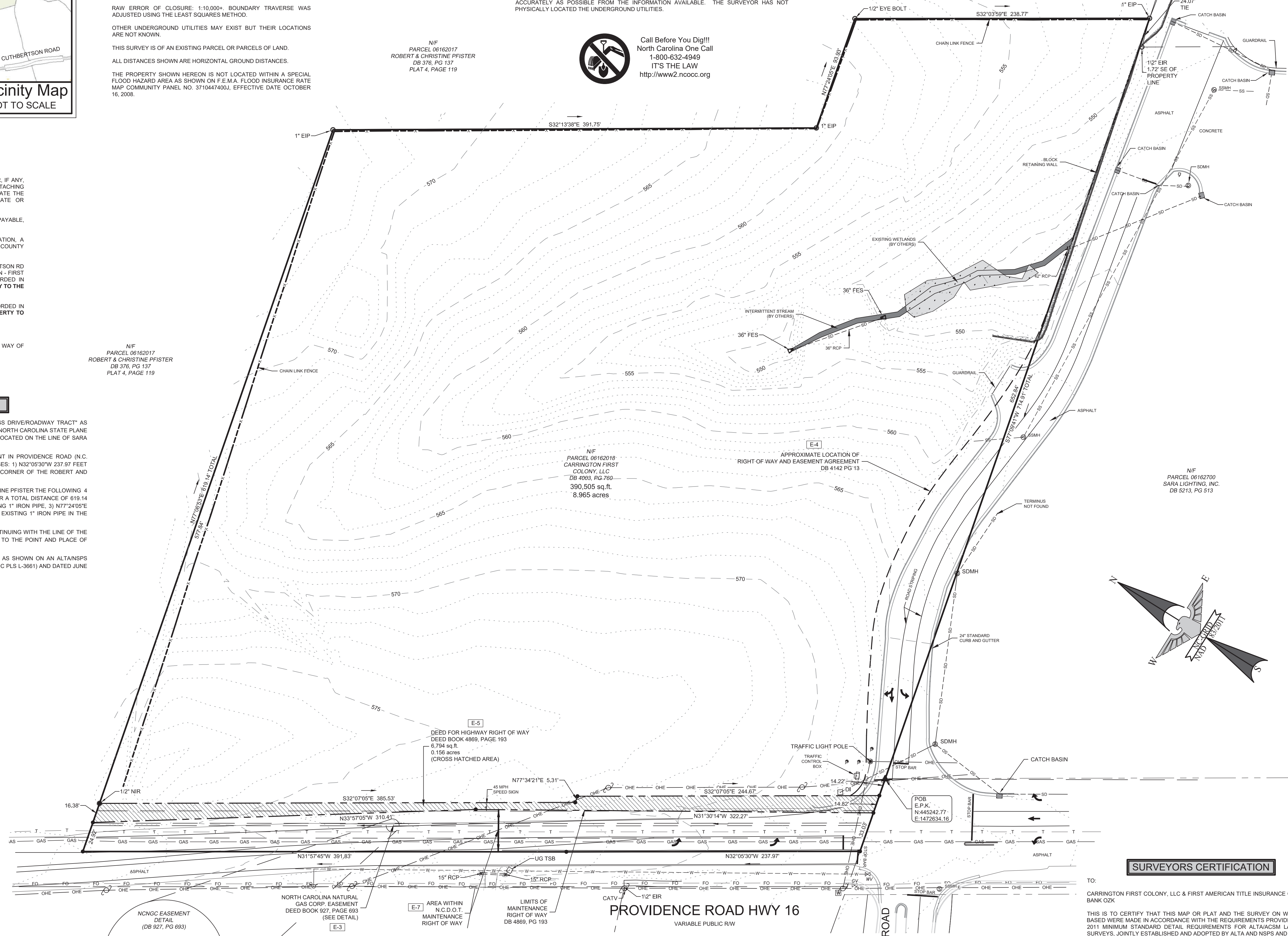
**LEGEND OF SYMBOLS & ABBREVIATIONS**

- EIP - EXISTING IRON PIPE
- EIR - EXISTING IRON REBAR
- NIR - NEW IRON REBAR
- S.T. - SIGHT TRIANGLE
- M.B.S. - MINIMUM BUILDING SETBACK
- P.S.D.E. - PUBLIC STORM DRAINAGE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- SSMH - SANITARY SEWER MANHOLE
- R.W. - RIGHT OF WAY
- GPUE - GENERAL PUBLIC UTILITY EASEMENT
- C.P. - COMPUTED POINT
- ECM - EXISTING CONCRETE MONUMENT
- E.P.K. - EXISTING P.K. NAIL
- - - - - EXISTING CONTOURS
- - - - - EXISTING INTERMITTENT STREAM HATCH
- - - - - EXISTING WETLAND HATCH
- - - - - EXISTING R/W DEED AREA HATCH
- - - - - HANDICAPPED PARKING
- - - - - TRANSMISSION TOWER
- - - - - UTILITY POLE
- - - - - UNDERGROUND GASLINE
- - - - - OVERHEAD UTILITY LINE
- - - - - SANITARY SEWER LINE
- - - - - SANITARY SEWER MANHOLE
- - - - - FIRE HYDRANT
- - - - - WATER VALVE
- - - - - STORM DRAIN MANHOLE
- - - - - YARD INLET / AREA DRAIN
- - - - - RAILROAD TRACK
- - - - - MONITORING WELL
- - - - - ELECTRIC BOX/TRANSFORMER
- - - - - CATCH BASIN
- - - - - STORM DRAIN
- - - - - WATER LINE
- - - - - FENCE LINE
- - - - - ZONING LINE
- - - - - UNDERGROUND TELEPHONE

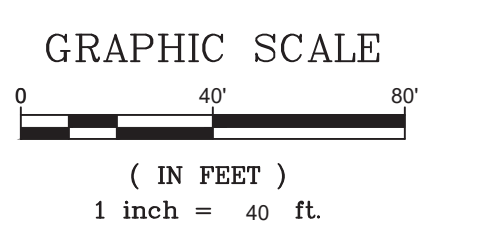
N/F  
 PARCEL 06162017  
 ROBERT & CHRISTINE PFISTER  
 DB 376, PG 137  
 PLAT 4, PAGE 119

N/F  
 PARCEL 06162018  
 CARRINGTON FIRST  
 COLONY, LLC  
 DB 4003, PG 760  
 390,505 sq.ft.  
 8.965 acres

N/F  
 PARCEL 06162700  
 SARA LIGHTING, INC.  
 DB 5213, PG 513



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**SURVEYORS CERTIFICATION**

TO:  
 CARRINGTON FIRST COLONY, LLC & FIRST AMERICAN TITLE INSURANCE COMPANY,  
 BANK OZK

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE REQUIREMENTS PROVIDED BY THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a), 8, 13, 14 OF TABLE THEREOF.

THE FIELD WORK WAS COMPLETED ON JUNE 5, 2017.  
 DATE OF PLAT OR MAP: JUNE 5, 2019, REVISED APRIL 1, 2019

SIGNED AND SEALED:  
 RUSSELL L. WHITEHURST  
 PROFESSIONAL LAND SURVEYOR # 3661  
 STATE OF NORTH CAROLINA

**EAGLE ENGINEERING**

P.O. BOX 551  
 Indian Trail, NC 28079  
 (704) 882-4222  
[www.eagleonline.net](http://www.eagleonline.net)

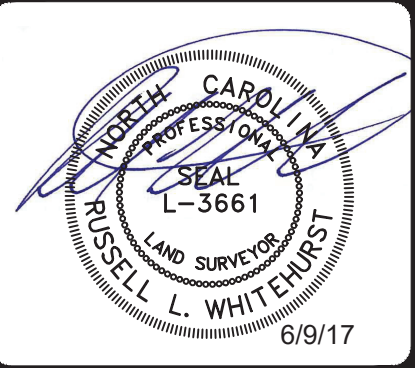
NO.	DATE	BY	ISSUE	REVISION	DESCRIPTION
1	4/1/19	RLW	ISSUE		FOR ADDRESS UPDATES AND TITLE COMMITMENT AND TO ADDRESS LENDERS COMMENTS

**THE CARRINGTON FIRST COLONY, LLC PROPERTY WAXHAW, UNION CO., N.C.**

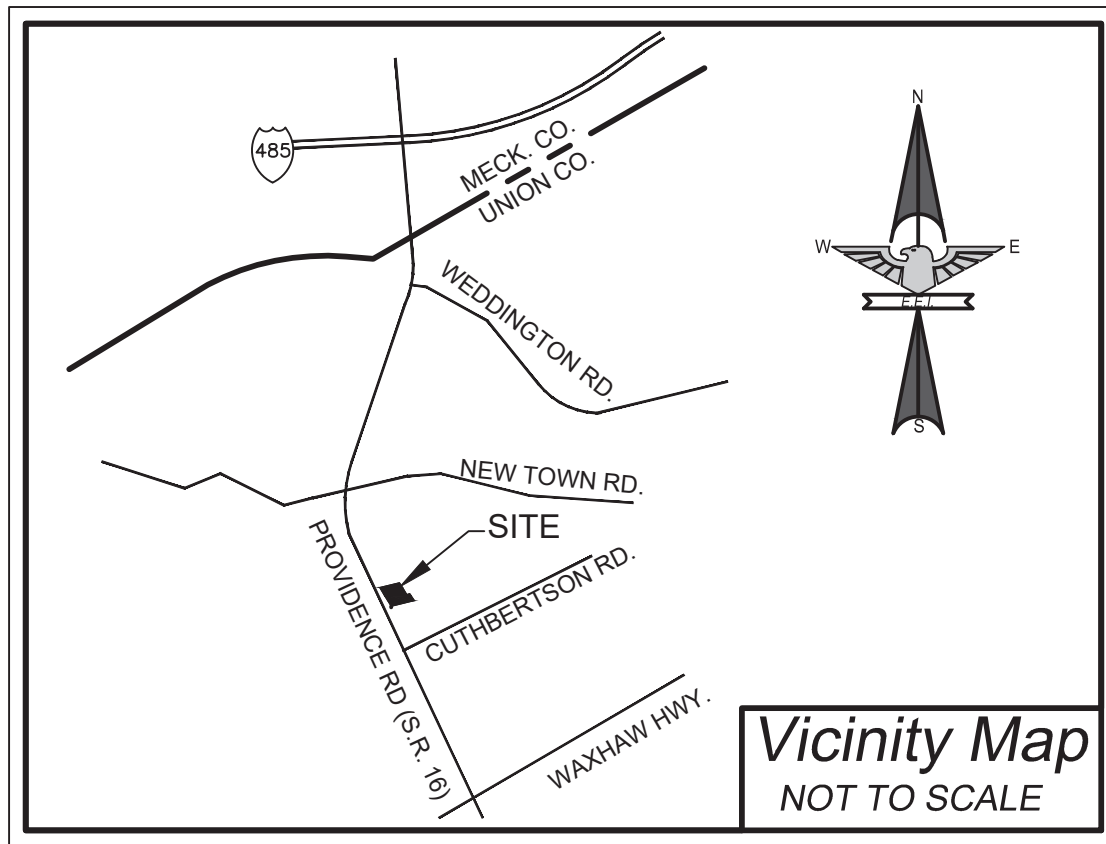
CERTIFY TO:  
 CARRINGTON FIRST COLONY, LLC  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 BANK OZK AND/OR ITS SUCCESSOR AND ASSIGNS

**ALTA/NSPS SURVEY**

DESIGNED BY	rlw	CHECKED BY	RLW
DRAWN BY	FMH	DATE	JUNE 5, 2017
SCALE	1" = 40'	JOB NUMBER	5117







**SITE DATA**

PROPERTY OWNER: CARRINGTON FIRST COLONY, LLC DEVELOPER: WAXHAW SOUTH STAR, LLC  
 PO BOX 471234 101 S. KINGS DRIVE, SUITE 200  
 CHARLOTTE, NC 28247 CONTACT: BLANTON HAMILTON  
 PHONE: 704-333-8484  
 EMAIL: BHAMILTON@TRIEBK.COM

TOTAL SITE AREA: 8.96 AC (GROSS, TO CL OF PROVIDENCE RD.)  
 8.01 AC ± (NET OF PROPOSED 50' R/W FROM CL OF PROVIDENCE RD AND RIGHT-OF-WAY DEDICATION FOR SUNSET HILL RD.)

TOTAL ALLOWABLE IMPERVIOUS: IMPERVIOUS AREA (FROM APPROVED "CARRINGTON SQUARE" PLANS)  
 PROPOSED BUILDINGS = ±0.99 AC (12% OF NET AREA)  
 PROPOSED PAVEMENT / SIDEWALKS = ±3.11 AC (39% OF NET AREA)

TOTAL PERMITTED IMPERVIOUS: IMPERVIOUS AREA (FROM MAIN DRIVE, PARCEL 2, AND PARCEL 3)  
 PROPOSED BUILDINGS = ±0.62 AC  
 PROPOSED PAVEMENT / SIDEWALKS = ±2.29 AC

TOTAL PROPOSED IMPERVIOUS: IMPERVIOUS AREA (PARCEL 1)  
 PROPOSED BUILDINGS = ±0.30 AC  
 PROPOSED PAVEMENT / SIDEWALKS = ±0.35 AC

TOTAL IMPERVIOUS: IMPERVIOUS AREA (COMBINED MAIN DRIVE, PARCEL 1, PARCEL 2, & PARCEL 3)  
 PROPOSED BUILDINGS = ±0.92 AC  
 PROPOSED PAVEMENT / SIDEWALKS = ±2.64 AC

TOTAL REMAINING IMPERVIOUS: IMPERVIOUS AREA (REMAINING FOR PARCEL 4)  
 PROPOSED BUILDINGS = ±0.07 AC  
 PROPOSED PAVEMENT / SIDEWALKS = ±0.47 AC

PROPERTY ADDRESS: 2925 PROVIDENCE ROAD SOUTH, WAXHAW, NC  
 EXISTING ZONING: CD-C3  
 TAX PARCEL NO.: 06-162-018  
 DEED BOOK: 4003 PAGE 760

PROPOSED USE: PARCEL 1 (1.63 AC) DAYCARE: ±12,870 SF  
 PARCEL 2 (1.09 AC) GENERAL OFFICE: ±7,290 SF  
 PARCEL 3 (2.25 AC) GROCERY STORE: ±18,850 SF  
 PARCEL 4 (1.37 AC) FAST FOOD: ±3,925 SF  
 PARCEL 5 (1.60 AC) BMP POND (C.O.A.)

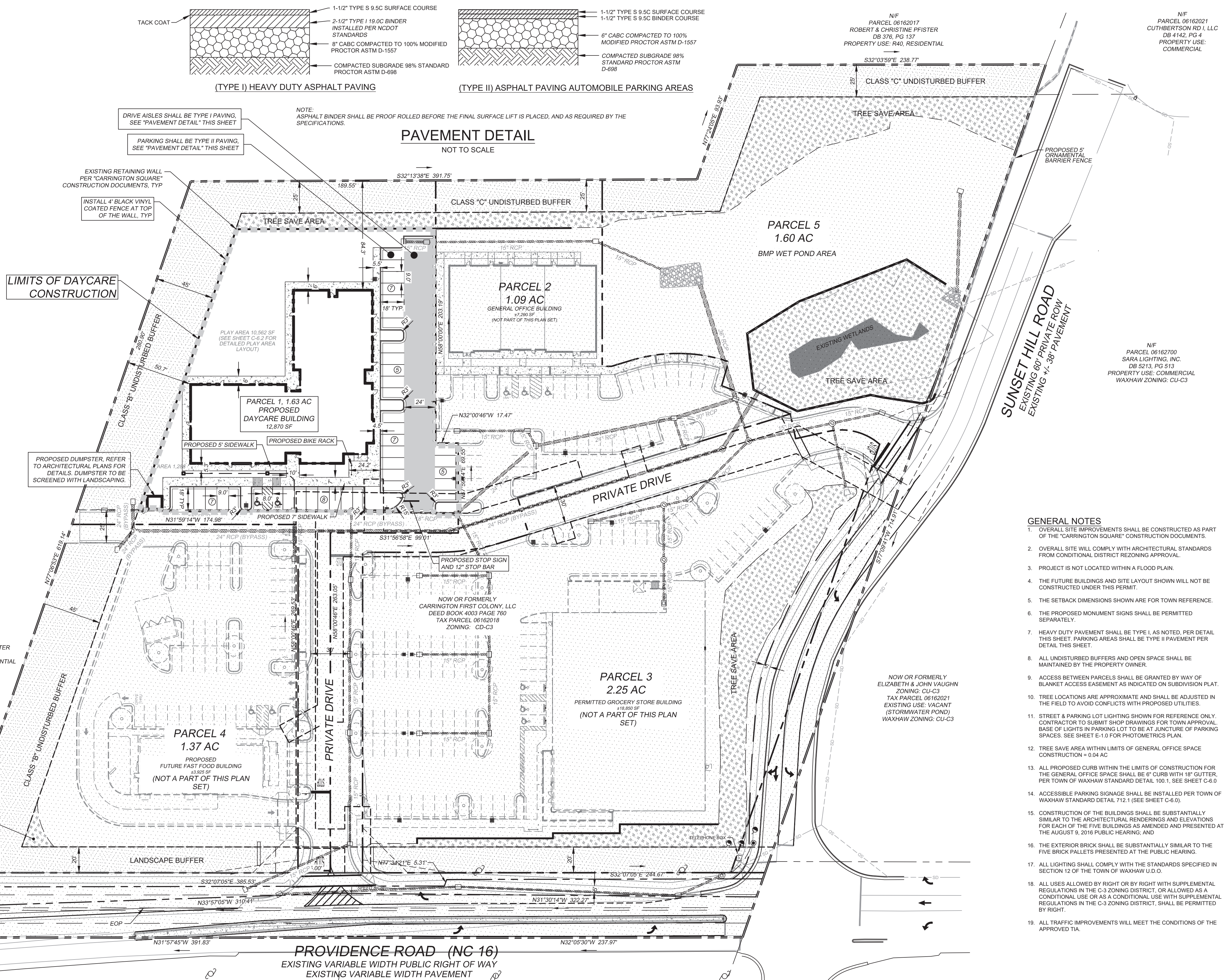
PARKING ANALYSIS: PARCEL 1 DAYCARE: (0.35 SPACES x 138 STUDENTS) - 20% = 39 SPACES REQUIRED 39 PROVIDED  
 PARCEL 2 GENERAL OFFICE: (3.6 SPACES / 1000) x 7,290 SF - 20% = 21 SPACES REQUIRED 35 PROVIDED  
 PARCEL 3 GROCERY STORE: (6 SPACES / 1000 SF) x 18,850 - 20% = 91 SPACES REQUIRED 97 PROVIDED  
 PARCEL 4 FAST FOOD: (115 SPACES / 1000 SF) x 3,473 - 20% = 42 SPACES REQUIRED 39 PROVIDED  
 TOTAL PARKING REQUIRED = 143  
 TOTAL PARKING PROVIDED = 211  
 \*211 TOTAL SPACES INCLUDING 19 HANDICAP ACCESSIBLE SPACES

TREE SAVE ANALYSIS: TOTAL LOT AREA = 8.96 AC  
 TOTAL BUFFER AREA = 1.20 AC  
 TOTAL RIGHT-OF-WAY DEDICATION = 0.95 AC (PROVIDENCE RD & SUNSET HILL RD)  
 TOTAL INTERNAL AREA: 8.96 AC - 1.20 AC - 0.95 AC = 6.81 AC  
 TREE SAVE REQUIRED: 6.81 AC x 0.10 (10%) = 0.68 AC  
 0.76 AC PROVIDED

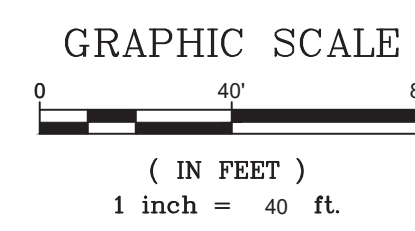
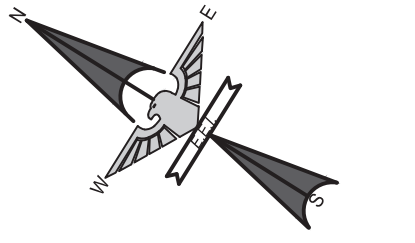
SETBACKS: FRONT SETBACK: 20' LANDSCAPE BUFFER  
 REAR SETBACK: 25' CLASS "C" SETBACK  
 SIDE SETBACK: 45' CLASS "B" SETBACK  
 MAX BUILDING HEIGHT: 80' (PRINCIPAL BUILDING)  
 80' (ACCESSORY BUILDING)

**LEGEND**

- SITE IMPROVEMENTS PER "CARRINGTON SQUARE" CONSTRUCTION DOCUMENTS (NOT A PART OF THIS PLAN SET)
- UNDISTURBED BUFFER (NOT TO BE DEVELOPED)
- TREE SAVE AREA (NOT TO BE DEVELOPED)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED TREE
- EXISTING PROPERTY LINE
- PROPOSED PARKING LOT LIGHT



- GENERAL NOTES**
- OVERALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED AS PART OF THE "CARRINGTON SQUARE" CONSTRUCTION DOCUMENTS.
  - OVERALL SITE WILL COMPLY WITH ARCHITECTURAL STANDARDS FROM CONDITIONAL DISTRICT REZONING APPROVAL.
  - PROJECT IS NOT LOCATED WITHIN A FLOOD PLAIN.
  - THE FUTURE BUILDINGS AND SITE LAYOUT SHOWN WILL NOT BE CONSTRUCTED UNDER THIS PERMIT.
  - THE SETBACK DIMENSIONS SHOWN ARE FOR TOWN REFERENCE.
  - THE PROPOSED MONUMENT SIGNS SHALL BE PERMITTED SEPARATELY.
  - HEAVY DUTY PAVEMENT SHALL BE TYPE I, AS NOTED, PER DETAIL THIS SHEET. PARKING AREAS SHALL BE TYPE II PAVEMENT PER DETAIL THIS SHEET.
  - ALL UNDISTURBED BUFFERS AND OPEN SPACE SHALL BE MAINTAINED BY THE PROPERTY OWNER.
  - ACCESS BETWEEN PARCELS SHALL BE GRANTED BY WAY OF BLANKET ACCESS EASEMENT AS INDICATED ON SUBDIVISION PLAT.
  - TREE LOCATIONS ARE APPROXIMATE AND SHALL BE ADJUSTED IN THE FIELD TO AVOID CONFLICTS WITH PROPOSED UTILITIES.
  - STREET & PARKING LOT LIGHTING SHOWN FOR REFERENCE ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR TOWN APPROVAL. BASE OF LIGHTS IN PARKING LOT TO BE AT JUNCTURE OF PARKING SPACES. SEE SHEET E-1.0 FOR PHOTOMETRICS PLAN.
  - TREE SAVE AREA WITHIN LIMITS OF GENERAL OFFICE SPACE CONSTRUCTION = 0.04 AC
  - ALL PROPOSED CURBS WITHIN THE LIMITS OF CONSTRUCTION FOR THE GENERAL OFFICE SPACE SHALL BE 6" CURBS WITH 18" GUTTER, PER TOWN OF WAXHAW STANDARD DETAIL 100.1, SEE SHEET C-6.0
  - ACCESSIBLE PARKING SIGNAGE SHALL BE INSTALLED PER TOWN OF WAXHAW STANDARD DETAIL 712.1 (SEE SHEET C-6.0).
  - CONSTRUCTION OF THE BUILDINGS SHALL BE SUBSTANTIALLY SIMILAR TO THE ARCHITECTURAL RENDERINGS AND ELEVATIONS FOR EACH OF THE FIVE BUILDINGS AS AMENDED AND PRESENTED AT THE AUGUST 9, 2016 PUBLIC HEARING, AND
  - THE EXTERIOR BRICK SHALL BE SUBSTANTIALLY SIMILAR TO THE FIVE BRICK PALLETS PRESENTED AT THE PUBLIC HEARING.
  - ALL LIGHTING SHALL COMPLY WITH THE STANDARDS SPECIFIED IN SECTION 12 OF THE TOWN OF WAXHAW U.D.O.
  - ALL USES ALLOWED BY RIGHT OR BY RIGHT WITH SUPPLEMENTAL REGULATIONS IN THE C-3 ZONING DISTRICT, OR ALLOWED AS A CONDITIONAL USE OR AS A CONDITIONAL USE WITH SUPPLEMENTAL REGULATIONS IN THE C-3 ZONING DISTRICT, SHALL BE PERMITTED BY RIGHT.
  - ALL TRAFFIC IMPROVEMENTS WILL MEET THE CONDITIONS OF THE APPROVED TIA.



**ENGINEERING**

FIRM LICENSE # C-8873  
 P.O. BOX 551  
 Alpharetta, GA 30009  
 (704) 882-4222  
 www.engineerline.net

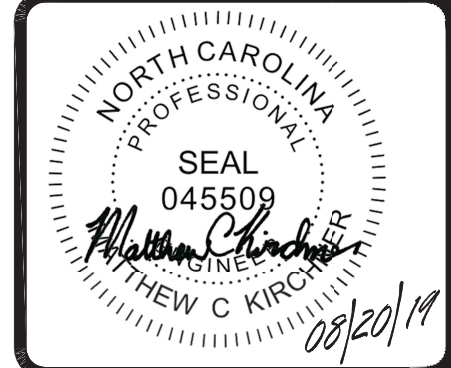
NO.	DATE	BY	ISSUE
1	06-19-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
2	07-17-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
3	08-20-2019	SAP	ADDED PLAY AREA LAYOUT DETAIL SHEET

CARRINGTON SQUARE - PARCEL 1  
 TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:  
 WAXHAW SOUTH STAR, LLC.  
 101 S. KINGS DRIVE, SUITE 200  
 CHARLOTTE, NC 28204

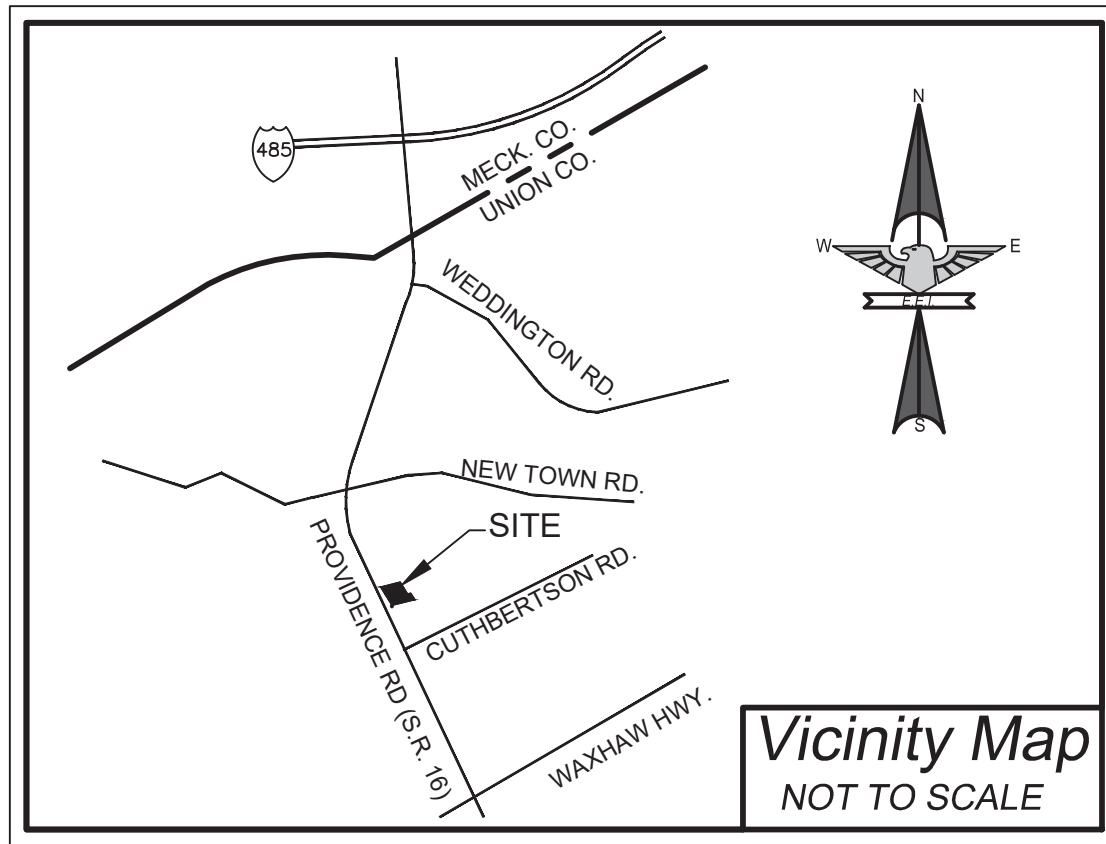
**OVERALL SITE PLAN**

DESIGNED BY	SAP	CHECKED BY	MCK
DRAWN BY	SAP	DATE	5-09-19
AS SHOWN		JOB NUMBER	6748



Sheet  
**C-2.0**





**Vicinity Map**  
NOT TO SCALE

**EROSION CONTROL NOTES:**

- ALL TRAPS AND BASINS SHALL BE INSPECTED DAILY (MONDAY THROUGH FRIDAY) FOR EXCESSIVE SILT. CONTRACTOR SHALL REMOVE EXCESSIVE SILT FROM THE TRAPS IMMEDIATELY BEFORE CONSTRUCTION COMMENCES ON EACH WORKING DAY. AS NECESSARY, MAINTENANCE SHALL CONTINUE THROUGH COMPLETION OF THE PROJECT.
- THE CONTRACTOR ENGAGED IN OR CONDUCTING THE LAND-DISTURBING ACTIVITY SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING THE DEVELOPMENT OF THIS SITE AS REQUIRED BY THE APPROVED PLAN. OPERATIONS AND MAINTENANCE CONDITIONS ARE INCLUDED IN THE PLAN OUTLINING HOW THE CONTRACTOR SHALL PROVIDE FOR OPERATIONS AND MAINTENANCE DURING CONSTRUCTION. ALL PERIMETER CONTROLS ARE TO BE INSTALLED PRIOR TO SEDIMENTATION AND EROSION CONTROL INSPECTION AND ANY LAND DISTURBANCE.
- ALL PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE. WITHIN SEVEN CALENDAR DAYS FOLLOWING DISTURBANCE OR RE-DISTURBANCE, TEMPORARY STABILIZATION MEASURES SHALL BE COMPLETED ON ALL DISTURBED AREAS.
- AREAS AT FINAL GRADE SHALL RECEIVE PERMANENT STABILIZATION MEASURES WITHIN SEVEN CALENDAR DAYS OF REACHING FINAL GRADE.
- THE RESPONSIBILITY FOR MAINTAINING ALL PERMANENT EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES INCLUDING MEASURES IN EASEMENTS AND NCDDOT RIGHT OF WAY AFTER SITE LAND DISTURBING ACTIVITY SHALL BE THE PERSON OR ENTITY AS LISTED ON THE FINANCIAL RESPONSIBILITY FORM FOR THE PROJECT.
- ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION.
- RUNOFF FROM BUILDING PADS AND OTHER RELATIVELY LEVEL AREAS MUST BE DIVERTED BY USE OF A TEMPORARY DIVERSION DITCH AT THE TOP OF A FILL SLOPE TOWARDS EITHER A SLOPE DRAIN OR RIP-RAP LINED CHANNEL DOWN THE FILL SLOPE. THE SLOPE OR RIP-RAP LINED CHANNEL SHALL REMAIN IN PLACE UNTIL THE FILL SLOPE HAS BEEN ADEQUATELY STABILIZED WITH ESTABLISHED VEGETATION.
- SILT FENCE SHALL BE A MINIMUM OF 10 FT OFF THE PROPOSED TOE OF SLOPE TO PROVIDE SPACE FOR MAINTENANCE AND SEDIMENT STORAGE TO THE MAXIMUM EXTENT POSSIBLE.
- GRADED SLOPES AND FILLS SHALL BE PROTECTED WITH A ROLLED EROSION CONTROL PRODUCT MEETING REQUIREMENTS OF NCDDOT STANDARDS AND SPECIFICATIONS, SECTION 6.17, AND THE TOWN'S SEDIMENTATION AND EROSION CONTROL INSPECTOR. FOR ROLLED EROSION CONTROL PRODUCTS, IF COMPLETED OUTSIDE OPTIMAL GERMINATION SEASONS, WHEN UNFAVORABLE WEATHER CONDITIONS PREVENT ESTABLISHMENT OF VEGETATION GROUND COVER.
- ALL MUD AND OBJECTIONABLE MATERIAL WILL BE REMOVED FROM STREETS IMMEDIATELY PER THE TOWN OF WAXHAW EROSION CONTROL ORDINANCE.
- PERSON RESPONSIBLE FOR LAND DISTURBING ACTIVITY IS TO MAKE SURE THE APPROVED EROSION CONTROL PLAN IS FOLLOWED. SELF INSPECTION IS REQUIRED ONCE A WEEK AND AFTER EVERY 15' RAISE EVENT. SELF INSPECTION REPORTS ARE REQUIRED TO BE KEPT ON SITE AND AVAILABLE AT ALL TIMES TO THE TOWN'S SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- ONCE THE PROJECT IS COMPLETE, CONTACT SHOULD BE MADE WITH THE TOWN FOR CLOSEOUT. SUBMIT AN E-NOT ELECTRONICALLY AFTER CLOSEOUT CONFIRMATION FROM THE TOWN.
- AS REQUIRED BY THE NPDES GENERAL PERMIT NCGS10000, ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 1 HORIZONTAL TO 1 VERTICAL, (2:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND STABILIZATION TIMEFRAME EXEMPTIONS CAN BE FOUND IN THE NPDES GENERAL PERMIT NCGS10000 UNDER SECTION 2.9. GROUND STABILIZATION.
- NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL BY THE SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- CONTACT THE TOWN OF WAXHAW SEDIMENTATION AND EROSION CONTROL INSPECTOR, AT 704-943-2195, FOR A PRE-CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AND STRUCTURES ONLY AFTER SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF WAXHAW SEDIMENTATION AND EROSION CONTROL INSPECTOR.
- ALL EROSION CONTROL DESIGNS SHALL BE IN ACCORDANCE WITH THE TOWN OF WAXHAW ENGINEERING, STANDARDS AND PROCEDURES MANUAL, AND THE NCDDOT EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL, LATEST EDITION.
- FOR PHASED EROSION CONTROL PLANS, THE CONTRACTOR SHALL MEET WITH THE EROSION CONTROL SPECIALIST PRIOR TO COMMENCING EACH PHASE OF EROSION CONTROL MEASURES.
- SITE GRADING IS TO BE COVERED UNDER THE GENERAL STORMWATER PERMIT NCGS10000. ANY LAND DISTURBING ACTIVITY > 1 ACRE REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THIS GENERAL PERMIT UNDER THE NPDES. ANY NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT BY NCDDOT.
- CONTRACTOR IS TO KEEP STREET CLEAR OF MUD AND OTHER DEBRIS.
- THE PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF NORTH CAROLINA WHO PREPARED THE EROSION CONTROL PLAN IS RESPONSIBLE FOR IDENTIFICATION AND LOCATION OF ALL ENVIRONMENTAL WETLANDS, PERENNIAL AND INTERMITTENT STREAMS AND BUFFERS SHOWN ON THE PLANS.
- THE TOWN OF WAXHAW IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND ELEVATIONS, WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE TOWN OF WAXHAW, THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
- SILT SACKS WILL BE PLACED IN BASINS/INLETS ALONG ROADWAYS UPON INSTALLATION OF THEIR CORRESPONDING FACILITIES.
- THE FINANCIALLY RESPONSIBLE PARTY/AGENT OR THE LANDOWNER/AGENT OF A LAND DISTURBING ACTIVITY > ONE ACRE IS REQUIRED TO SELF-INSPECT THE PROJECT. A SELF INSPECTION, AS WELL AS DOCUMENTATION OF A PROJECT AFTER EACH PHASE OF THE PROJECT, IS REQUIRED.
- THE FOLLOWING WILL BE RESPONSIBLE FOR THE MAINTENANCE OF PRE-POST CONSTRUCTION EROSION CONTROL MEASURES:

ATTENTION: RICK WHITLEY  
COLONY BUILDERS, INC.  
3089 SENNA DRIVE  
MATHEWS, NC 28105  
704-362-5005  
RICK@COLONYBUILDERS.COM

GROUND STABILIZATION		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1.	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

\*EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE. (SECTION 18.03(B))

NOTE:  
SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITHIN 7 DAYS. SLOPES 3:1 OR FLATTER STABILIZATION SHALL BE PROVIDED WITHIN 14 DAYS.

**CONSTRUCTION NOTES & SEQUENCE:**

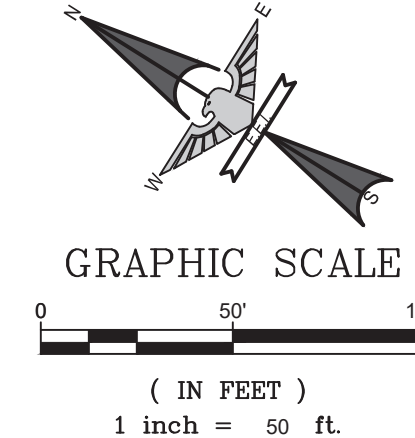
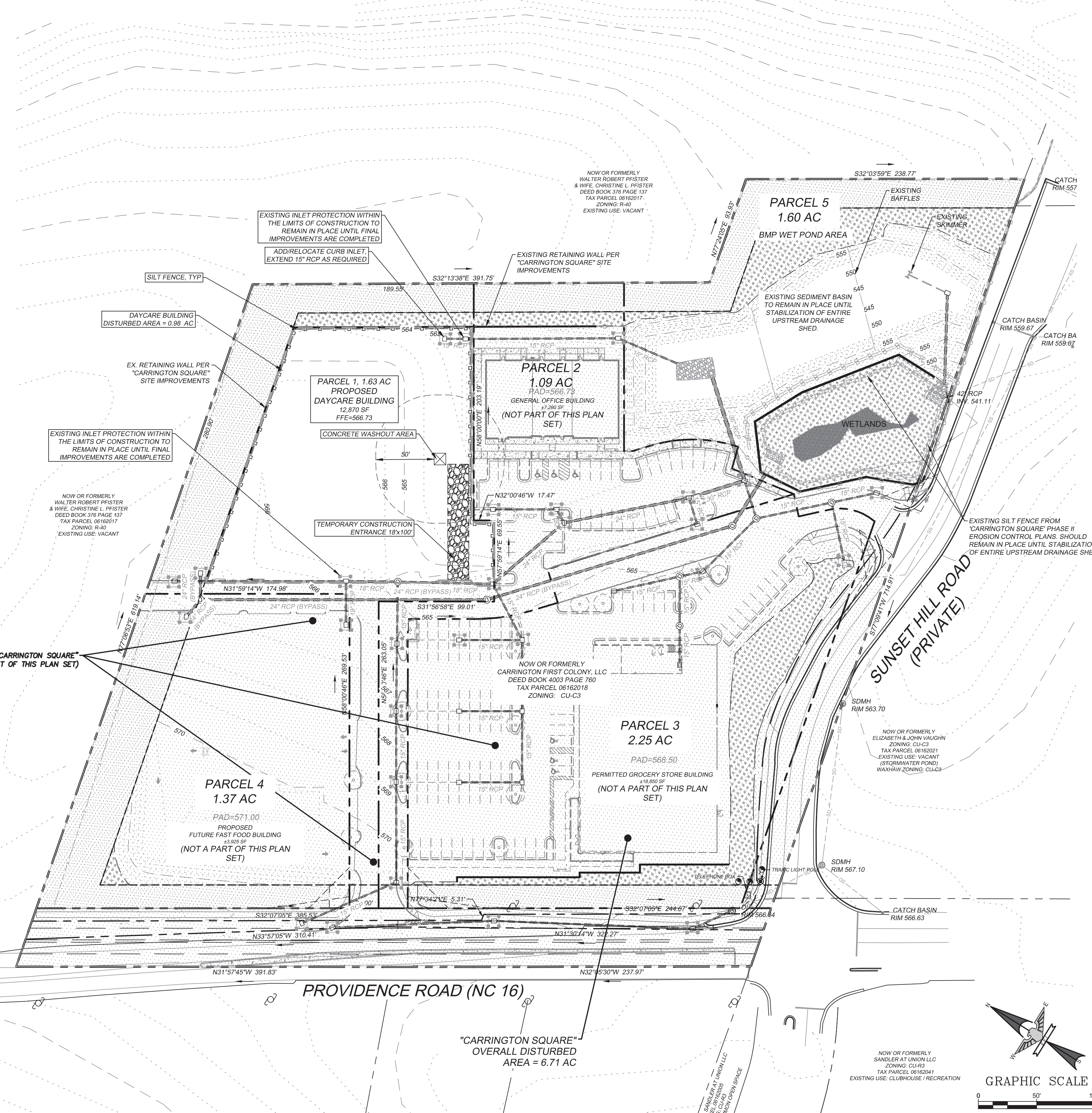
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

- SITE CONSTRUCTION AND GRADING CAN NOT BE STARTED ON THIS SITE UNTIL ALL STORMWATER INFRASTRUCTURE AND THE PHASE 2 SEDIMENT BASIN SHOWN ON THE CONSTRUCTION DOCUMENTS FOR CARRINGTON SQUARE HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY THE TOWN OF WAXHAW.
- CONTRACTOR TO SETUP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF WAXHAW EROSION CONTROL INSPECTOR AT LEAST 48 HOURS PRIOR TO WORK COMMENCEMENT TO DISCUSS EROSION CONTROL MEASURES AND TO INSPECT EROSION CONTROL CURRENTLY IN PLACE. NO WORK MAY BEGIN UNTIL THIS MEETING HAS TAKEN PLACE AND INSPECTION HAS BEEN PASSED. THE FINANCIALLY RESPONSIBLE PERSON IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION AND SEDIMENTATION CONTROLS. ALL STORMWATER FACILITIES SHOWN AS INSTALLED BY OTHERS, INCLUDING ALL DOWNSTREAM, MUST BE INSTALLED PRIOR TO LAND DISTURBANCE.
- INSTALL SILT FENCE & ASSOCIATED MEASURES PER PLAN TO ESTABLISH PERIMETER PROTECTION. EXISTING TREE PROTECTION MEASURES SHALL REMAIN IN PLACE FOR THE ENTIRE DURATION OF CONSTRUCTION. INSPECT EXISTING INLET PROTECTION LEFT IN PLACE FROM PHASE 2 OF THE CARRINGTON SQUARE EROSION CONTROL MEASURES. REPLACE WEATHERED INLET PROTECTION AS NECESSARY. AN EROSION CONTROL INSPECTION IS REQUIRED.
- AFTER SILT FENCE & ASSOCIATED MEASURES HAVE BEEN ESTABLISHED AND APPROVED BY THE TOWN OF WAXHAW EROSION CONTROL INSPECTOR, BEGIN GRADING OPERATIONS TO ESTABLISH PAVEMENT SUBGRADE AND FINAL PAD ELEVATION WITH APPROVED STRUCTURAL FILL MATERIAL. AS SITE IS BROUGHT TO FINAL GRADING, INSURE SOIL STABILIZATION MEASURES AND SEEDING SCHEDULE ARE FOLLOWED AS PER THE PLANS.
- UPON NEAR COMPLETION OF GRADING OPERATIONS, INSTALL PROPOSED UTILITIES (WATER SERVICE, SEWER LATERAL, DRY UTILITIES, ETC.).
- ONCE INSTALLATION OF EROSION CONTROL MEASURES ARE COMPLETE, CONTRACTOR IS TO CONTACT TOWN OF WAXHAW EROSION CONTROL INSPECTOR FOR AN INSPECTION.
- CONTRACTOR TO COORDINATE INSPECTION AND APPROVAL BY THE TOWN OF WAXHAW EROSION CONTROL INSPECTOR.

NOTE:  
ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN A SITE REGULATED UNDER MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.

**LEGEND**

- EXISTING BOUNDARY LINE
- EXISTING CONTOUR
- LIMITS OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SILT FENCE
- EXISTING SILT FENCE
- EXISTING INLET PROTECTION
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING RETAINING WALL



**ENGINEERING**

FIRM LICENSE # C-0873  
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Alpharetta, GA 30009  
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(704) 882-4222  
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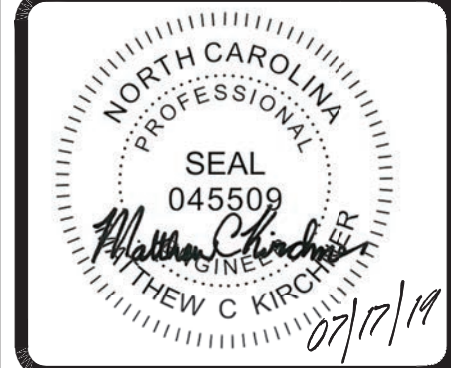
NO.	DATE	BY	ISSUE
1	06-19-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
2	07-17-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS

**CARRINGTON SQUARE - PARCEL 1**  
TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:  
**WAXHAW SOUTH STAR, LLC.**  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

**EROSION CONTROL PLAN**

DESIGNED BY	AS-SHOWN
DRAWN BY	SAP
CHECKED BY	MCK
DATE	5-09-19
JOB NUMBER	6748

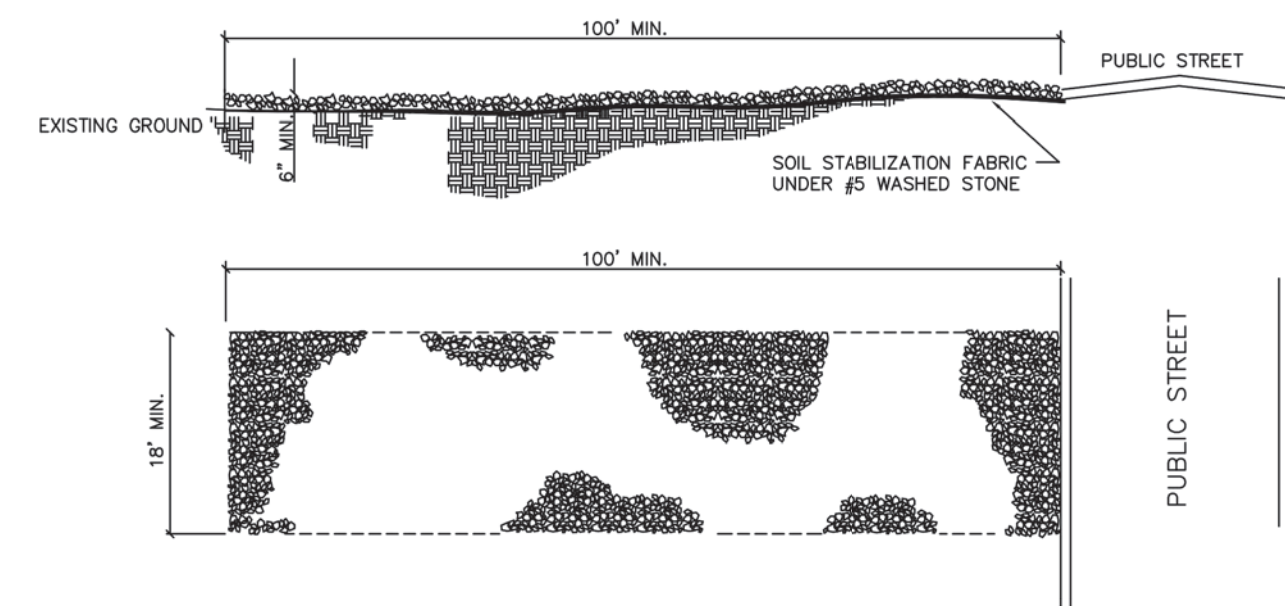


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**NOTES:**

1. A STABILIZED ENTRANCE PAD OF #5 WASHED STONE AND RAILROAD BALLAST SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. ANY AGGREGATE TRACKED INTO THE ROADWAY MUST BE SWEEPED BACK ONSITE ON A NIGHTLY BASIS.
5. WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN SEE STD. NO. 515.1
6. THE TOWN MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY (STD. 108.1 & 109.1) TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE.

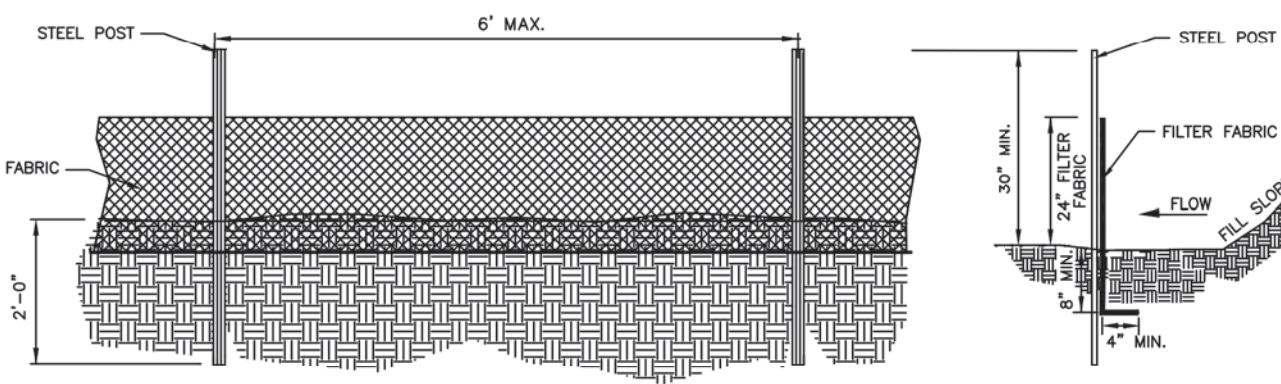


NOT TO SCALE

TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS

STABILIZED CONSTRUCTION ENTRANCE

STD. NO. 514.1  
REV.



**GENERAL NOTES:**

1. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
2. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
3. TURN SILT FENCE UP SLOPE AT ENDS.
4. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
5. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
6. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
7. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

**MAINTENANCE NOTES:**

1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

NOT TO SCALE

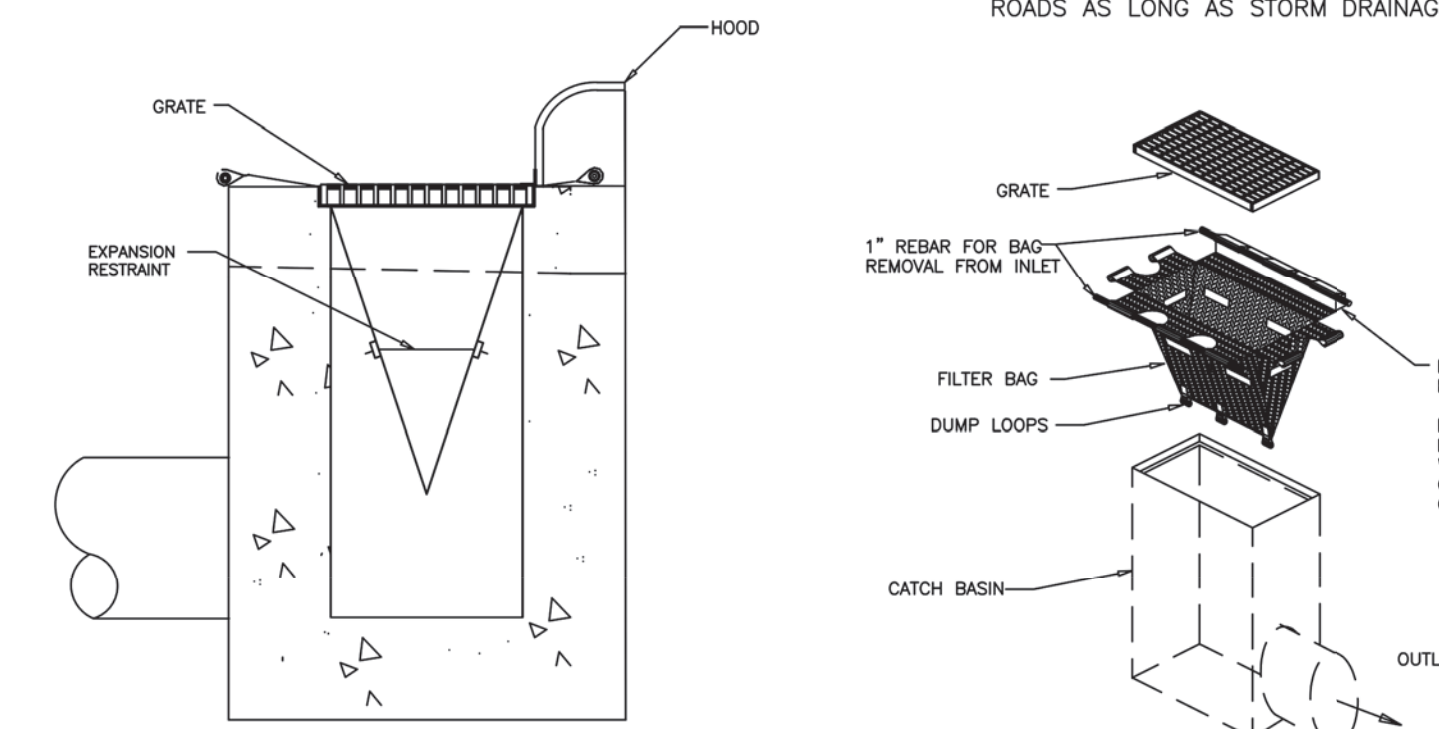
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS

TEMPORARY SILT FENCE

STD. NO. 507.1  
REV.

**NOTES:**

1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
2. FILTER TYPES SHALL BE APPROVED BY THE TOWN INSPECTOR PRIOR TO INSTALLATION.
3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE AND/OR CLOSE OUT OF GRADING PERMIT.
5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
6. FILTER BAGS MAY BE INSTALLED IN EXISTING TOWN OR NCDOT ROADS AS LONG AS STORM DRAINAGE IS NOT IMPEDED.



SECTION

INSTALLATION

NOT TO SCALE

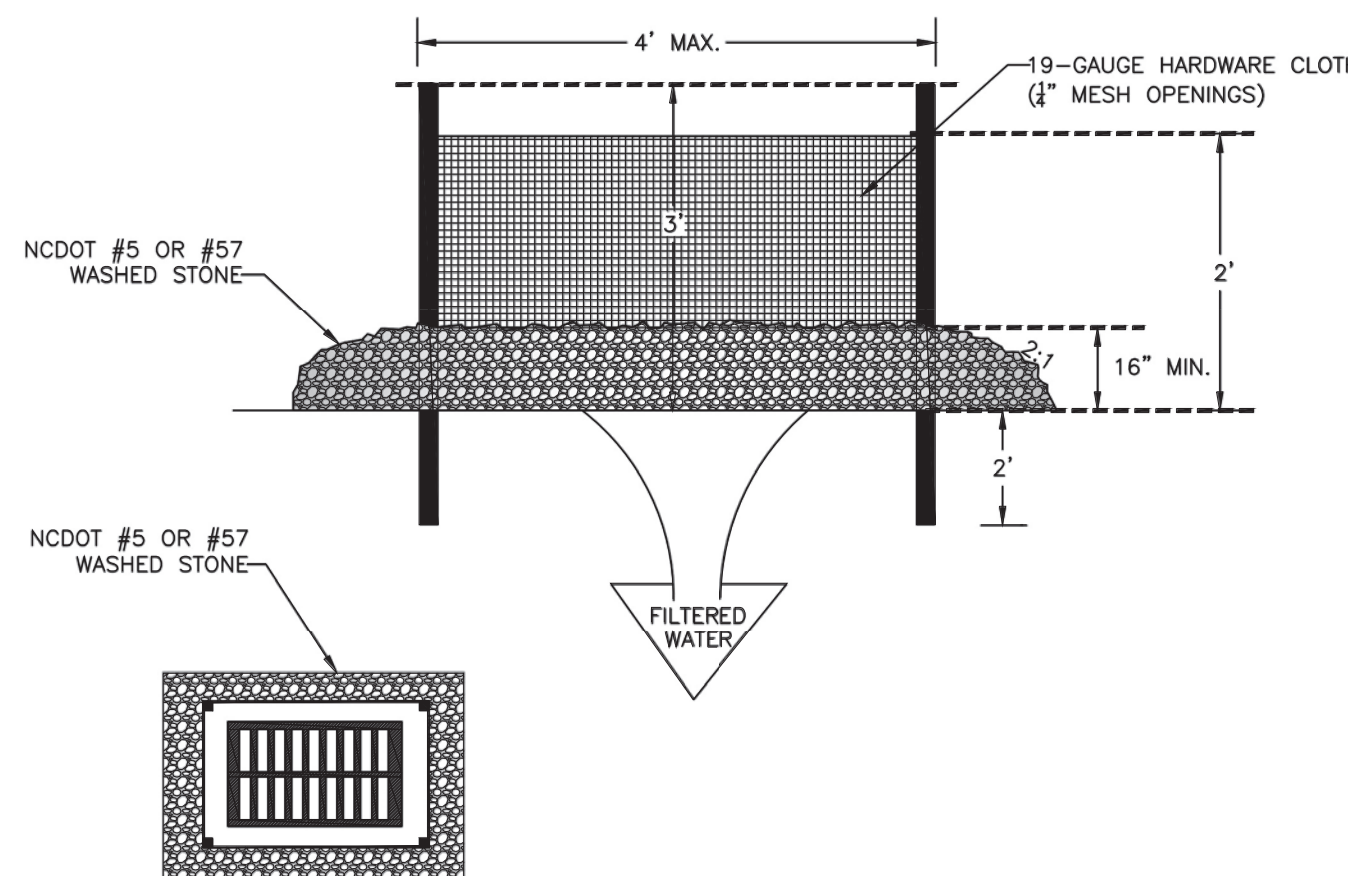
TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS

CATCH BASIN INLET PROTECTION

STD. NO. 519.1  
REV.

**GENERAL NOTES:**

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

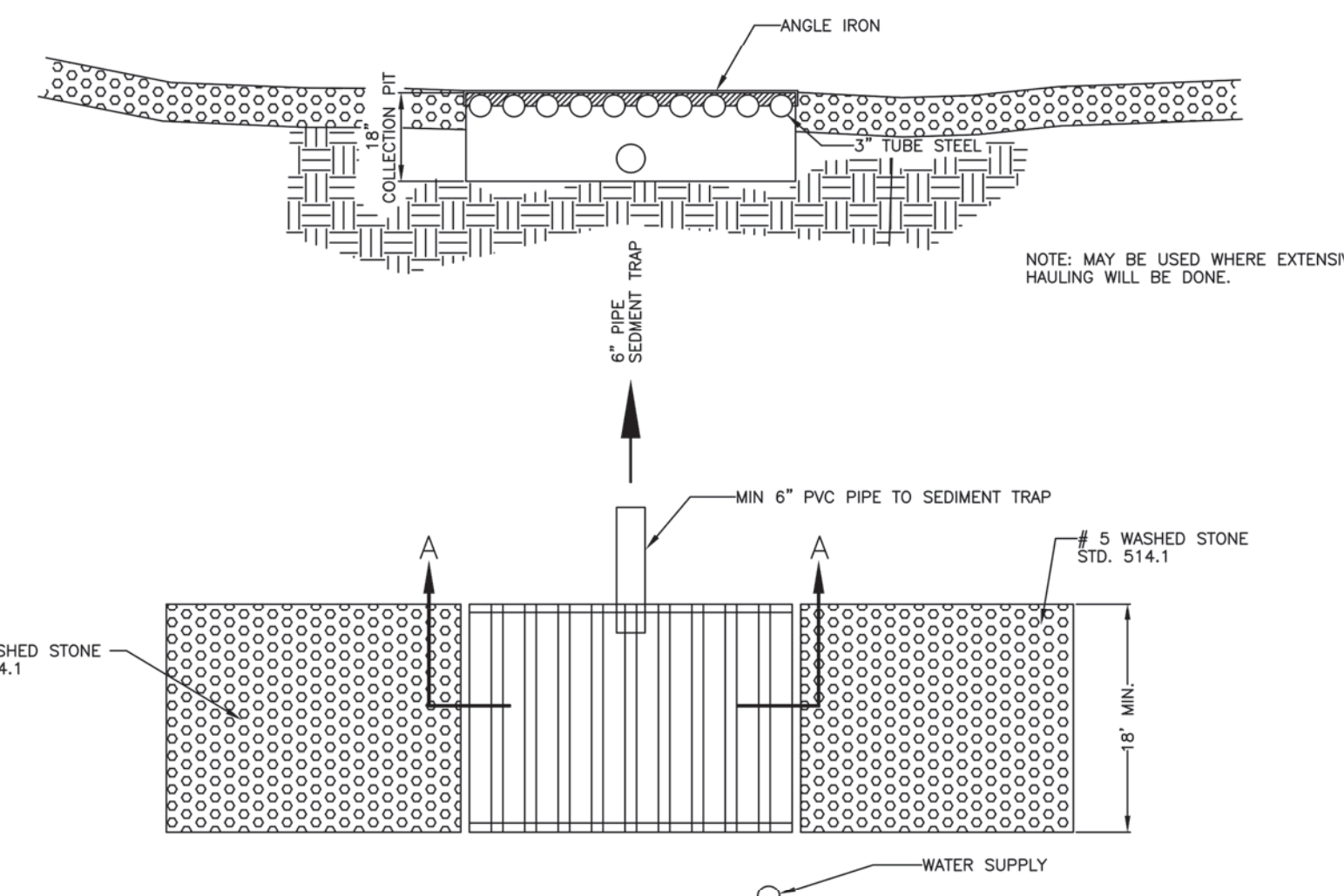


NOT TO SCALE

TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS

HARDWARE CLOTH AND GRAVEL  
INLET PROTECTION

STD. NO. 512.1  
REV.



NOT TO SCALE

TOWN OF WAXHAW  
LAND DEVELOPMENT STANDARDS

CONSTRUCTION ENTRANCE  
TIRE WASH

STD. NO. 515.1  
REV.

**ENGINEERING**

FIRM LICENSE # C-0873  
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www.eaglinonline.net

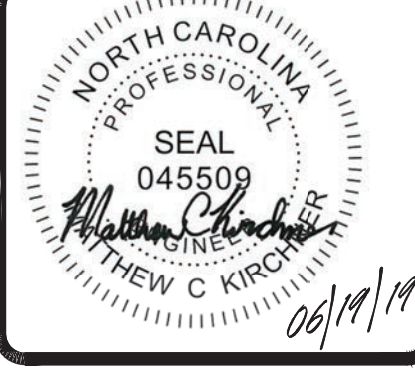
NO.	1
DATE	06-19-2019
BY	SAP
ISSUE	ADDRESSED TOWN OF WAXHAW COMMENTS

CARRINGTON SQUARE - PARCEL 1  
TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:

WAXHAW SOUTH STAR, LLC.  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

DESIGNED BY	SAP	CHECKED BY	MCK
DRAWN BY	SAP	JOB NUMBER	6748
DATE	5-09-19		
Scale	AS SHOWN		





CONSTRUCTION NOTES:

I. MISCELLANEOUS
A. CURRENT EDITIONS OF THE NORTH CAROLINA DOT ROADWAY STANDARD DRAWINGS AND SPECIFICATIONS MANUAL SHALL BE CONSIDERED PART OF THESE PLANS.

II. SAFETY

A. DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS SHALL BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.

III. SITE PLAN AND COORDINATE GEOMETRY

A. PRELIMINARY ARCHITECTURAL BUILDING AND PLUMBING PLANS HAVE NOT BEEN RECEIVED BY EEL.

IV. CLEARING/DEMOLITION

A. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.

V. PAVING AND GRADING

A. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY.

VI. DRAINAGE

A. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS UNLESS OTHERWISE NOTED.

VII. EROSION/TURBIDITY CONTROL

A. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.

NPDES NOTE:

REGULATIONS ADOPTED BY THE US ENVIRONMENTAL PROTECTION AGENCY (US EPA) AND BY THE NORTH CAROLINA DIVISION OF WATER QUALITY REQUIRE THAT A NATURAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT BE OBTAINED FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES WITH LAND DISTURBANCE OF 1 ACRE OR MORE.

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL STABILIZE EXPOSED GROUND AS SOON AS INDIVIDUAL AREAS ARE COMPLETED.

PERMANENT SEEDING REQUIREMENTS PER NCDQE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10A

SEEDING MIXTURE SPECIES RATE (LB/ACRE) ANNUAL LESPEDEZA (KOB) IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS) 50

TABLE 6.10B

SEEDING MIXTURE SPECIES RATE (LB/ACRE) GERMAN MILLET 40

TABLE 6.10C

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10D

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10E

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10F

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10G

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10C

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10D

SEEDING MIXTURE SPECIES RATE (LB/ACRE) ANNUAL LESPEDEZA (KOB) IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS) 50

TABLE 6.10E

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10F

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10G

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10H

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10I

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10J

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10K

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10L

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

IX. SANITARY SEWER AND WATER DISTRIBUTION

A. SANITARY SEWERS AND STORM SEWERS SHOULD ALWAYS CROSS UNDER WATER MAINS. SANITARY SEWERS AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.

TABLE 6.10A

SEEDING MIXTURE SPECIES RATE (LB/ACRE) ANNUAL LESPEDEZA (KOB) IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS) 50

TABLE 6.10B

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10C

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10D

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10E

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10F

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10G

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10H

SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120

TABLE 6.10I

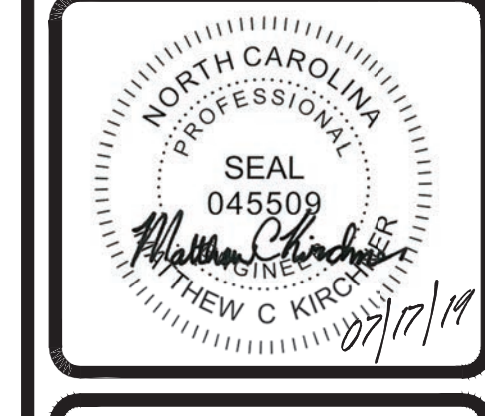
SEEDING MIXTURE SPECIES RATE (LB/ACRE) RYE (GRAIN) 120



Table with columns: NO., DATE, BY, ISSUE. Contains revision history for the document.

CARRINGTON SQUARE - PARCEL 1
TOWN OF WAXHAW, UNION COUNTY, NC
FOR THE BENEFIT OF:
WAXHAW SOUTH STAR, LLC.
101 S. KINGS DRIVE, SUITE 200
CHARLOTTE, NC 28204

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, DATE. Lists project personnel and dates.





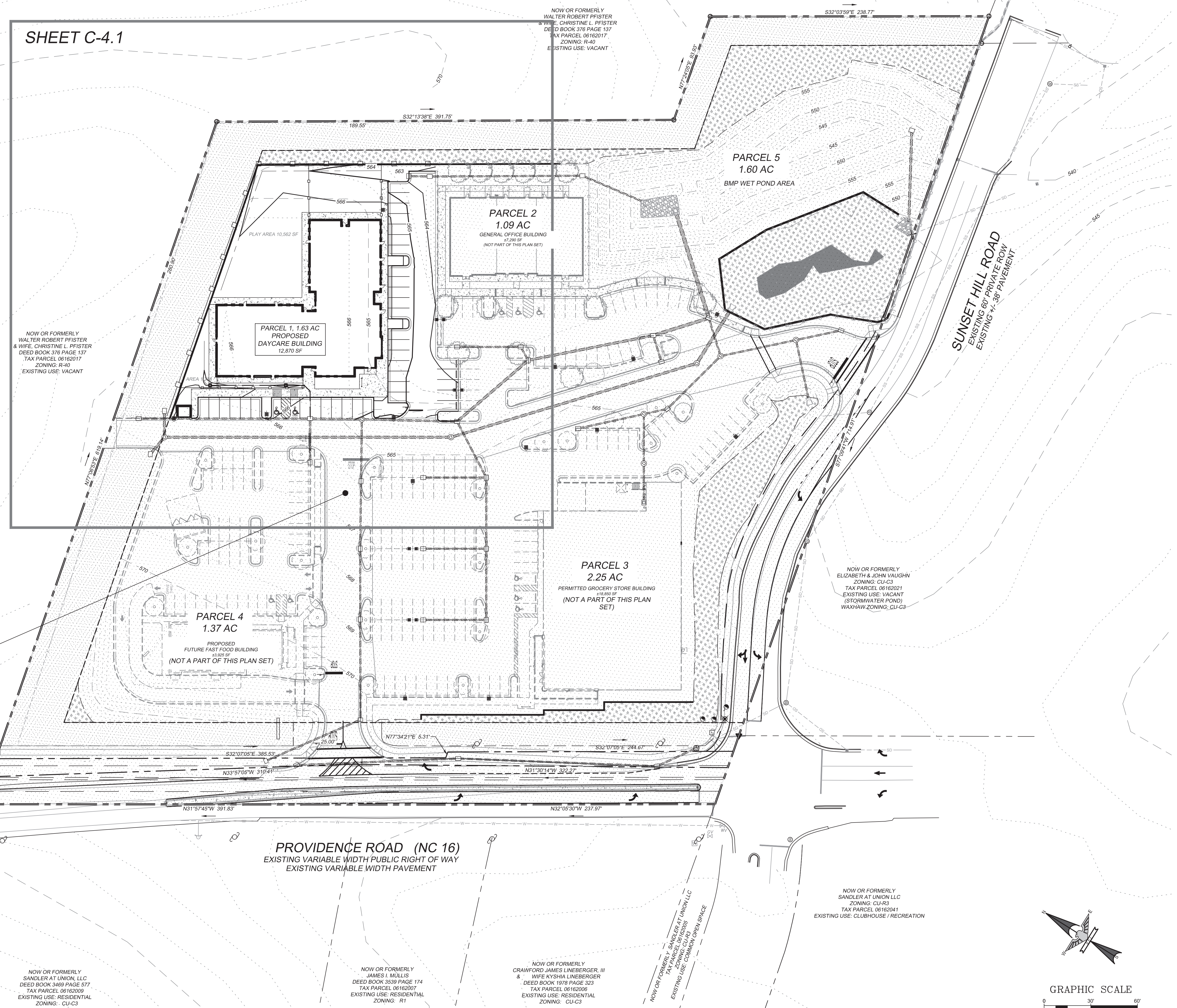
- GENERAL NOTES:
- CONSTRUCTION FOR OFFICE BUILDING WILL CONSIST OF THE FOLLOWING AS SHOWN ON THESE CONSTRUCTION DOCUMENTS:
    - EROSION CONTROL MEASURES AS SHOWN ON SHEET C-3.0
    - ALL WATER AND SEWER FACILITIES WITHIN THE LIMITS OF CONSTRUCTION AS SHOWN ON SHEET C-5.0
  - THE OVERALL SITE IMPROVEMENTS AND INFRASTRUCTURE SHALL BE IN PLACE PER THE "CARRINGTON SQUARE" CONSTRUCTION DOCUMENTS. CONTRACTOR TO VERIFY THAT ALL INFRASTRUCTURE IS FULLY FUNCTIONAL AND ALL OUTFALL PROVISIONS ARE IN PLACE PRIOR TO TIE-IN TO EXISTING UTILITY SYSTEMS.
  - PARCEL 2 WILL BE ROUGH AND FINE GRADED AS SHOWN ON THESE GRADING PLANS. FUTURE DEVELOPMENT OF REMAINING PARCELS WILL REQUIRE A SEPARATE PERMIT.
  - THE ANTICIPATED CONSTRUCTION SEQUENCE IS THE FOLLOWING:
    - INSTALLATION OF EROSION CONTROL MEASURES (SEE SHEETS C-3.0 FOR FURTHER EROSION CONTROL SEQUENCING INFORMATION)
    - UPON STABILIZATION OF EROSION CONTROL MEASURES, GRADING OPERATIONS WILL TAKE PLACE
    - UPON NEAR COMPLETION OF GRADING OPERATIONS, ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED
    - BUILDING SLAB SHALL BE CONSTRUCTED
    - FINAL PAVEMENT INSTALLATION
  - CONSTRUCTION ANTICIPATED TO COMMENCE WITHIN 30 DAYS OF PLAN APPROVAL. CONSTRUCTION DURATION ANTICIPATED TO BE FROM JULY 2019 TO JULY 2020.
  - ACCESSIBLE ROUTES SHALL NOT EXCEED A CROSS SLOPE OF 2% AND LONGITUDINAL SLOPE OF 5%. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THESE SLOPE MAXIMUMS ARE ADHERED TO DURING CONSTRUCTION.
  - PER THE PHASE 2 EROSION CONTROL FOR "CARRINGTON SQUARE", ALL CATCH BASIN HOODS SHALL NOT BE INSTALLED TO ALLOW POSITIVE DRAINAGE INTO THE CATCH BASIN DURING CONSTRUCTION. ONLY CATCH BASINS SHOWN WITHIN THE PROPOSED CURB AND GUTTER, AND PAVEMENT, SHALL HAVE THEIR HOODS INSTALLED.
  - SITE CONSTRUCTION AND GRADING CAN NOT BE STARTED ON THIS SITE UNTIL ALL STORMWATER INFRASTRUCTURE AND THE PHASE 2 SEDIMENT BASIN SHOWN ON THE CONSTRUCTION DOCUMENTS FOR CARRINGTON SQUARE HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY THE TOWN OF WAXHAW.

SITE IMPROVEMENTS PER "CARRINGTON SQUARE" CONSTRUCTION DOCUMENTS (NOT A PART OF THIS PLAN SET)

- LEGEND**
- EXISTING BOUNDARY LINE
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING STORM DRAIN (ONSITE)
  - EXISTING STORM DRAIN (OFFSITE)
  - EXISTING RETAINING WALL
  - PROPOSED CURB AND GUTTER
  - PROPOSED CURB AND GUTTER (BY OTHERS)
  - EASEMENT LINE
  - PROPOSED FLOW LINE
  - PROPOSED FENCELINE
  - PROPOSED TREE
  - PROPOSED PARKING LOT LIGHT
  - UNDISTURBED BUFFER (NOT TO BE DEVELOPED)
  - TREE SAVE AREA (NOT TO BE DEVELOPED)
  - PROPOSED CONCRETE SIDEWALK

EXISTING IMPROVEMENTS OF OVERALL SITE GRADING/EROSION CONTROL PERMIT FOR "CARRINGTON SQUARE" (NOT A PART OF THIS PLAN SET)

**SHEET C-4.1**



NOW OR FORMERLY SANDLER AT UNION, LLC DEED BOOK 3468 PAGE 577 TAX PARCEL 06162009 EXISTING USE: RESIDENTIAL ZONING: CU-C3

NOW OR FORMERLY JAMES I. MULLIS DEED BOOK 3539 PAGE 174 TAX PARCEL 06162007 EXISTING USE: RESIDENTIAL ZONING: R1

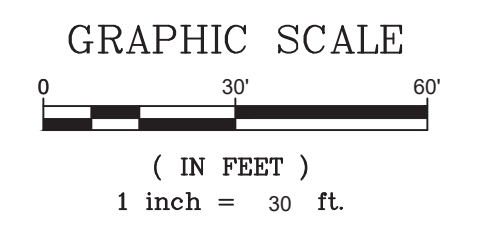
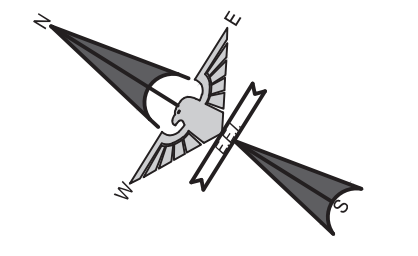
NOW OR FORMERLY CRAWFORD JAMES LINEBERGER, III & WIFE KYSHIA LINEBERGER DEED BOOK 1978 PAGE 323 TAX PARCEL 06162006 EXISTING USE: RESIDENTIAL ZONING: CU-C3

NOW OR FORMERLY SANDLER AT UNION, LLC DEED BOOK 3468 PAGE 577 TAX PARCEL 06162009 EXISTING USE: COMMON OPEN SPACE

NOW OR FORMERLY SANDLER AT UNION, LLC DEED BOOK 3468 PAGE 577 TAX PARCEL 06162009 EXISTING USE: CLUBHOUSE / RECREATION

NOW OR FORMERLY WALTER ROBERT PFISTER & WIFE CHRISTINE L. PFISTER DEED BOOK 376 PAGE 137 TAX PARCEL 06162017 ZONING: R-40 EXISTING USE: VACANT

NOW OR FORMERLY ELIZABETH & JOHN VAUGHN ZONING: CU-C3 TAX PARCEL 06162021 EXISTING USE: VACANT (STORMWATER POND) WAXHAW ZONING: CU-C3



**ENGINEERING**

FIRM LICENSE # C-0873  
P.O. BOX 551  
Alpharetta, GA 30009  
Indian Trail, NC 28079  
(704) 882-4222  
www.engineonline.net

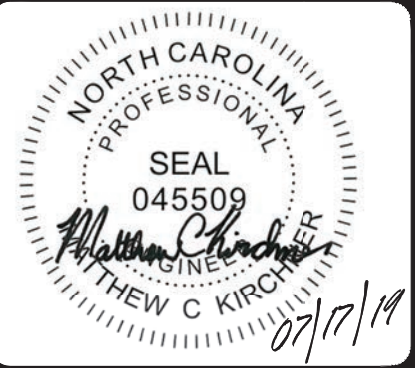
NO.	DATE	BY	ISSUE
1	06-19-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
2	07-17-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS

CARRINGTON SQUARE - PARCEL 1  
TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:  
WAXHAW SOUTH STAR, LLC.  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

OVERALL GRADING PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	JOB NUMBER
SAP	SAP	MCK	5-09-19	6748

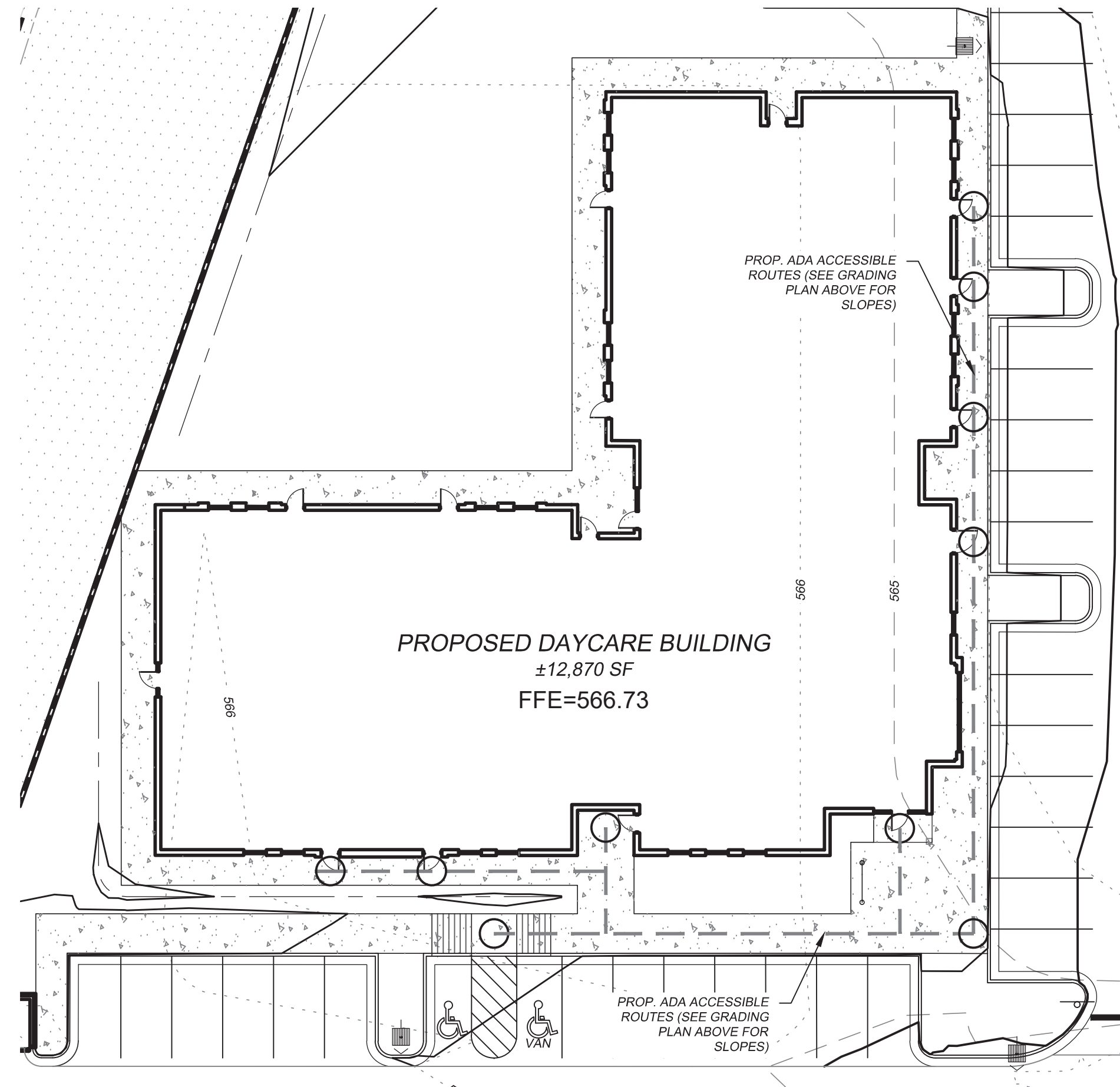
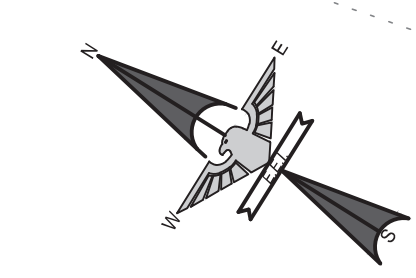


Sheet  
C-4.0

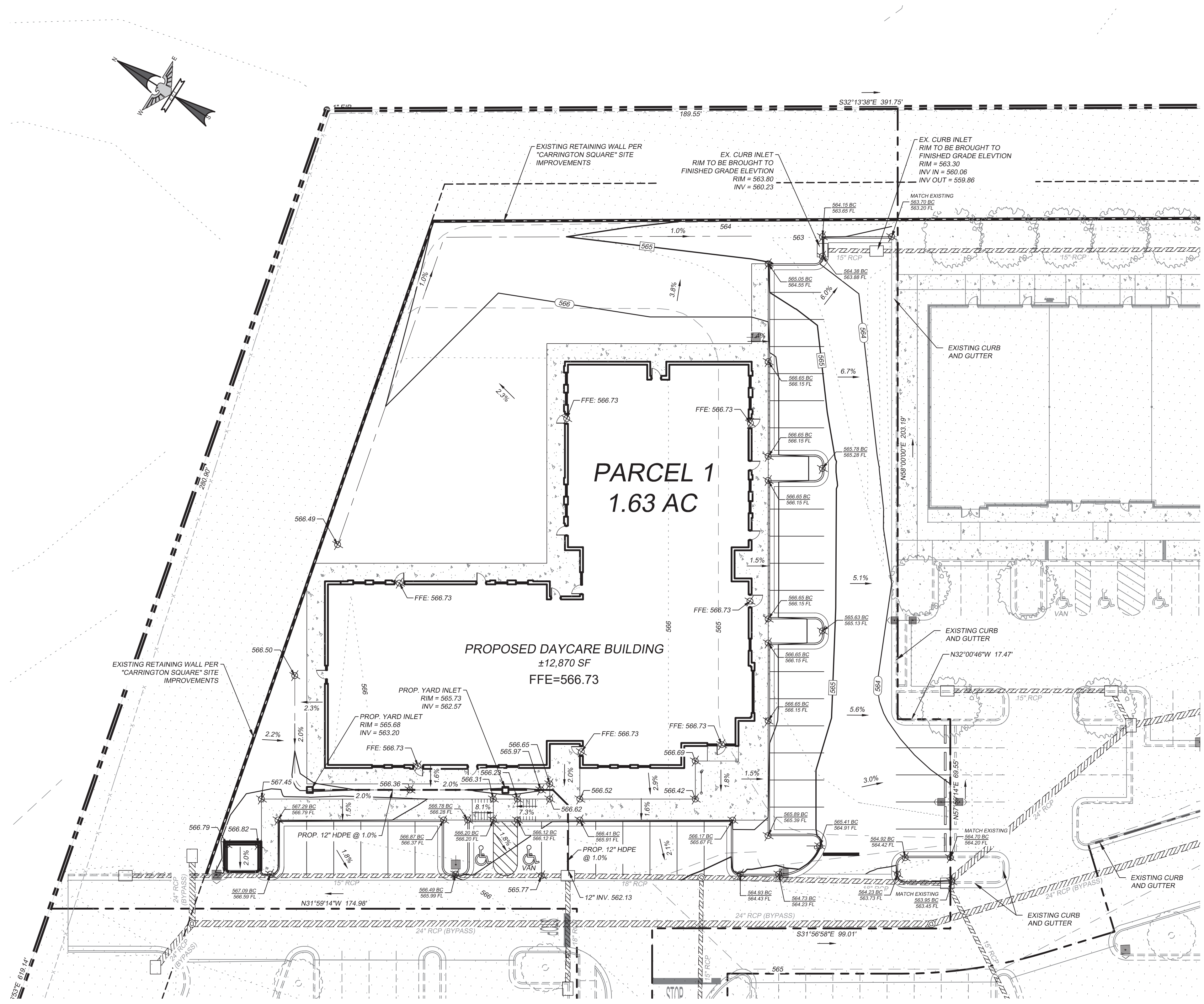


**GRADING NOTES**

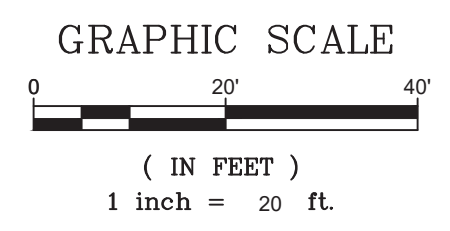
1. THE EXISTING STORM DRAIN PIPES AND CATCH BASINS SHOWN HAVE BEEN APPROVED AS PART OF THE "CARRINGTON SQUARE" CONSTRUCTIONS DRAWINGS.
2. ALL EXISTING STORM DRAIN PIPES AND INLETS SHOWN WITHIN THE LIMITS OF CONSTRUCTION ARE NOT A PART OF THE PLANS SET. THE EXISTING CATCH BASINS HAVE BEEN PREVIOUSLY INSTALLED WITHOUT HOODS. CONTRACTOR SHALL INSTALL THE CATCHBASIN HOODS AND ADJUST ALL RIMS TO THE FLOWLINE ELEVATION NOTED ON THIS GRADING PLAN.



PROP. ADA ACCESSIBLE ROUTES DETAIL  
SCALE: 1" = 20'



- SITE IMPROVEMENTS PER "CARRINGTON SQUARE" CONSTRUCTION DOCUMENTS (NOT A PART OF THIS PLAN SET)
- LEGEND**
- EXISTING BOUNDARY LINE
  - - - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING STORM DRAIN
  - EXISTING RETAINING WALL
  - PROPOSED CURB AND GUTTER
  - EASEMENT LINE
  - PROPOSED FLOW LINE



**ENGINEERING**

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NO.	DATE	BY	ISSUE
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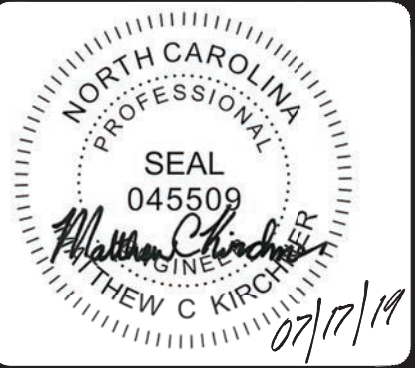
CARRINGTON SQUARE - PARCEL 1  
TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:  
WAXHAW SOUTH STAR, LLC.  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

**FINISH GRADING PLAN**

DESIGNED BY	DRAWN BY	CHECKED BY
SAP	SAP	MCK

DATE: 5-09-19  
JOB NUMBER: 6748



Sheet  
C-4.1

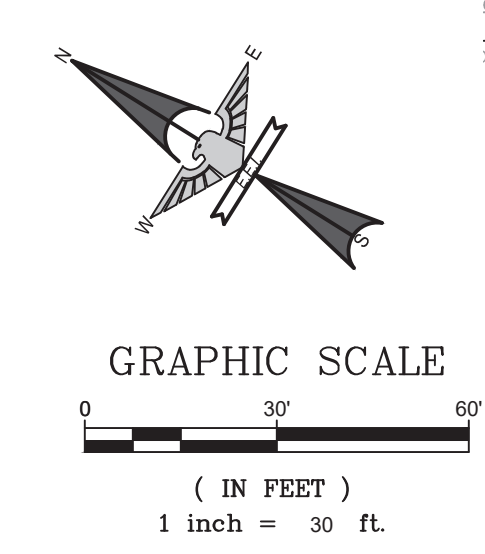
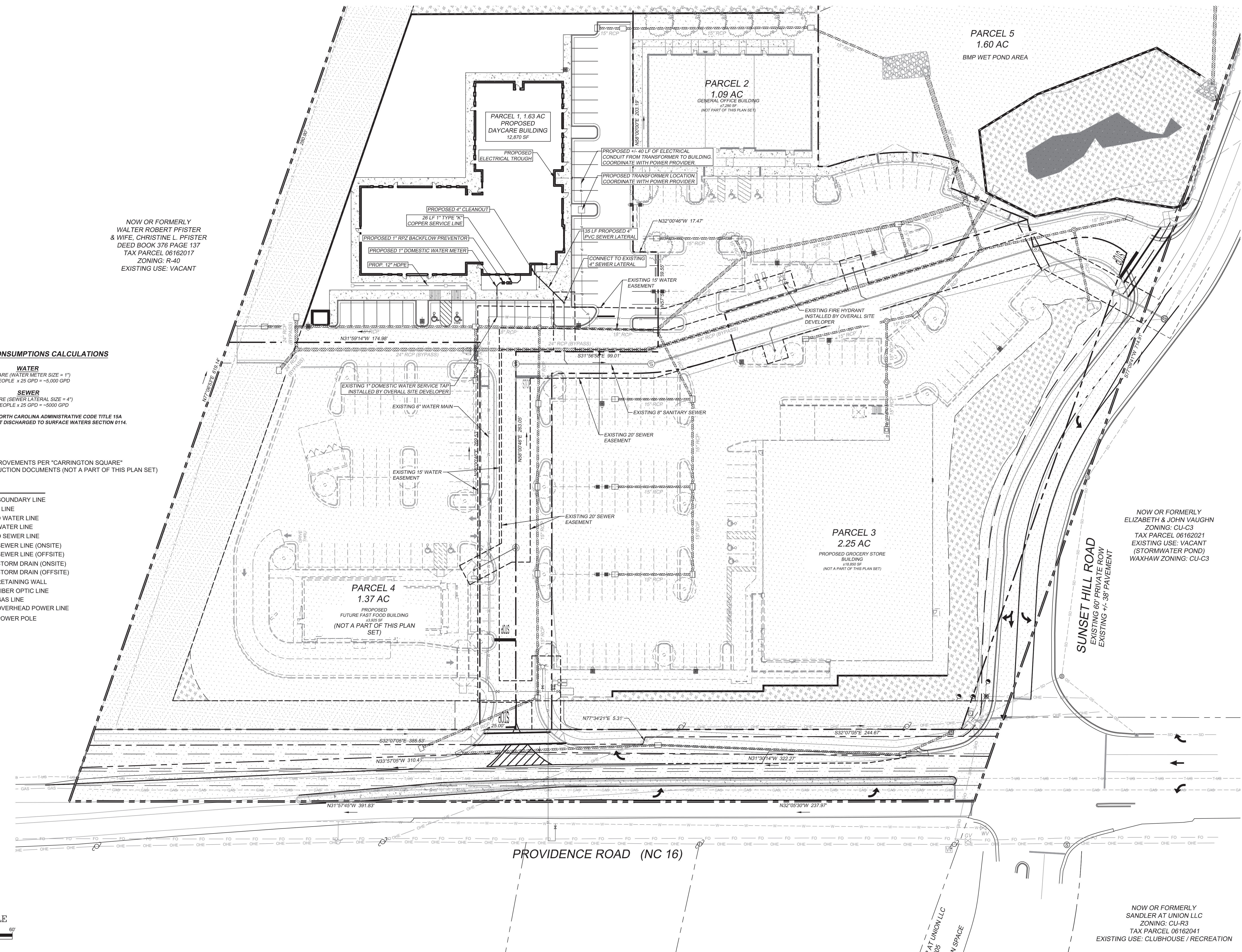
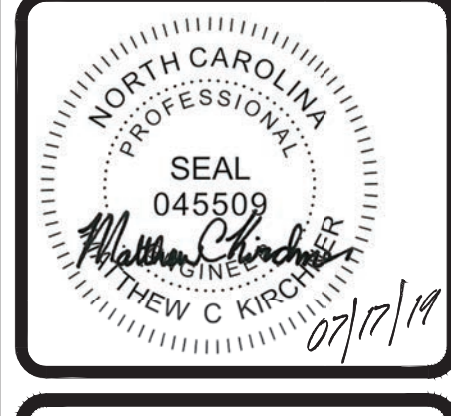


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2	07-17-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS

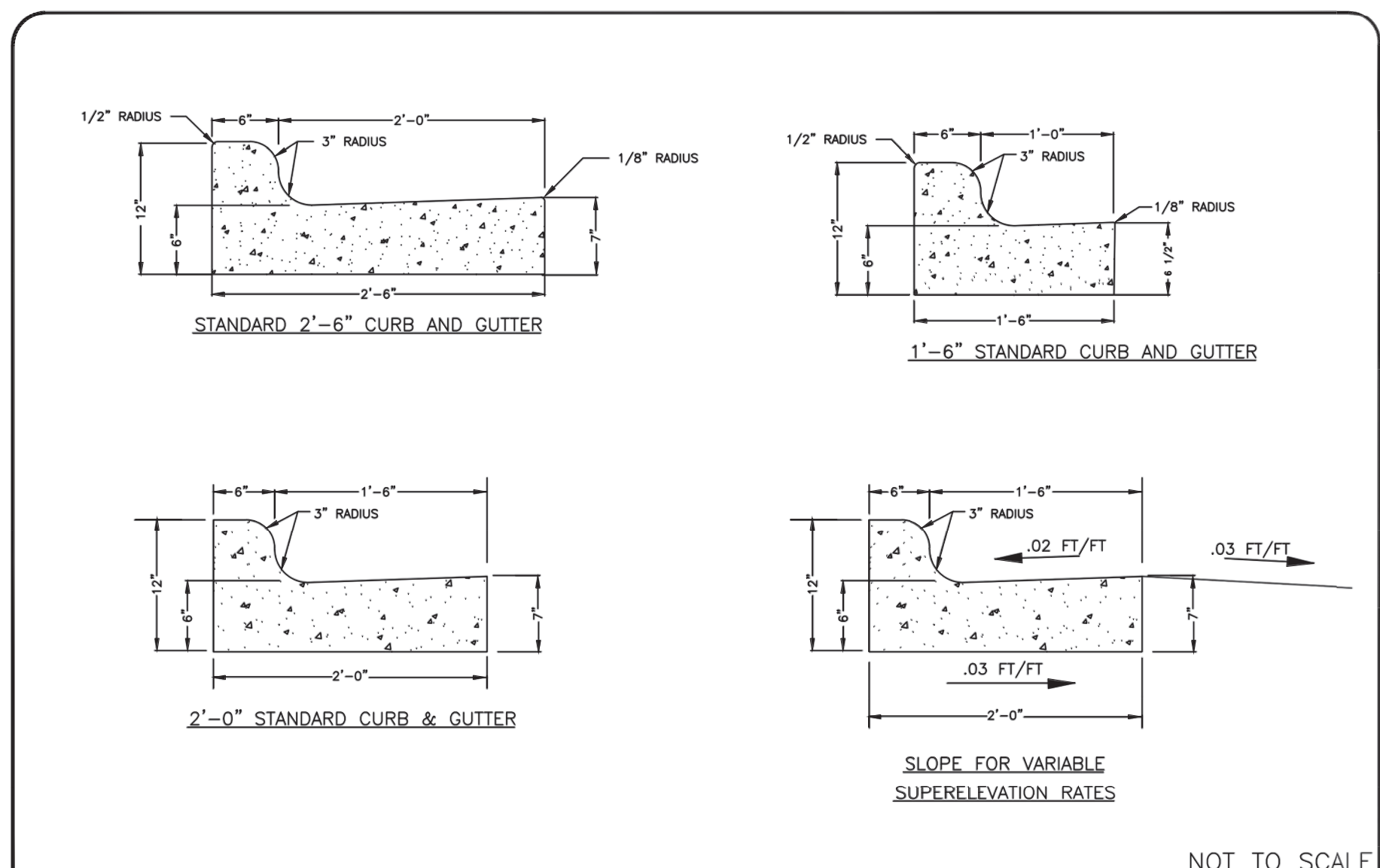
**CARRINGTON SQUARE - PARCEL 1**  
 TOWN OF WAXHAW, UNION COUNTY, NC  
 FOR THE BENEFIT OF:  
**WAXHAW SOUTH STAR, LLC.**  
 101 S. KINGS DRIVE, SUITE 200  
 CHARLOTTE, NC 28204

**OVERALL UTILITY PLAN**

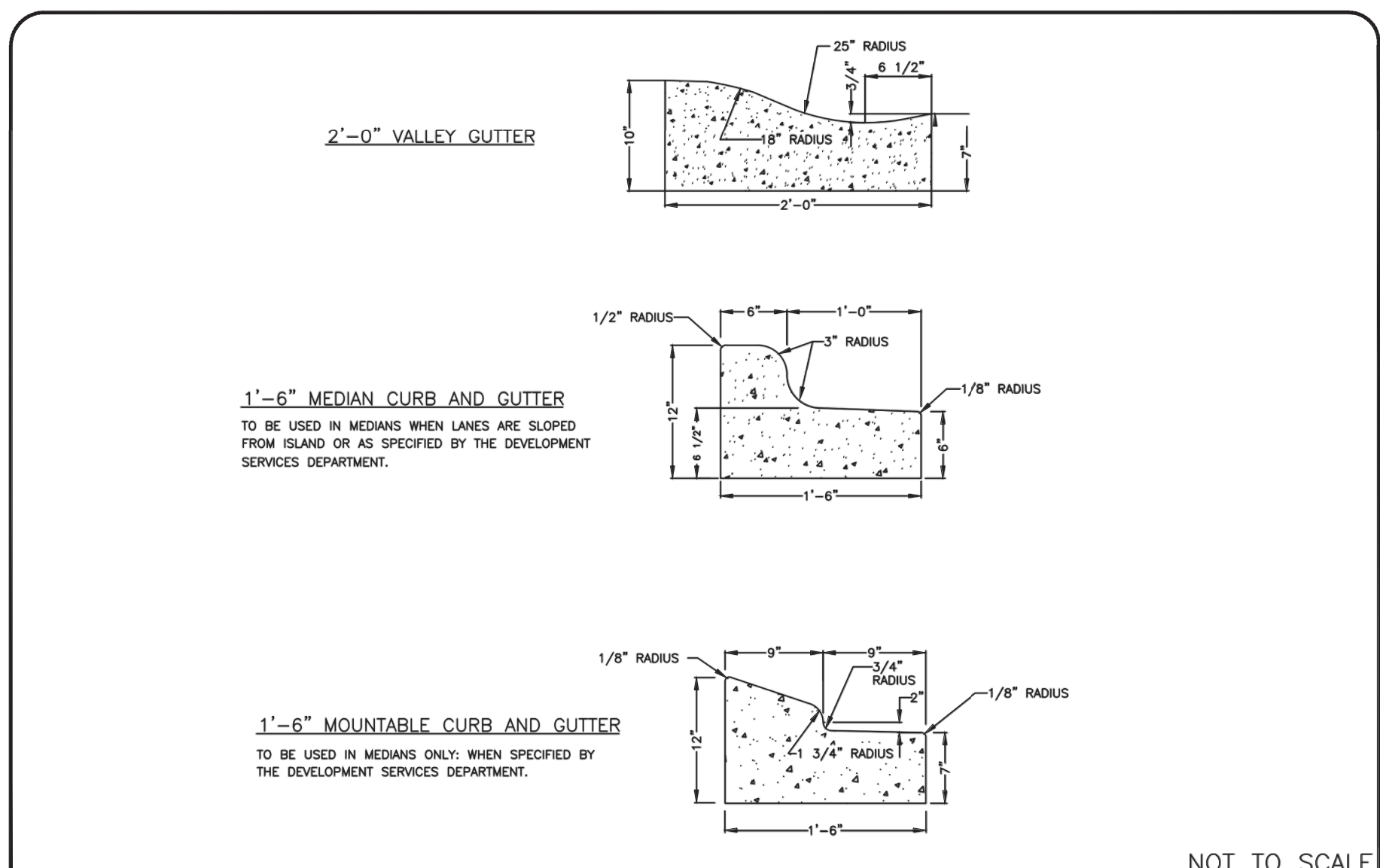
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DRAWN BY	SAP	DATE	5-09-19
AS SHOWN		JOB NUMBER	6748



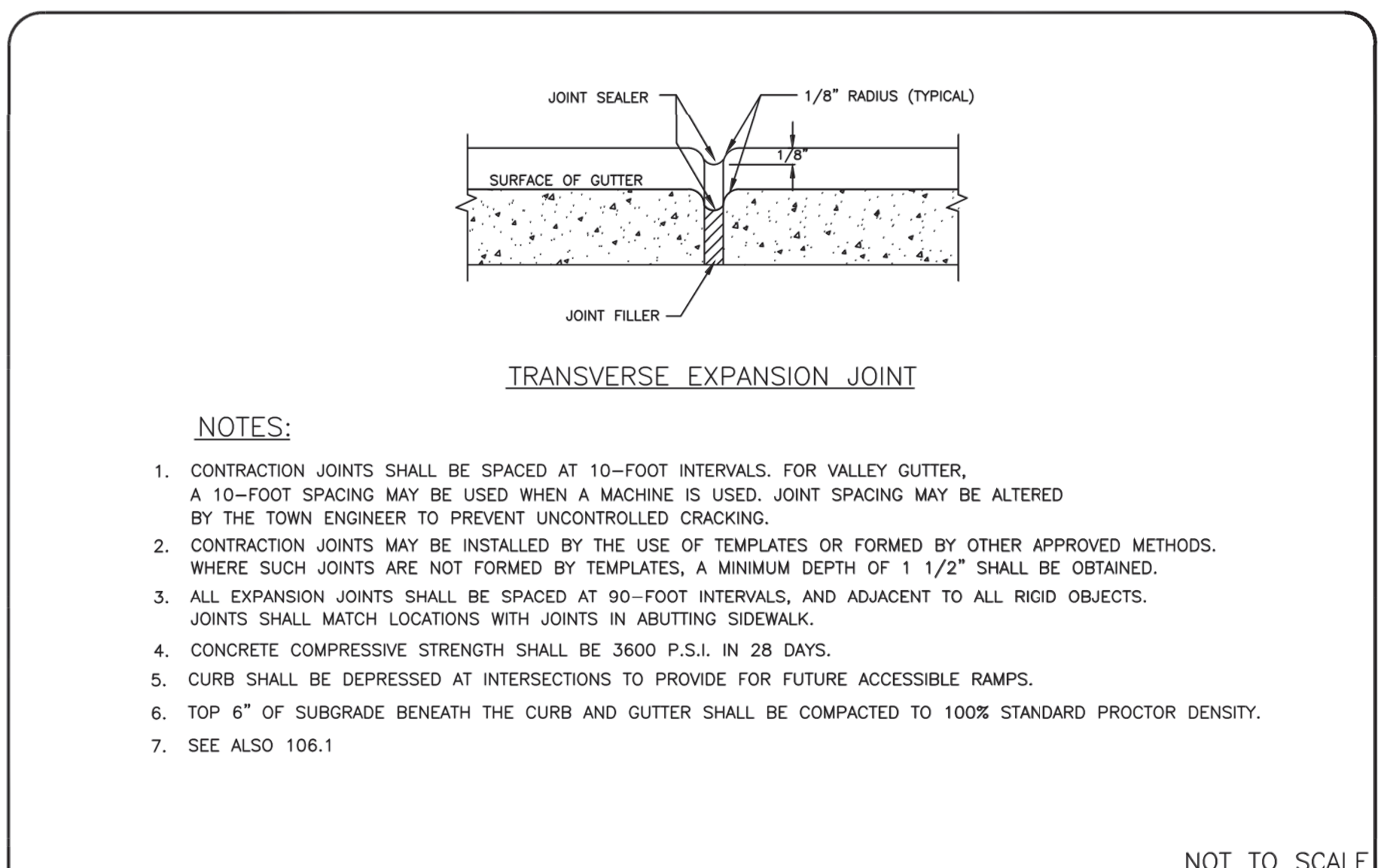




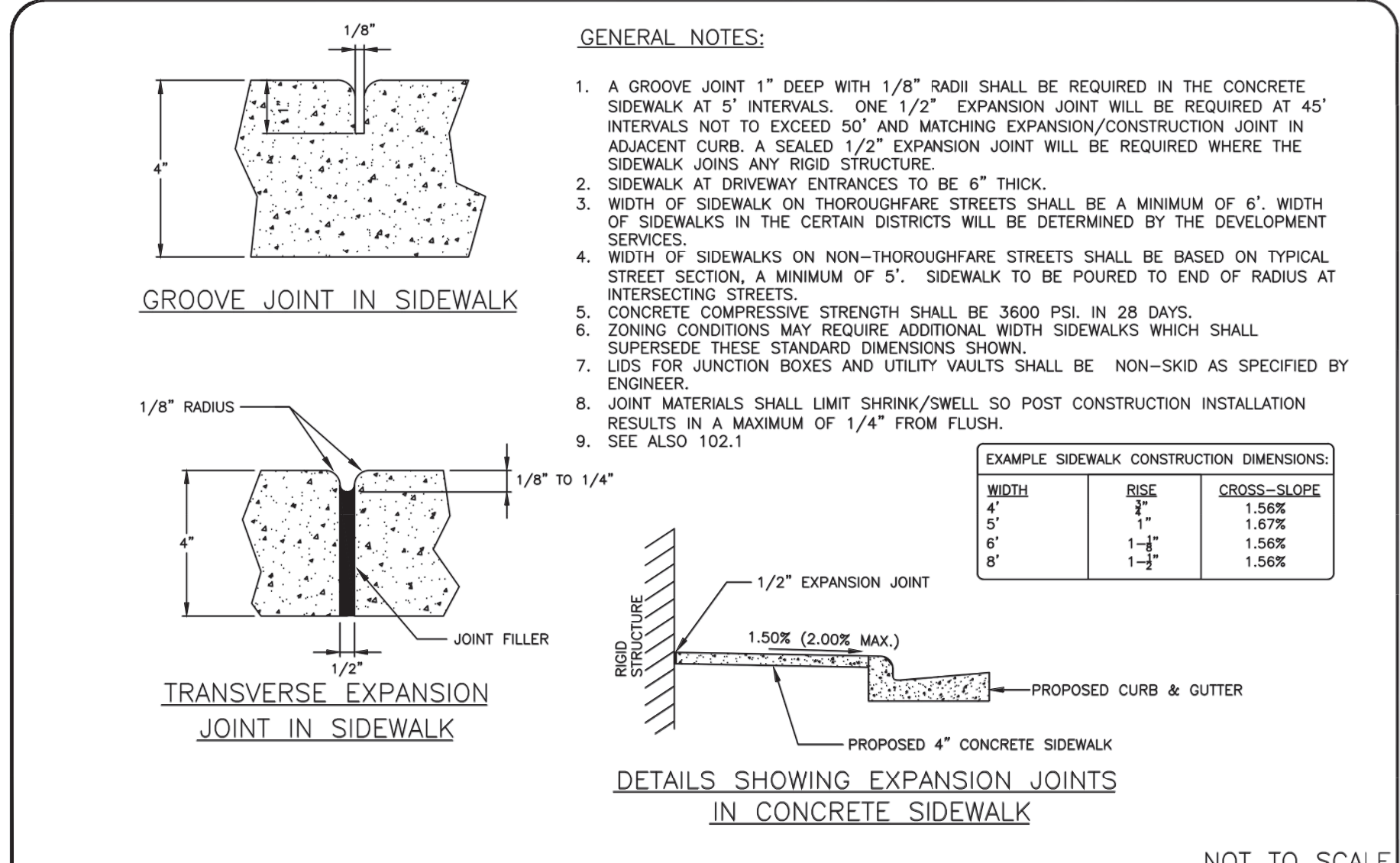
TOWN OF WAXHAW  
 LAND DEVELOPMENT STANDARDS  
 STANDARD CURB AND GUTTER  
 STD. NO. 100.1



TOWN OF WAXHAW  
 LAND DEVELOPMENT STANDARDS  
 CURB AND GUTTER  
 STD. NO. 101.1



TOWN OF WAXHAW  
 LAND DEVELOPMENT STANDARDS  
 TRANSVERSE EXPANSION JOINT  
 STD. NO. 102.1

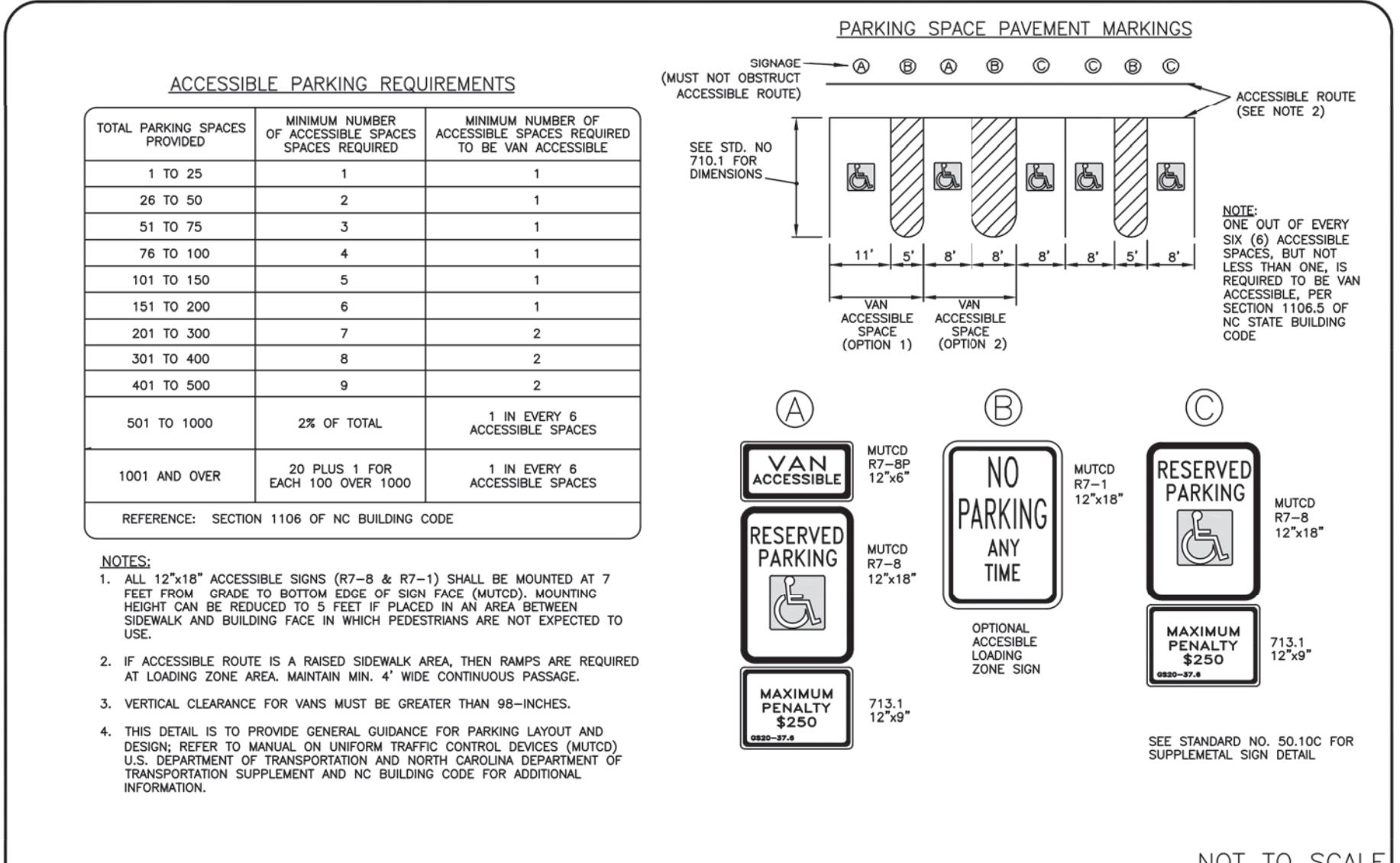


- GENERAL NOTES:**
- A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  - SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
  - WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 6'. WIDTH OF SIDEWALKS IN THE CERTAIN DISTRICTS WILL BE DETERMINED BY THE DEVELOPMENT SERVICES.
  - WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE BASED ON TYPICAL STREET SECTION, A MINIMUM OF 5'. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.
  - LIDS FOR JUNCTION BOXES AND UTILITY VAULTS SHALL BE NON-SKID AS SPECIFIED BY ENGINEER.
  - JOINT MATERIALS SHALL LIMIT SHRINK/SWELL SO POST CONSTRUCTION INSTALLATION RESULTS IN A MAXIMUM OF 1/4" FROM FLUSH.
  - SEE ALSO 102.1

EXAMPLE SIDEWALK CONSTRUCTION DIMENSIONS:

WIDTH	RISE	CROSS-SLOPE
4'	1"	1.56%
5'	1"	1.67%
6'	1"	1.56%
8'	1"	1.56%

TOWN OF WAXHAW  
 LAND DEVELOPMENT STANDARDS  
 CONCRETE SIDEWALKS  
 STD. NO. 106.1



**ACCESSIBLE PARKING REQUIREMENTS**

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	2
301 TO 400	8	2
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 6 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 6 ACCESSIBLE SPACES

REFERENCE: SECTION 1106 OF NC BUILDING CODE

- NOTES:**
- ALL 12"x18" ACCESSIBLE SIGNS (R7-8 & R7-1) SHALL BE MOUNTED AT 7 FEET FROM SPACE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
  - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA. MAINTAIN MIN. 4" WIDE CONTINUOUS PASSAGE.
  - VERTICAL CLEARANCE FOR VANS MUST BE GREATER THAN 98-INCHES.
  - THIS DETAIL IS TO PROVIDE GENERAL GUIDANCE FOR PARKING LAYOUT AND DESIGN. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT AND NC BUILDING CODE FOR ADDITIONAL INFORMATION.

TOWN OF WAXHAW  
 LAND DEVELOPMENT STANDARDS  
 ACCESSIBLE PARKING AND SIGNAGE STANDARDS  
 STD. NO. 712.1

ISSUE BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 NO: \_\_\_\_\_

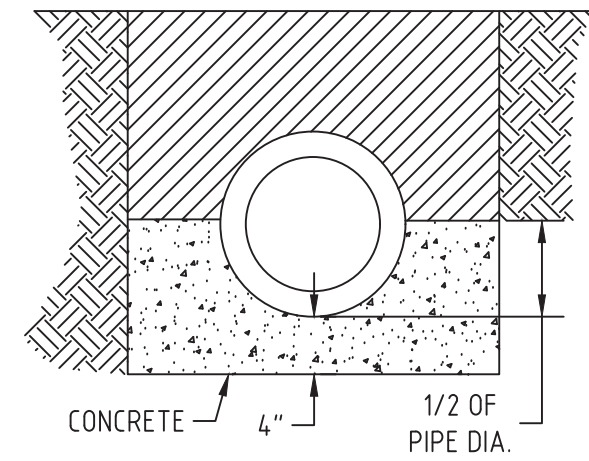
CARRINGTON SQUARE - PARCEL 1  
 TOWN OF WAXHAW, UNION COUNTY, NC  
 FOR THE BENEFIT OF:  
 WAXHAW SOUTH STAR, LLC.  
 101 S. KINGS DRIVE, SUITE 200  
 CHARLOTTE, NC 28204

**SITE DETAILS**

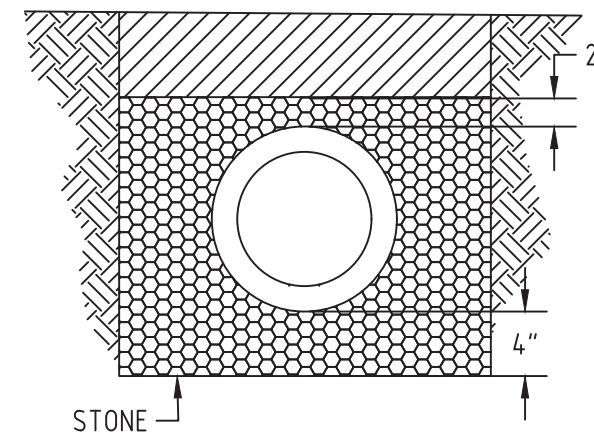
DESIGNED BY	SAP	CHECKED BY	MCK
DRAWN BY	SAP	DATE	5-09-19
SCALE	AS SHOWN	JOB NUMBER	6748







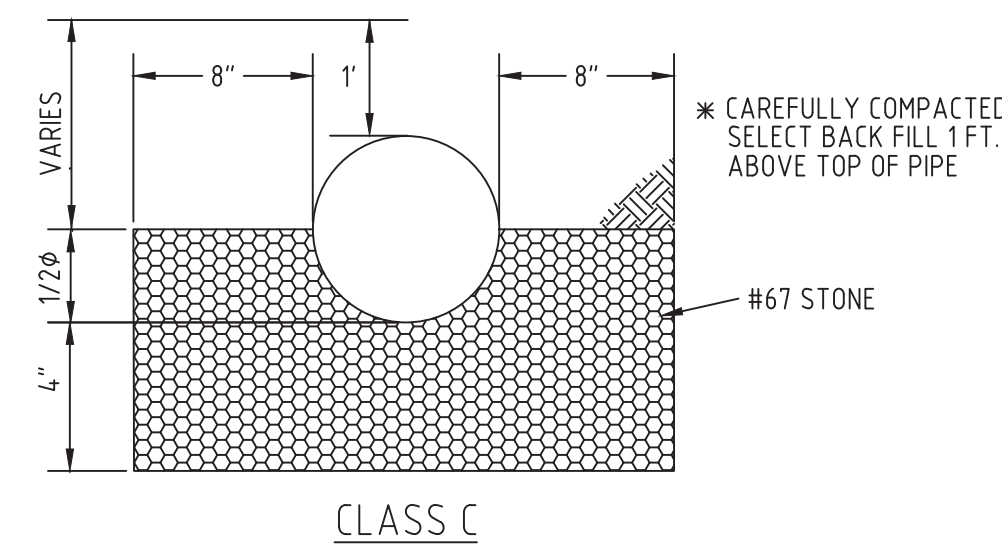
CLASS A



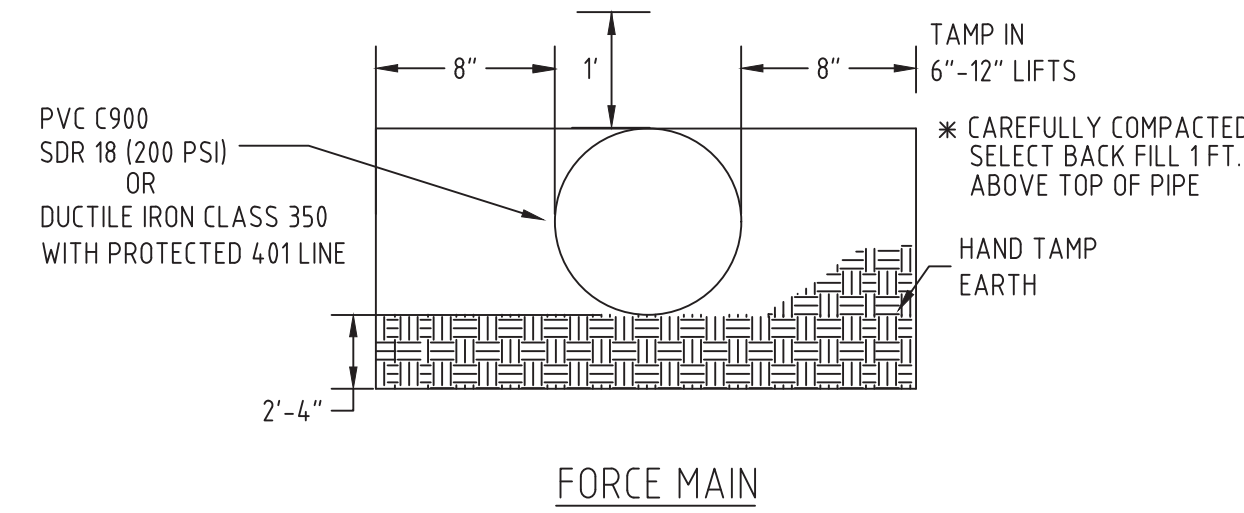
CLASS B

NOTES:  
ALL CONCRETE = 3000 PSI  
ALL STONE = N.C.D.O.T. NO. 67

GRAVITY SEWER - BEDDING DETAIL



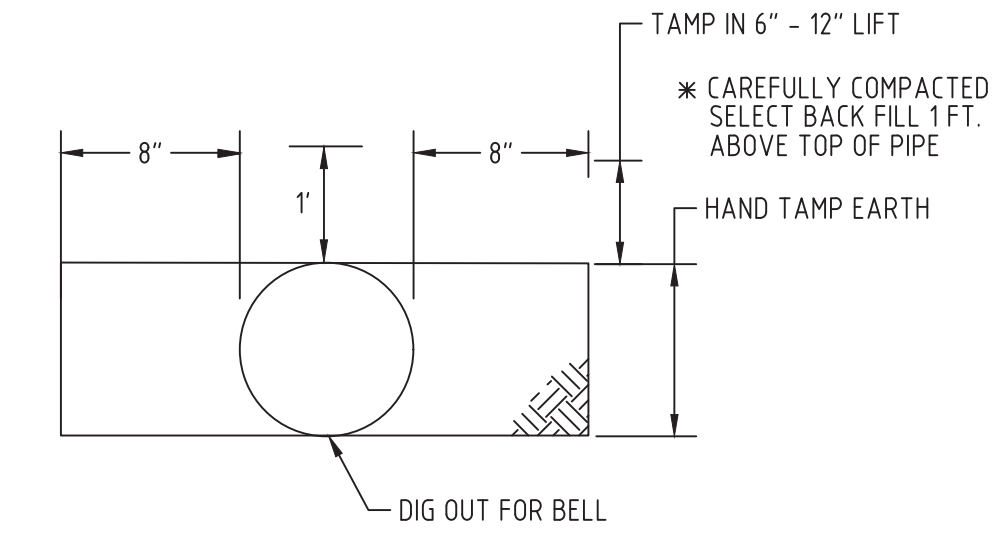
CLASS C



FORCE MAIN

NOTES:  
MINIMUM COVER IS 36"  
2" PVC SDR 21 (200 PSI)  
6"-8" PVC SDR 18  
12" OR LARGER DIP

\* NO STONES LARGER THAN # 67 STONE SHALL BE USED IN SELECT BACKFILL



WATER TRENCH

UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.

PIPE BEDDING

SCALE: N.T.S.  
DATE: 11-17-06

8

UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.

SEWER BEDDING

SCALE: N.T.S.  
DATE: 12-16-13

8A

UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.

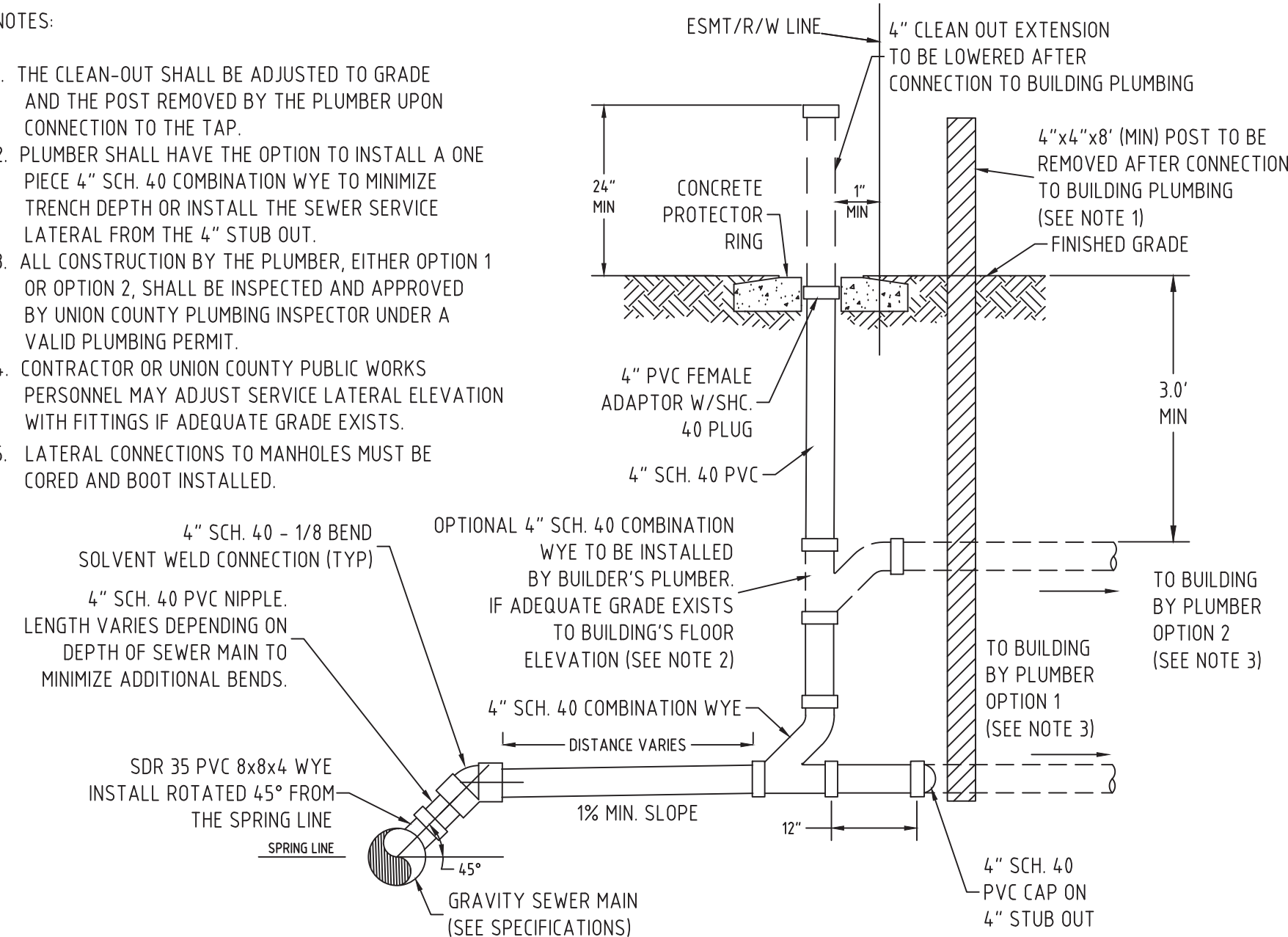
WATER TRENCH

SCALE: N.T.S.  
DATE: 1-14-10

8B

NOTES:

1. THE CLEAN-OUT SHALL BE ADJUSTED TO GRADE AND THE POST REMOVED BY THE PLUMBER UPON CONNECTION TO THE TAP.
2. PLUMBER SHALL HAVE THE OPTION TO INSTALL A ONE PIECE 4" SCH. 40 COMBINATION WYE TO MINIMIZE TRENCH DEPTH OR INSTALL THE SEWER SERVICE LATERAL FROM THE 4" STUB OUT.
3. ALL CONSTRUCTION BY THE PLUMBER, EITHER OPTION 1 OR OPTION 2, SHALL BE INSPECTED AND APPROVED BY UNION COUNTY PLUMBING INSPECTOR UNDER A VALID PLUMBING PERMIT.
4. CONTRACTOR OR UNION COUNTY PUBLIC WORKS PERSONNEL MAY ADJUST SERVICE LATERAL ELEVATION WITH FITTINGS IF ADEQUATE GRADE EXISTS.
5. LATERAL CONNECTIONS TO MANHOLES MUST BE CORED AND BOOT INSTALLED.



UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C.

SEWER LATERAL

SCALE: N.T.S.  
DATE: 2-19-14

11



NO.	DATE	BY	ISSUE

CARRINGTON SQUARE - PARCEL 1  
TOWN OF WAXHAW, UNION COUNTY, NC  
FOR THE BENEFIT OF:  
WAXHAW SOUTH STAR, LLC.  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

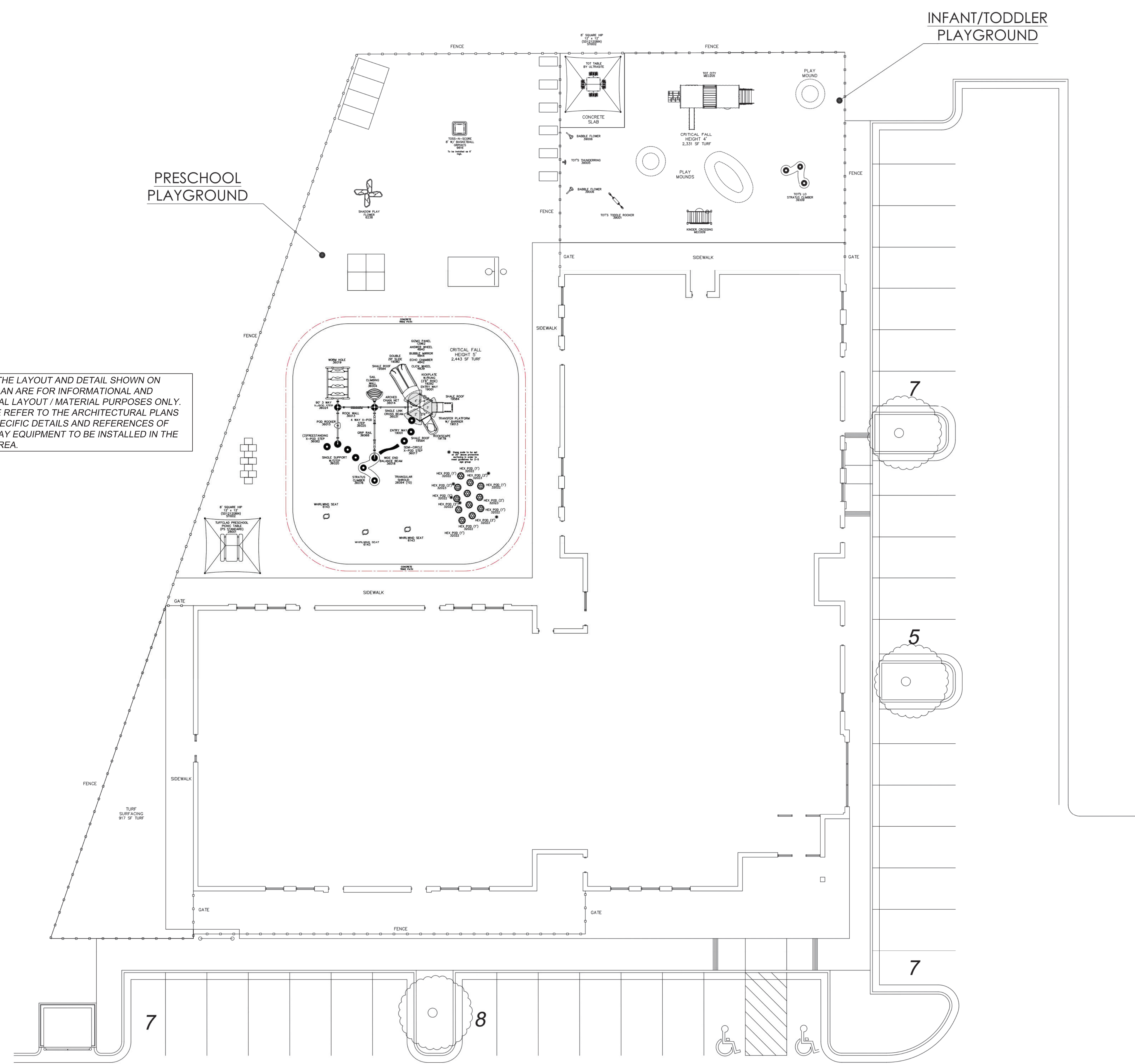
DESIGNED BY	SAP	CHECKED BY	MCK
DRAWN BY	SAP	JOB NUMBER	6748
DATE	5-09-19	Scale	AS SHOWN



Sheet  
C-6.1



NOTE: THE LAYOUT AND DETAIL SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND GENERAL LAYOUT / MATERIAL PURPOSES ONLY. PLEASE REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DETAILS AND REFERENCES OF THE PLAY EQUIPMENT TO BE INSTALLED IN THE PLAY AREA.



PLAY AREA LAYOUT DETAIL  
NOT TO SCALE

**ENGINEERING**  
 FIRM LICENSE # C-873  
 P.O. BOX 551  
 Indian Trail, NC 28079  
 (704) 882-4222  
 www.engsoftinc.net

NO.	DATE	BY	ISSUE
3	08-26-2019	SAP	ADDED PLAY AREA LAYOUT DETAIL SHEET

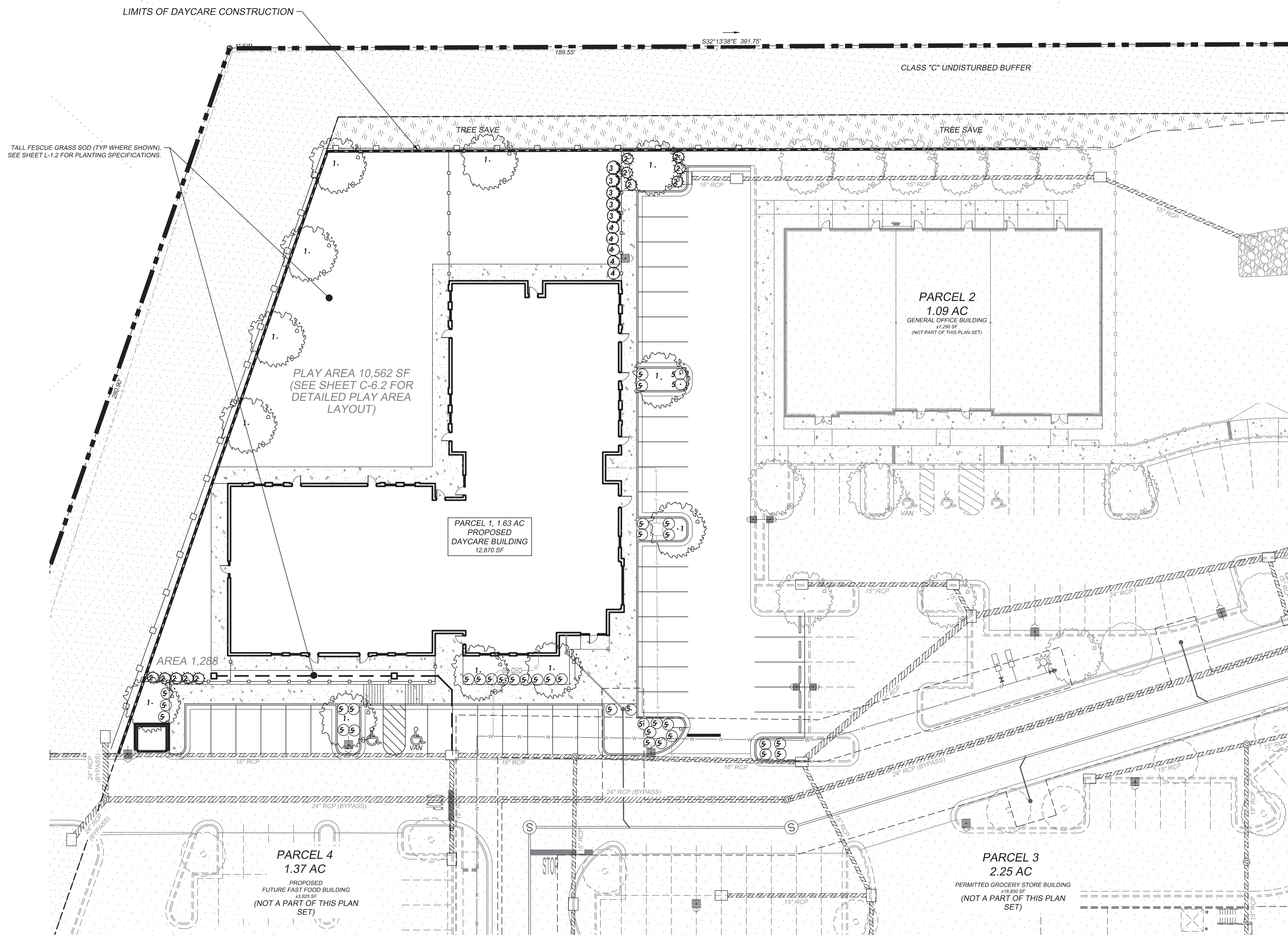
CARRINGTON SQUARE - PARCEL 1  
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 FOR THE BENEFIT OF:  
 WAXHAW SOUTH STAR, LLC.  
 101 S. KINGS DRIVE, SUITE 200  
 CHARLOTTE, NC 28204

SITE DETAILS -  
PLAY AREA LAYOUT

DESIGNED BY	AS SHOWN	DATE	5-08-19
DRAWN BY	SAP	CHECKED BY	MCK
Scale		JOB NUMBER	6748







**TOWN NOTES:** TREE SAVE  
(SEE ADDITIONAL NOTES SHEET L-1.2)

**LANDSCAPE MAINTENANCE PLAN**

"THE OWNER OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PERSERVATION, AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THE PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE VEGETATION. INCLUDING BUT NOT LIMITED TO:

1. FERTILIZATION
2. PRUNING
3. PEST CONTROL
4. MULCHING
5. MOWING (IF ANY)
6. PROTECTION OF THE ROOT ZONES FROM EQUIPMENT, CONSTRUCTION AND STORAGE OF MATERIALS
7. WATERING
8. OTHER CONTINUING MAINTENANCE OPERATIONS

FAILURE TO MAINTAIN ALL PLANTINGS IN ACCORDANCE WITH THIS PLAN SHALL CONSTITUTE A VIOLATION OF THE UDO AND MAY RESULT IN FINES."

**NOTE: THE BUSINESS OWNERS ASSOCIATION PROPERTY MANAGEMENT COMPANY WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING INCLUDING STREET BUFFER AND TREE SAVE AREAS.**

**REQUIRED LANDSCAPE SUMMARY**

**U.D.O. SECTION 9.8.2.D AND SECTION 12.4.2 - PARKING LOT LANDSCAPING:**  
REQUIRED: 11,523 SQUARE FEET OF VEHICULAR USE AREA X (1) TREE, (4) SHRUBS PER 1,000 SQUARE FEET = (12) TREES, (48) SHRUBS

**U.D.O. SECTION 9.8.2.C - BUFFER REQUIREMENTS:**  
BUFFERS HAVE BEEN PROVIDED AS PART OF THE OVERALL CARRINGTON DEVELOPMENT

**PROVIDED:**

**TREES:**  
NEW TREES WITHIN 15' OF VEHICULAR USE = 8  
NEW TREES ON REMAINDER OF SITE = 4

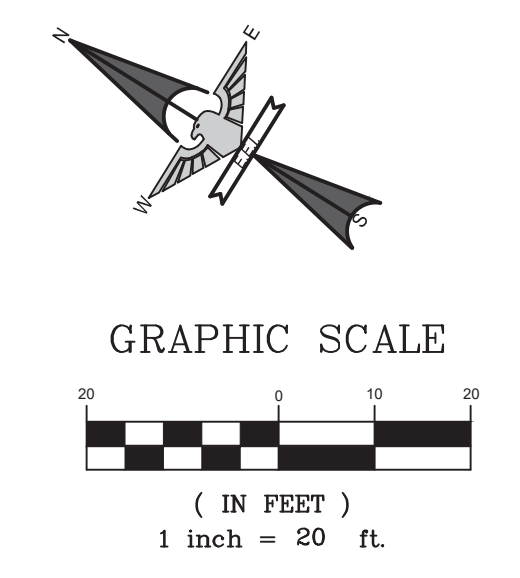
**SHRUBS:**  
NEW SHRUBS WITHIN 15' OF VEHICULAR USE = 49  
NEW SHRUBS ON REMAINDER OF SITE = 0

**U.D.O. SECTION 9.21 - TREE PRESERVATION PROTECTION:**  
SEE SHEET C-3.0, EROSION CONTROL PLAN FOR TREE PROTECTION MEASURES, REFERENCING THE OVER ALL EROSION CONTROL PLAN FOR "CARRINGTON SQUARE"

Plant Legend						
SYMBOL	#	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
	1	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	2" cal.	As Shown	12
	2	Ilex crenata 'Steeds'	Steeds Upright Holly	30" height	5' o.c.	11
	3	Loropetalum chinense 'Zhuzhou Fuchsia'	Zhuzhou Fuchsia Loropetalum	30" height	5' o.c.	5
	4	Loropetalum chinense 'Purple Diamond'	Purple Diamond Loropetalum	18" height	4' o.c.	5
	5	Distylium 'Emerald Heights'	Emerald Heights Distylium	18" height	4' o.c.	37
	6	Ulmus parvifolia 'Bosque' (existing)	Bosque Lacebark Elm	2" cal.	As Shown	0

**NOTE:**  
PLANTING #6 WAS PREVIOUSLY INSTALLED AS PART OF THE "CARRINGTON SQUARE" LANDSCAPE PLANS AND WAS USED IN THE TREE TABULATION FOR SHADING REQUIREMENTS.

SITE IMPROVEMENTS PER "CARRINGTON SQUARE" CONSTRUCTION DOCUMENTS (NOT A PART OF THIS SET)



**ENGINEERING**

FIRM LICENSE # C-8873  
P.O. BOX 551  
Indian Trail, NC 28079  
(704) 882-4222  
www.engineerline.net

NO.	DATE	BY	ISSUE
1	06-18-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
2	07-17-2019	SAP	ADDRESSED TOWN OF WAXHAW COMMENTS
3	08-26-2019	SAP	ADDED PLAN AREA LAYOUT DETAIL SHEET

**CARRINGTON SQUARE - PARCEL 1**  
TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:  
**WAXHAW SOUTH STAR, LLC.**  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

**PLANTING PLAN**

DESIGNED BY: SAP  
DRAWN BY: SAP  
CHECKED BY: MCK  
DATE: 5-09-19  
JOB NUMBER: 6748  
Scale

NORTH CAROLINA PROFESSIONAL SEAL  
045509  
M. C. KIRKPATRICK  
08/20/19



**PLANTING SPECIFICATIONS**

**1. PLANT MATERIAL**

- A. FURNISH NURSERY-GROWN PLANTS INDICATED IN PLANT LEGEND SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 - 2014, AMERICAN STANDARD FOR NURSERY STOCK.
- B. ANNUALS: PROVIDE HEALTHY, DISEASE-FREE PLANTS OF SPECIES AND VARIETY SHOWN OR LISTED, WITH WELL-ESTABLISHED ROOT SYSTEMS. PROVIDE ONLY PLANTS THAT ARE ACCLIMATED TO OUTDOOR CONDITIONS BEFORE DELIVERY.
- C. **CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY FROM FINAL ACCEPTANCE ON ALL PLANTS UNLESS APPROVED OTHERWISE BY THE OWNER.**
- 2. SOIL AMENDMENTS AS REQUIRED FROM SOILS REPORT/TESTING**
  - A. LIME: ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT.
  - B. SULFUR: GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90 PERCENT SULFUR.
  - C. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
  - D. ALUMINUM SULFATE: COMMERCIAL GRADE, UNADULTERATED.
  - E. PERLITE: HORTICULTURAL PERLITE, SOIL AMENDMENT GRADE.
  - F. AGRICULTURAL GYPSUM: MINIMUM 90 PERCENT CALCIUM SULFATE.
  - G. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, AND FREE OF TOXIC MATERIALS.
  - H. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE.
  - I. SPHAGNUM PEAT: PARTIALLY DECOMPOSED SPHAGNUM PEAT MOSS, FINELY DIVIDED OR GRANULAR TEXTURE, WITH A PH RANGE OF 3.4 TO 4.8.
  - J. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, DEBRIS, AND MATERIAL HARMFUL TO PLANT GROWTH.

**3. FERTILIZERS**

- A. BONEMEAL: COMMERCIAL, RAW OR STEAMED, FINELY GROUND; A MINIMUM OF 1 PERCENT NITROGEN AND 10 PERCENT PHOSPHORIC ACID.
- B. SUPERPHOSPHATE: COMMERCIAL, PHOSPHATE MIXTURE, SOLUBLE; A MINIMUM OF 20 PERCENT AVAILABLE PHOSPHORIC ACID.
- C. COMMERCIAL FERTILIZER: COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST- AND SLOW-RELEASE NITROGEN.
- D. SLOW-RELEASE FERTILIZER: GRANULAR OR PELLETED FERTILIZER.

**4. PLANTING MIX**

- A. PLANTING MIX: SHALL BE NATURAL, FERTILE, AGRICULTURAL TOPSOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, WITH PH RANGE OF 5.5 TO 7. IT MAY BE DEVELOPED BY AMENDING THE EXISTING SOIL, OR REMOVING THE EXISTING SOIL AND REPLACING WITH NEW SOIL. IT SHALL BE FREE OF ROOTS, PLANTS, SOD, STONES, CLODS, CLAY LUMPS, POCKETS OF COARSE SAND, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION, UNLESS OTHERWISE SPECIFIED, THE PLANTING MIX SHALL CONTAIN THE FOLLOWING PERCENTAGES:
  - CLAY: MIN. 10% - MAX. 30% (RED CLAY WELL PULVERIZED); CLAY SHALL BE STERILE.
  - SILT: MIN. 30% - MAX. 50%
  - COARSE SAND: MIN. 30% - MAX. 45% (1.0mm TO 0.5mm DIA., AND FREE OF ROCK)
  - ORGANIC MAT.: MIN. 5% (COMPOST/HUMUS SUCH AS SAWDUST OR LEAF MOLD THAT IS DECOMPOSED)
  - ELEMENTS: CALCIUM 55% - 80%; MAGNESIUM 10% - 30%; POTASSIUM 5% - 8%
- B. **CONTRACTOR TO PROVIDE SOILS TEST/ANALYSIS INDICATING ABOVE REQUIREMENTS.**

**5. MULCHES**

- A. PINE STRAW MULCH FOR ALL PLANT BEDS UNLESS OTHERWISE INDICATED.
- B. ALL PLANT BEDS AND TREE RINGS SHALL BE MULCHED.

**6. PLANT BED ESTABLISHMENT**

- A. LAYOUT PLANT BEDS AS INDICATED ON THE PLANTING PLAN AND REMOVE UNNECESSARY MATERIAL TO A MINIMUM DEPTH OF 18 INCHES.
- B. LOOSEN SUBGRADE OF PLANTING BEDS TO A MINIMUM DEPTH OF 6 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- C. SPREAD PLANTING MIX (SEE 4 ABOVE) TO A DEPTH OF 18 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING MIX OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- D. FINISH GRADING: GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.

**7. EXCAVATION FOR TREES AND SHRUBS**

- A. PLANTING PITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.
- B. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER.
- C. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
- D. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY NOT BE USED SOLELY AS PLANTING MIX (SEE NOTE 4 ABOVE).

**8. TREE, SHRUB, AND VINE PLANTING**

- A. BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO ANSI Z60.1.
- B. REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY; DO NOT BREAK.
- C. SET STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH ABOVE ADJACENT FINISH GRADES.
- D. USE PLANTING SOIL FOR BACKFILL.
- E. BALLED AND BURLAPPED: AFTER PLACING SOME BACKFILL AROUND ROOT BALL TO STABILIZE PLANT, CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM TOPS OF ROOT BALLS AND FROM SIDES, BUT DO NOT REMOVE FROM UNDER ROOT BALLS. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
- F. CONTAINER-GROWN: CAREFULLY REMOVE ROOT BALL FROM CONTAINER WITHOUT DAMAGING ROOT BALL OR PLANT.
- G. BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
- H. CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.
- I. WHEN PLANTING ON SLOPES, SET THE PLANT SO THE ROOT FLARE ON THE UPHILL SIDE IS FLUSH WITH THE SURROUNDING SOIL ON THE SLOPE; THE EDGE OF THE ROOT BALL ON THE DOWNHILL SIDE WILL BE ABOVE THE SURROUNDING SOIL. APPLY ENOUGH SOIL TO COVER THE DOWNHILL SIDE OF THE ROOT BALL.

- J. PRUNE/REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. PRUNE TO RETAIN NATURAL CHARACTER.
- K. PRUNE, THIN, AND SHAPE TREES, SHRUBS, AND VINES ACCORDING TO STANDARD PROFESSIONAL HORTICULTURAL AND ARBORICULTURAL PRACTICES FOR NEWLY PLANTED PLANTS, UNLESS OTHERWISE INDICATED BY LANDSCAPE ARCHITECT, DO NOT CUT TREE LEADERS.

**9. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING**

- A. SET OUT AND SPACE GROUND COVER, PERENNIALS, AND/OR ANNUALS AS INDICATED IN EVEN ROWS WITH TRIANGULAR SPACING.
- B. USE PLANTING MIX FOR BACKFILL.
- C. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS.
- D. WORK SOIL AROUND ROOTS TO ELIMINATE AIR POCKETS AND LEAVE A SLIGHT SAUCER INDENTATION AROUND PLANTS TO HOLD WATER.
- E. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL.
- F. PROTECT PLANTS FROM HOT SUN AND WIND; REMOVE PROTECTION IF PLANTS SHOW EVIDENCE OF RECOVERY FROM TRANSPLANTING SHOCK.

**10. PLANT AND PLANT BED MULCHING**

- A. MULCH BACKFILLED SURFACES OF PLANTING BEDS AND OTHER AREAS INDICATED.
- B. TREES AND TREE-FORM SHRUBS IN TURF AREAS: APPLY ORGANIC MULCH RING OF 3-INCH AVERAGE THICKNESS, WITH MINIMUM 36-INCH RADIUS AROUND TRUNKS OR STEMS. DO NOT PLACE MULCH WITHIN 3 INCHES OF TRUNKS OR STEMS.
- C. ORGANIC MULCH IN PLANT BEDS: APPLY 3-INCH AVERAGE THICKNESS OF MULCH OVER ENTIRE SURFACE OF PLANT BED, AND FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN 2 INCHES OF TRUNKS OR STEMS.

**11. PLANT MAINTENANCE**

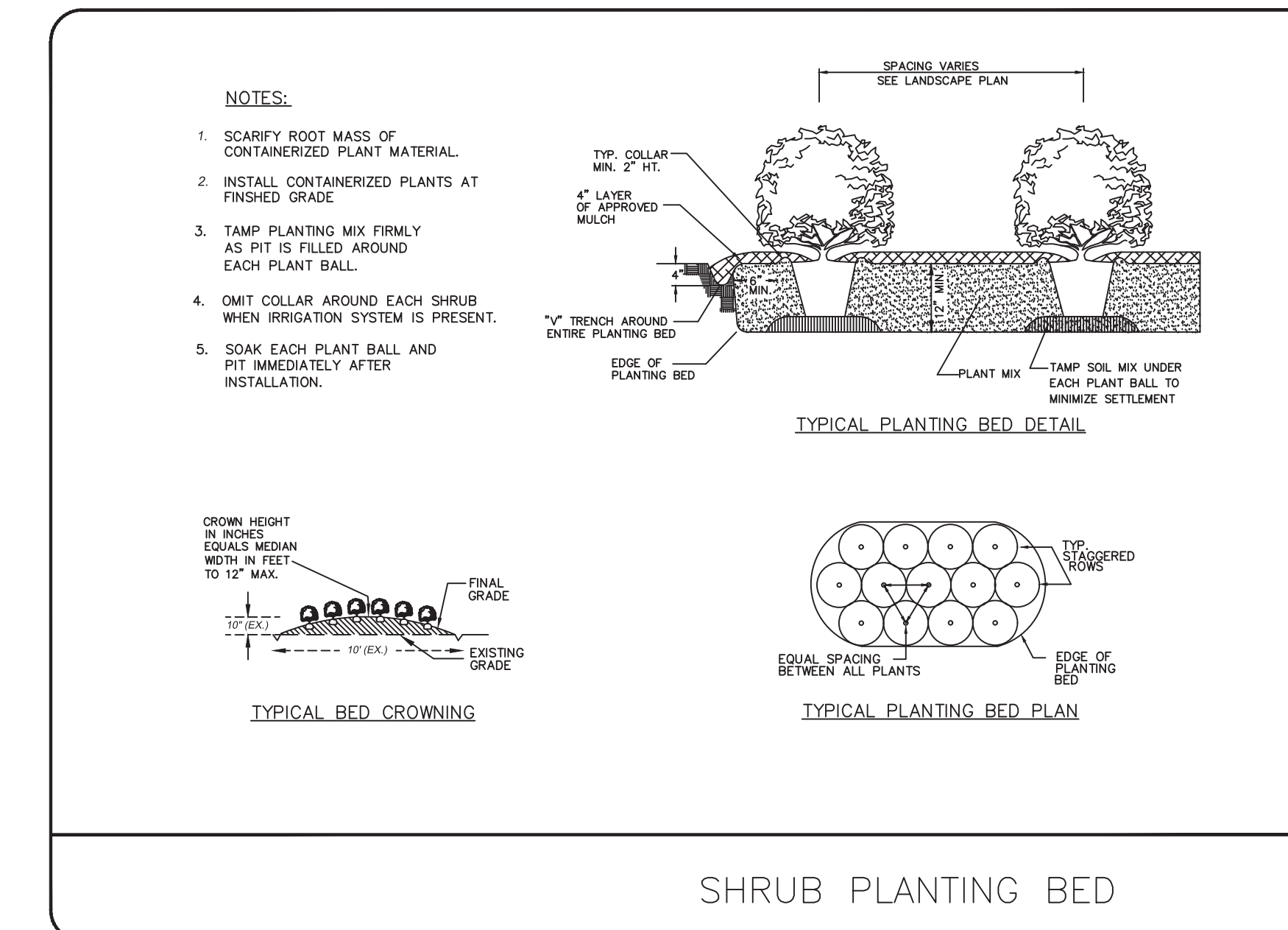
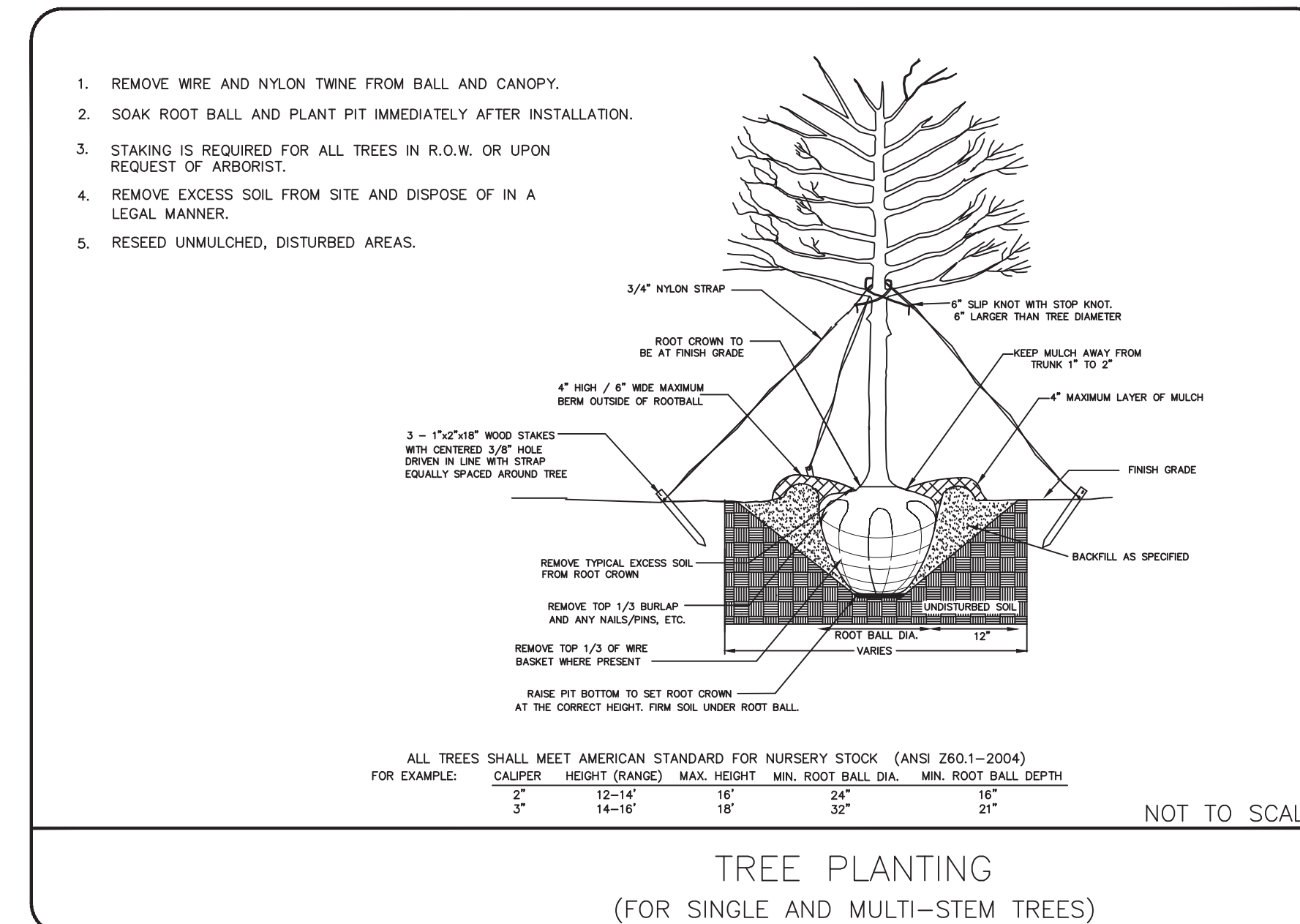
- A. MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, RESTORING PLANTING SAUCERS, RESETTING TO PROPER GRADES OR VERTICAL POSITION, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- B. SET IRRIGATION SYSTEM FOR ZONE DURATION APPLICABLE FOR NEWLY PLANTED PLANTS IF APPLICABLE.
- C. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER PROCESSES. REPLACE MULCH MATERIALS DAMAGED OR LOST IN AREAS OF SUBSIDENCE.
- D. APPLY TREATMENTS AS REQUIRED TO KEEP PLANT MATERIALS, PLANTED AREAS, AND SOILS FREE OF PESTS AND PATHOGENS OR DISEASE. USE PRACTICES TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS.
- E. APPLY PESTICIDES AND OTHER CHEMICAL PRODUCTS AND BIOLOGICAL CONTROL AGENTS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND MANUFACTURER'S WRITTEN RECOMMENDATIONS. COORDINATE APPLICATIONS WITH OWNER'S OPERATIONS AND OTHERS IN PROXIMITY TO THE WORK. NOTIFY OWNER BEFORE EACH APPLICATION IS PERFORMED.
- F. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

**NOTES:**

1. SEE SHEET L-1.1 FOR DETAILED PLANT SPECIES AND LOCATIONS.
2. CONTRACTOR TO VERIFY PLANT TOTALS. IF THERE IS A CONFLICT IN PLANT TOTALS BETWEEN QUANTITIES SHOWN IN THE PLANT LEGEND AND THOSE INDICATED ON THE PLANS, THE PLANT LEGEND QUANTITIES AND SUMMARY QUANTITIES SHALL TAKE PRECEDENCE.
3. PLANTS SHALL ONLY BE PLANTED FROM OCTOBER 1 - MAY 15 UNLESS ALTERNATIVE DATES ARE ALLOWED.
4. SEE CIVIL ENGINEERING DRAWINGS FOR LOCATIONS OF SITE DEVELOPMENT ELEMENTS, UTILITIES, TREE PRESERVATION AREAS, BUFFER YARDS, AND/OR OTHER REQUIRED AREAS AND EASEMENTS. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS, AND WHERE SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL ON HIS OWN INITIATIVE AND AT NO ADDITIONAL COST TO THE OWNER, HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS, OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 85 FOR ASSISTANCE IN LOCATING UTILITIES.
5. ALL DISTURBED AREA THAT ARE NOT PLANT BEDS SHALL BE GRASS SEED.
6. THE LANDSCAPE CONTRACTOR SHALL PERFORM FINISH GRADING TO ENSURE A SMOOTH TRANSITION BETWEEN PLANT BEDS AND LAWN AREAS.
7. ALL PLANTING AND LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT TOWN STANDARDS.

**IRRIGATION NOTES:**

1. ALL LANDSCAPED AREAS, UNLESS OTHERWISE INDICATED BY THE OWNER, ARE TO BE IRRIGATED WITH COMPLETE HEAD TO HEAD COVERAGE.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR IRRIGATION DESIGN FOR REVIEW AND APPROVAL BY ARCHITECT/OWNER.
3. A WATER CONSERVING SYSTEM IS MANDATORY.
4. A SEPARATE IRRIGATION METER IS REQUIRED FOR ALL IRRIGATION SYSTEMS.
5. UNLESS OTHERWISE INDICATED ON THE CIVIL ENGINEERING PLANS, THE METER AND MAIN IRRIGATION LINE SHALL BE 2".
6. CONTRACTOR TO COORDINATE IRRIGATION SLEEVE LOCATIONS WITH THE GENERAL CONTRACTOR/PROJECT MANAGER.



**ENGINEERING**

FIRM LICENSE # C-0873  
P.O. BOX 551  
2013A Van Buren Avenue  
Indian Trail, NC 28079  
(704) 882-4222  
www.engineonline.net

NO.	1
DATE	06-04-2019
BY	SAP
ISSUE	ADDRESSED TOWN OF WAXHAW COMMENTS

CARRINGTON SQUARE - PARCEL 1  
TOWN OF WAXHAW, UNION COUNTY, NC

FOR THE BENEFIT OF:  
WAXHAW SOUTH STAR, LLC,  
101 S. KINGS DRIVE, SUITE 200  
CHARLOTTE, NC 28204

**PLANTING LEGEND AND SPECIFICATIONS**

DESIGNED BY	SAP	CHECKED BY	MCK
DRAWN BY	SAP	JOB NUMBER	6748
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