

# SITE CONSTRUCTION PLANS for **PRESCOTT WENDY'S**

## 1000 KEMBLE STREET WAXHAW TOWNSHIP, UNION COUNTY, NORTH CAROLINA

### UTILITY AND GOVERNING AGENCIES CONTACT LIST:

**PLANNING / ZONING DEPARTMENT**  
TOWN OF WAXHAW DEVELOPMENT SERVICES  
1150 N. BROOME STREET  
P.O. BOX 617  
WAXHAW, NC 28173  
(704) 843-2195 EXT. 3 TEL - PLANNING & ZONING

**TELEPHONE**  
WINDSTREAM  
(704) 722-2000 TEL

**ENGINEERING DEPARTMENT**  
TOWN OF WAXHAW DEVELOPMENT SERVICES  
1150 N. BROOME STREET  
P.O. BOX 617  
WAXHAW, NC 28173  
(704) 843-2195 EXT. 3 TEL - PLANNING & ZONING

**CABLE TELEVISION / INTERNET**  
TIME WARNER CABLE  
(704) 938-5156 TEL

**FIRE MARSHAL**  
UNION COUNTY FIRE MARSHAL  
500 N. MAIN STREET, SUITE 809  
MONROE, NC 28112  
(704) 296-4210 TEL  
(704) 283-3716 FAX

**WATER DEPARTMENT**  
UNION COUNTY PUBLIC WORKS  
500 N. MAIN STREET, SUITE 500  
MONROE, NC 28112  
(704) 296-4210 TEL

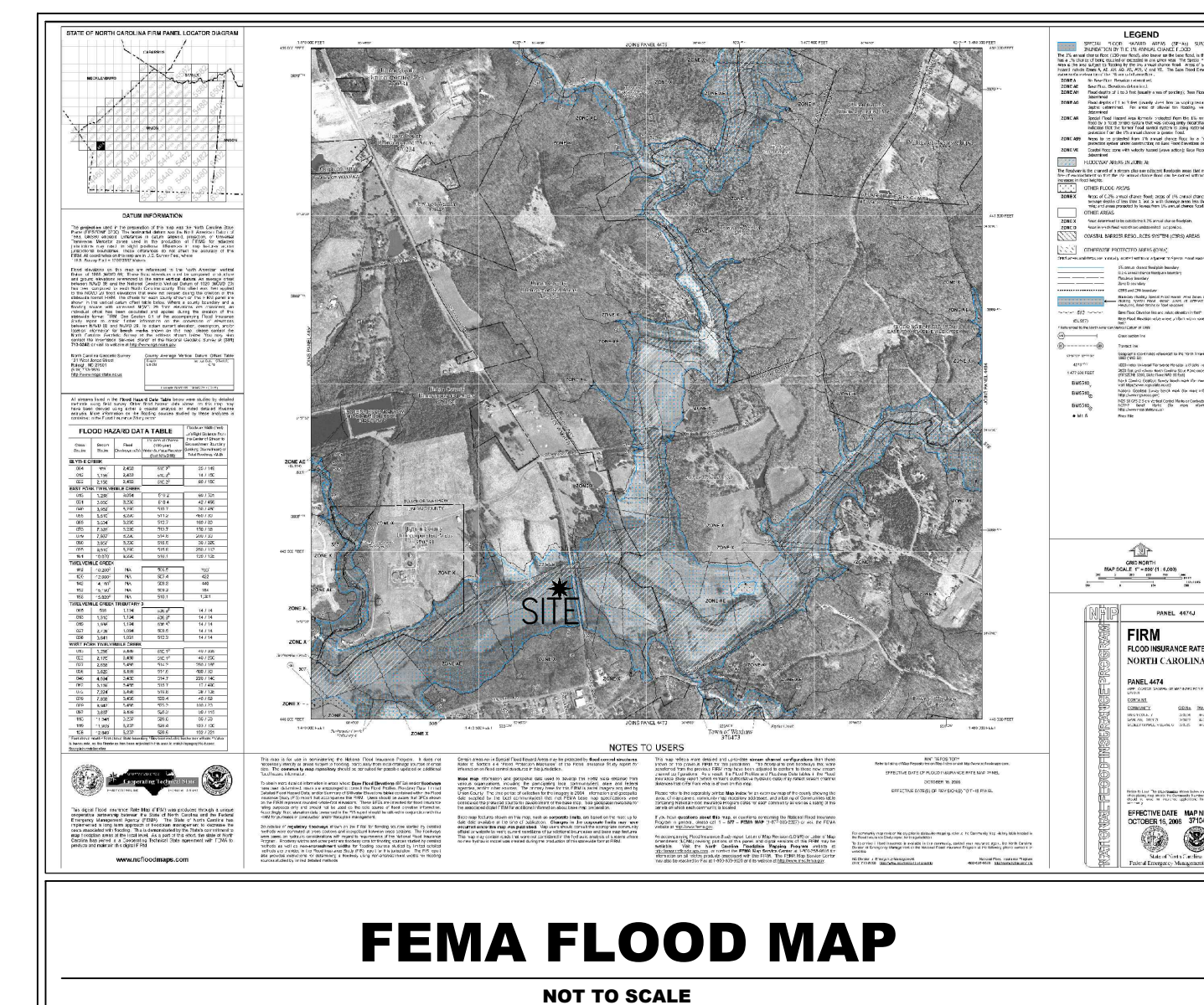
**EROSION CONTROL**  
NCDENR  
DIVISION OF ENERGY, MINERAL AND LAND RESOURCES  
1612 MAIL SERVICE CENTER  
RALEIGH, NORTH CAROLINA 27699  
(919) 707-9200 TEL  
(919) 715-8801 FAX

**SANITARY SEWER**  
UNION COUNTY PUBLIC WORKS  
500 N. MAIN STREET, SUITE 500  
MONROE, NC 28112  
(704) 296-4210 TEL

**POWER COMPANY**  
DUKE POWER  
536 SOUTH CHURCH STREET  
CHARLOTTE, NC 28202  
(800) 777-9898

**DEPARTMENT OF TRANSPORTATION**  
NORTH CAROLINA DEPARTMENT OF TRANSPORTATION  
(704) 436-9316 TEL

**CABLE COMPANY**  
TIME WARNER CABLE  
(704) 938-5156



Sheet Number	Sheet Title
C001	COVER SHEET
C002	GENERAL NOTES
C050	SURVEY
C101	EXISTING CONDITIONS PLAN
C105	DEMOLITION PLAN
C201	ESCP PH1
C202	ESCP PH2
C203	ESCP DTLs-A
C301	SITE PLAN
C302	SITE TRUCK TURN
C401	GRADING and DRAINAGE PLAN
C405	STORM PROFILES
C501	UTILITY PLAN
C505	SSWR PROF
C601	SITE-DTLs
C602	SITE-DTLs
C603	SITE-DTLs
C604	SITE-DTLs
L101	LANDSCAPE PLAN
L102	LANDSCAPE DETAILS



### PROJECT OWNER AND CONSULTANT INFORMATION

**DEVELOPER:**  
TARHEEL CAPITOL  
186 SOUTHGATE DRIVE  
SUITE 10  
BOONE, NORTH CAROLINA 28607  
PHONE (828) 262-1811 EXT. 46  
CONTACT: TIGE DARNER

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON STREET  
SUITE 200  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 409-1812 TEL  
CONTACT: MAGGIE JONES, P.E.

**SURVEYOR:**  
FREELAND - CLINKSCALES & ASSOCIATES,  
INC. OF NC  
201 2ND AVE. EAST  
HENDERSONVILLE, NC 28792  
PHONE (828) 697-6539  
FAX (828) 697-4195

**CONSTRUCTION DOCUMENT**



**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE #F-0102

PROFESSIONAL SEAL  
MAGGIE JONES  
REGISTERED PROFESSIONAL ENGINEER  
NO. 046983  
12/01/2020  
017523000 DATE 11/06/2020 SCALE AS SHOWN DESIGNED BY MCH DRAWN BY MCH CHECKED BY MFJ

COVER SHEET  
1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

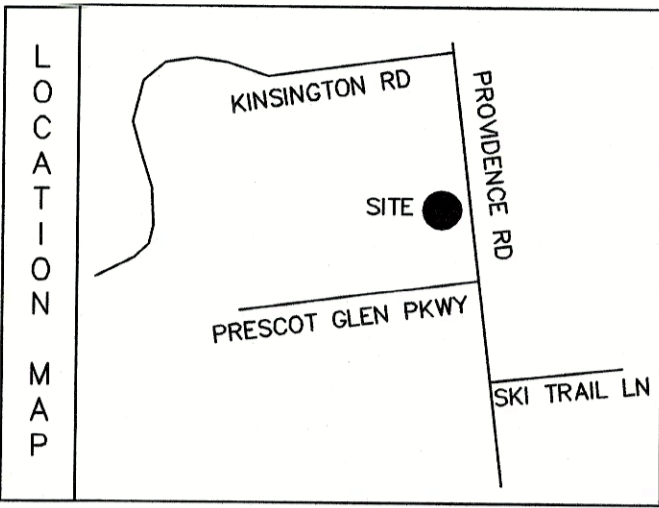
PRESCOTT WENDY'S  
PREPARED FOR  
TAR HEEL CAPITOL  
TOWN OF WAXHAW  
NORTH CAROLINA

SHEET NUMBER  
**C001**

No.	REVISIONS	DATE	BY

Plotted By: hatley, Micah - Sheet: Prescott, Wendy's - Layout: C001 - COVER SHEET - December 09, 2020 - ID: 06:53am - C:\Users\Micah.Hatley\AppData\Local\Temp\1\DWG\PlanSheets\C001 - COVER SHEET.dwg

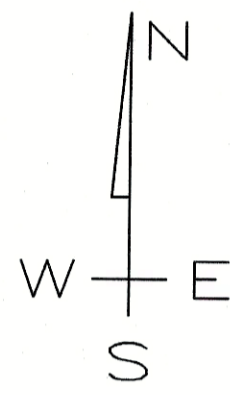




PARCEL F  
PNB HOLDING CO 2 INC  
D.B. 7290, Pg. 589  
P.C. O, SLIDE 977  
PIN: 06165438

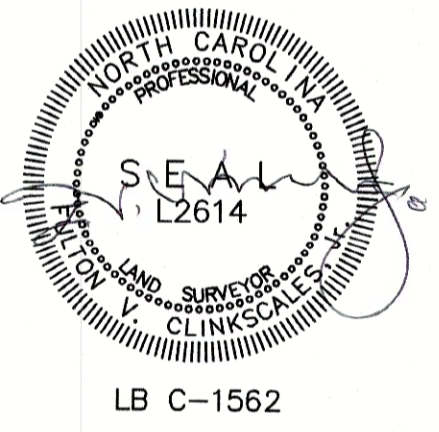
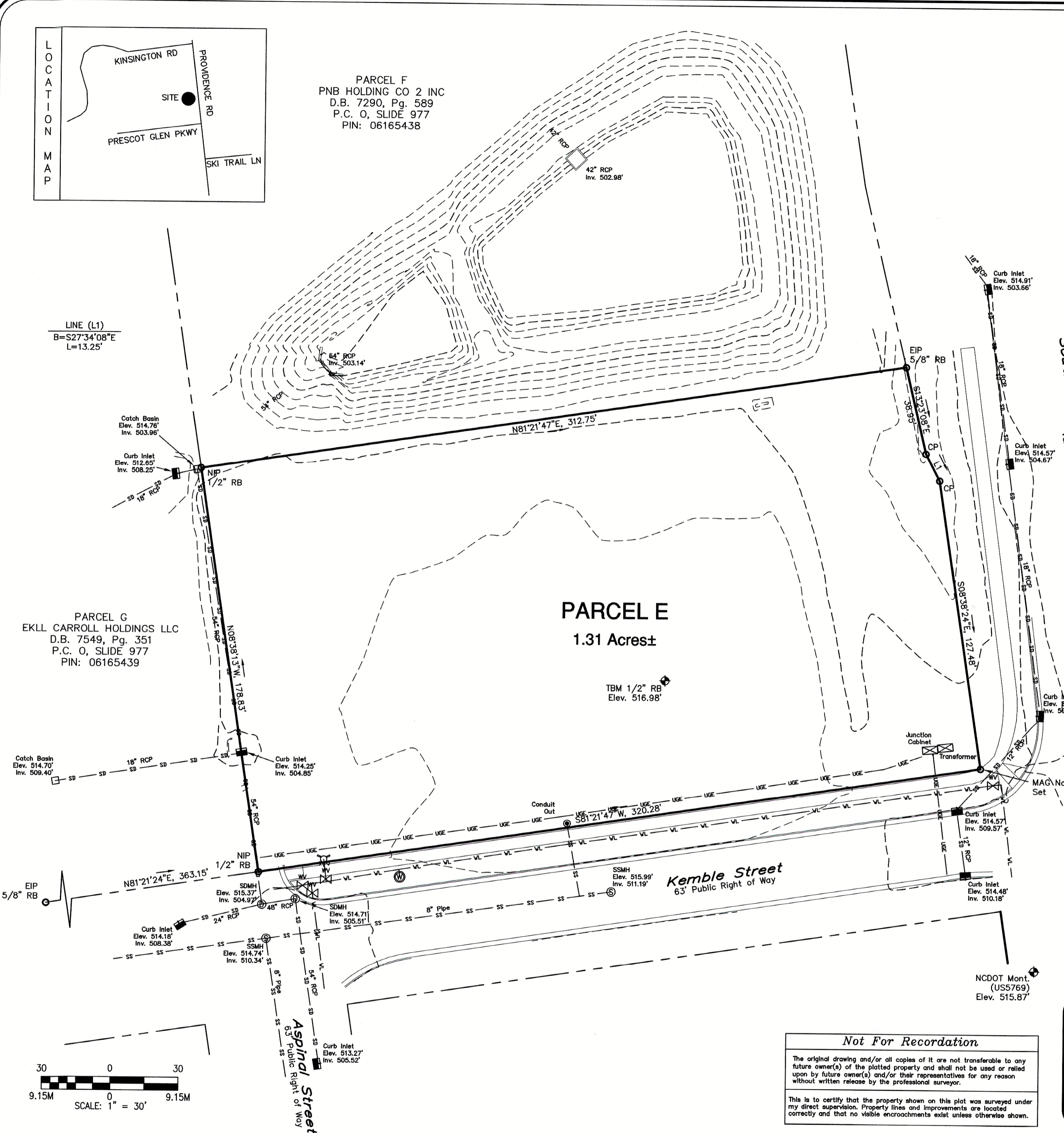
**LEGEND:**

○	NIP	NEW IRON PIN
○	EIP	EXISTING IRON PIN
○	CP	CALCULATED POINT ONLY
○		POWER POLE
○		LIGHT POLE
○		WATER VALVE
○		GAS VALVE
○		WATER METER
○		FIRE HYDRANT
○		SANITARY SEWER MANHOLE
○		STORM DRAIN MANHOLE
○		CATCH BASIN
○		CLEANOUT
○		CURB INLET
○		TRANSFORMER
○		OVERHEAD POWER
○		FENCE LINE



**SURVEY NOTES**

- 1) The basis of bearings for this survey is NC Grid based on NAD83(2011).
- 2) The basis of elevations for this survey is NAVD88 based on an OPUS Session performed on July 7, 2020.
- 3) There could easements that affect this property which should be contained in a current title report. Title report not furnished.



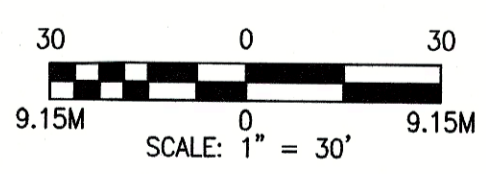
LB C-1562

**Plat of Boundary Survey for  
Tar Heel Capitol**  
1000 Kemble Street  
Waxhaw Township, Union County  
State of North Carolina  
Parcel E, Prescott Village - Phase 1

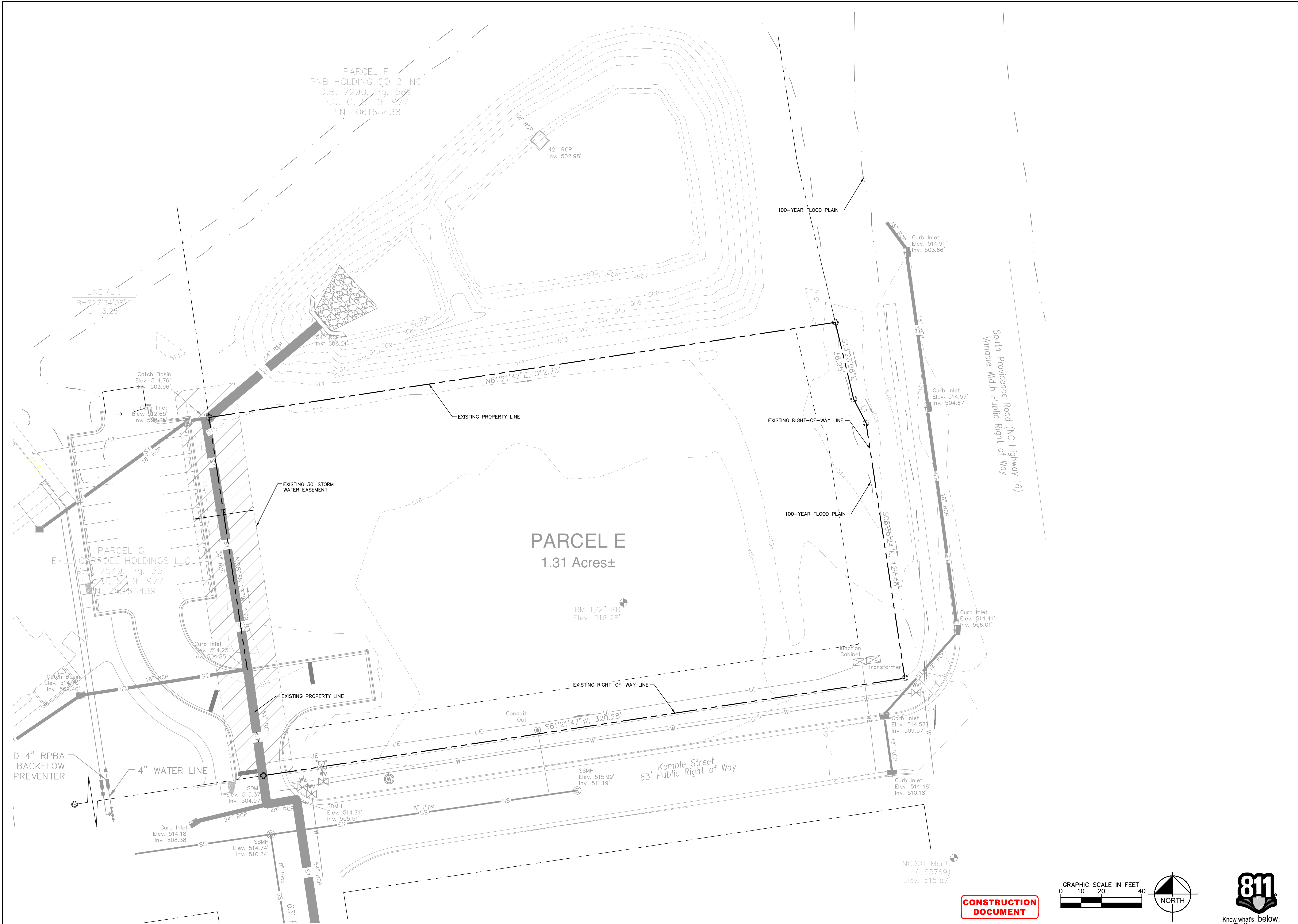
**FREELAND - CLINKSCALES  
& ASSOCIATES, INC. of NC**  
Engineers \* Land Surveyors  
201 2nd AVE. EAST  
HENDERSONVILLE, N.C. 28792  
(828) 697-6539  
(828) 697-4195 (fax)  
fcaofnc@outlook.com  
Firm No. C-1562

REF. PLAT CAB.	0/977
REF. DEED. BOOK	7549/351
TAX MAP	06165437
PARTY CHIEF	ADM
DRAWN	ADM
DATE	JULY 1, 2020
DWG.NO.	H40349

**Not For Recordation**  
The original drawing and/or all copies of it are not transferable to any future owner(s) of the platted property and shall not be used or relied upon by future owner(s) and/or their representatives for any reason without written release by the professional surveyor.  
This is to certify that the property shown on this plat was surveyed under my direct supervision. Property lines and improvements are located correctly and that no visible encroachments exist unless otherwise shown.



Plotted By: hatley, Mich. Sheet Set: Prescott Wendy's Layout: C101 - EXIST COND PLAN December 09, 2020 10:07:07am C:\Users\Mich.Hatley\K\K\K\Shared Library - 017523000\_Prescott Wendy's 02 - DWG\PlanSheets\C101 - EXIST COND PLAN.dwg



PARCEL F  
 PNB HOLDING CO 2 INC  
 D.B. 7290, Pg. 589  
 P.C. O. SLIDE 977  
 PIN: 06165438

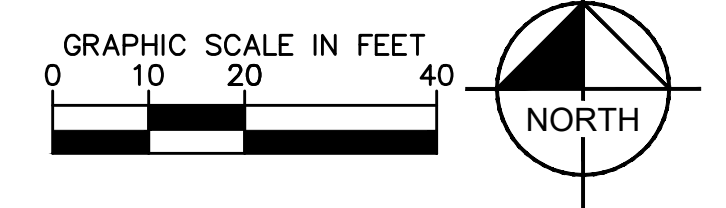
PARCEL G  
 EKLL CARROLL HOLDINGS LLC  
 P.O. 7549, Pg. 351  
 P.C. O. SLIDE 977  
 PIN: 06165439

PARCEL E  
 1.31 Acres±

South Providence Road (NC Highway 16)  
 Variable Width Public Right of Way

Kemble Street  
 63' Public Right of Way

**CONSTRUCTION DOCUMENT**



No.	REVISIONS	DATE	BY

**Kimley-Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE #F-0102

Professional Engineer Seal for North Carolina, License No. 046983, dated 12/01/2020.

EXISTING CONDITIONS PLAN  
 1000 KEMBLE STREET  
 WAXHAW TOWNSHIP, NC

PRESCOTT WENDY'S  
 PREPARED FOR  
 TAR HEEL CAPITOL  
 TOWN OF WAXHAW  
 NORTH CAROLINA

SHEET NUMBER  
**C101**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Hattley, Micah - Sheet Set: Prescott Wendy's - DEMO - 11/06/2020 - 10:07:20am - C:\Users\Micah.Hattley\AppData\Local\Temp\DWG\PlanSheets\C105 - DEMO.dwg



**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL TAKE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES. CONTRACTOR SHALL REPAIR ANY DAMAGED FEATURES/UTILITIES TO THAT OF EXISTING OR BETTER CONDITION.  
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPAIRS TO ANY DAMAGED ROADWAYS, CURB AND GUTTER, ASPHALT, ETC.  
CONTRACTOR SHALL COMPLETELY REMOVE ALL FEATURES WITHIN THE LIMITS OF CONSTRUCTION / OVERALL PROJECT BOUNDARY IN ORDER TO CONSTRUCT PROPOSED IMPROVEMENTS AS SHOWN IN THESE PLANS.

**ALERT TO CONTRACTOR:**  
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM GEC AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. GEC AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

**DEMOLITION KEY NOTE LEGEND**

- (A) EXISTING IMPROVEMENT TO REMAIN. ADJUSTMENT TO PROPOSED GRADES MAY BE REQUIRED.
- (B) EXISTING CURB AND GUTTER TO BE REMOVED.
- (C) EXISTING 30' WIDE STORM EASEMENT
- (D) LIMITS OF PAVEMENT CUT

**DEMOLITION LEGEND**

- PROPERTY BOUNDARY
- 30' EXISTING STORM EASEMENT
- 20' LANDSCAPE BUFFER
- FULL DEPTH PAVEMENT REMOVAL
- CLEAN SAWCUT EDGE
- EXISTING LINEAR ITEM TO BE REMOVED
- LOD
- LIMITS OF DISTURBANCE (LOD)

NO.	REVISIONS	DATE	BY
1		02-05-2019	
2			
3			
4			
5			
6			
7			
8			
9			
10			

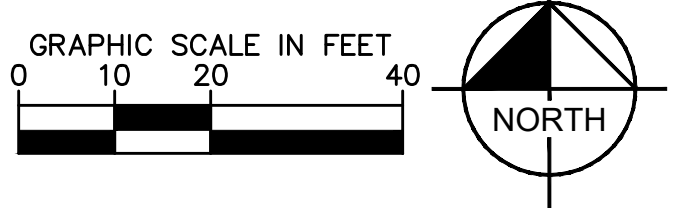
**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE #F-0102

Professional Engineer Seal for Michael Hattley, State of North Carolina, License No. 046983. Date: 12/01/2020. Scale: AS SHOWN. Designed by MCH, Drawn by MCH, Checked by MFJ.

**DEMOLITION PLAN**  
1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

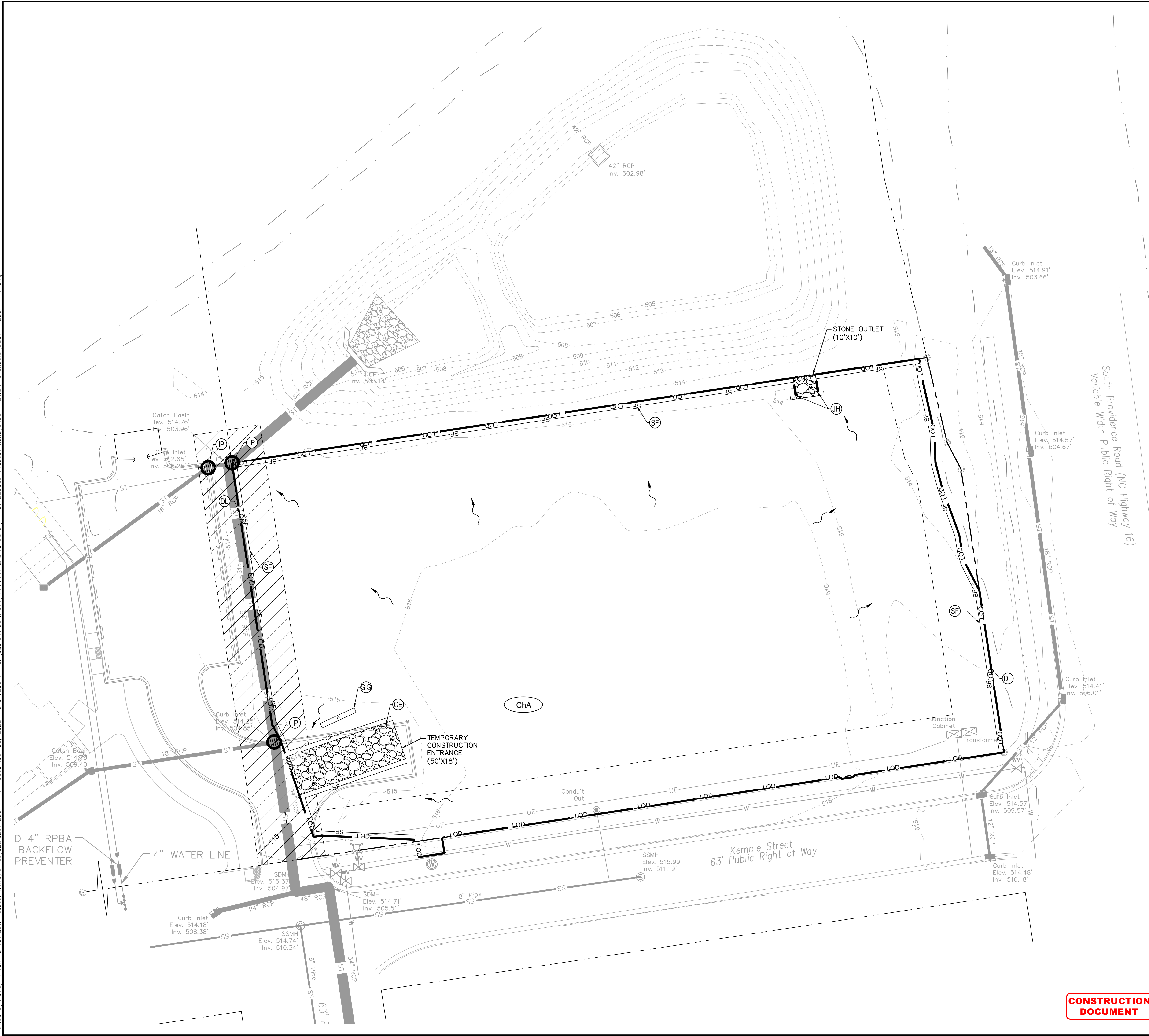
**PRESCOTT WENDY'S**  
PREPARED FOR  
**TAR HEEL CAPITOL**  
TOWN OF WAXHAW  
NORTH CAROLINA  
SHEET NUMBER  
**C105**

**CONSTRUCTION DOCUMENT**



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Hattley, Micah - Sheet Set: Prescott, Wendy's - Layout: C201 - ESCP - PHL - December 09, 2020 - 10:07:29am - C:\Users\Micah.Hattley\OneDrive - DWG\_Visit\Sheets\C201 - ESCP - PHL.dwg



### CONSTRUCTION SEQUENCE

- THE FOLLOWING "CONSTRUCTION SEQUENCE" IS FURNISHED AS A GENERAL GUIDE FOR PREPARATION OF A SEQUENCE OF CONSTRUCTION EVENTS. ADDITIONS, DELETIONS AND MODIFICATIONS SHOULD BE MADE AS APPROPRIATE.
- SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, SILT FENCE, INLET PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- BEGIN EARTHWORK/GRADING/DEMOLITION ACTIVITIES. BEGIN ASPHALT MILLING. BEGIN GRADING OF FILL SLOPES. MAINTAIN AND VERTICALLY ADJUST SILT FENCE THROUGHOUT GRADING ACTIVITIES TO MAINTAIN DRAINAGE PATTERNS TO TEMPORARY SILT FENCE.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE INSPECTOR PRIOR TO ANY NEW PAVEMENT ACTIVITY IN ORDER FOR STAFF TO OBSERVE SITE CONDITION PRIOR TO PAVING.
- DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- GRADED SLOPES AND FILLS ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER SUFFICIENT TO RESTRAIN EROSION WITHIN 15 CALENDAR DAYS AFTER THE COMPLETION OF ANY PHASE OF GRADING. ALL AREAS UPON WHICH NO FURTHER LAND DISTURBING ACTIVITY WILL BE UNDERTAKEN ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER WITHIN 21 CALENDAR DAYS.
- AS CONSTRUCTION PROGRESSES, INSTALL PERMANENT EROSION CONTROL MEASURES SUCH AS RIP RAP APRONS, VELOCITY DISSIPATORS, CHANNEL LINERS, GRAVEL BASE COURSE, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WAXHAW EROSION AND SEDIMENT CONTROL MANUAL.

### WAXHAW EROSION CONTROL NOTES

- On-site burial pits require an on-site demolition landfill permit from the Zoning Administrator.
- Any grading beyond the denuded limits shown on the plan is a violation of the Town's Erosion Control Ordinance and is subject to a fine.
- Grading more than one acre without an approved Erosion Control Plan is a violation of the Town's Erosion Control Ordinance and is subject to a fine.
- All perimeter dikes, swales, ditches, perimeter slopes and all slopes steeper than 3 horizontal to 1 vertical (3:1) shall be provided temporary or permanent stabilization with ground cover as soon as practicable but in any event within 7 calendar days from the last land-disturbing activity.
- All other disturbed areas shall be provided temporary or permanent stabilization with ground cover as soon as practicable but in any event within 14 calendar days from the last land-disturbing activity.
- Additional measures to control erosion and sediment may be required by a representative of the Town of Waxhaw Engineering Division.
- Slopes shall be graded no steeper than 2:1. Fill slopes greater than 10' high require adequate terracing.
- A grading plan must be submitted for any lot grading exceeding one acre that was not previously approved.
- Driveway permit for construction entrances in NCDOT right of way must be presented at pre-construction meeting.

### EROSION KEY NOTE LEGEND

---	PROPERTY LINE
---	LIMITS OF DISTURBANCE
---	FEMA 100-YEAR FLOOD PLAIN
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
ChA	SOIL TYPE
→	SLOPE ARROW
⊗	SWPPP INFORMATION SIGN
⊠	CONSTRUCTION ENTRANCE
— SF	TEMPORARY SILT FENCE
— JH	TEMPORARY SILT FENCE J-HOOK
⊙	INLET PROTECTION

### NOTES TO CONTRACTOR

- REFER TO GENERAL NOTES SHEET FOR EROSION CONTROL NOTES.
- TOWN CREEK WATERSHED OF THE YADKIN - PEE DEE RIVER BASIN IS THE RECEIVING WATER BODY OF STORMWATER DISCHARGE FROM THIS SITE.
- ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN. A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.
- STOCKPILES SHOULD NOT BE LOCATED WITHIN 50 FEET OF ANY STORM DRAIN, BASIN, OR STREAM UNLESS NO ALTERNATIVE IS FEASIBLE.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM, CAN BE FOUND ON THE LAND QUALITY WEB SITE.

### SOIL TYPES LEGEND:

ChA - Chevacla loam, 0 to 2 percent slopes, frequently flooded

### DISTURBED AREA

TOTAL - 1.26 ACRES

GRAPHIC SCALE IN FEET: 0, 10, 20, 40

NORTH

**811**  
Know what's below. Call before you dig.

**CONSTRUCTION DOCUMENT**

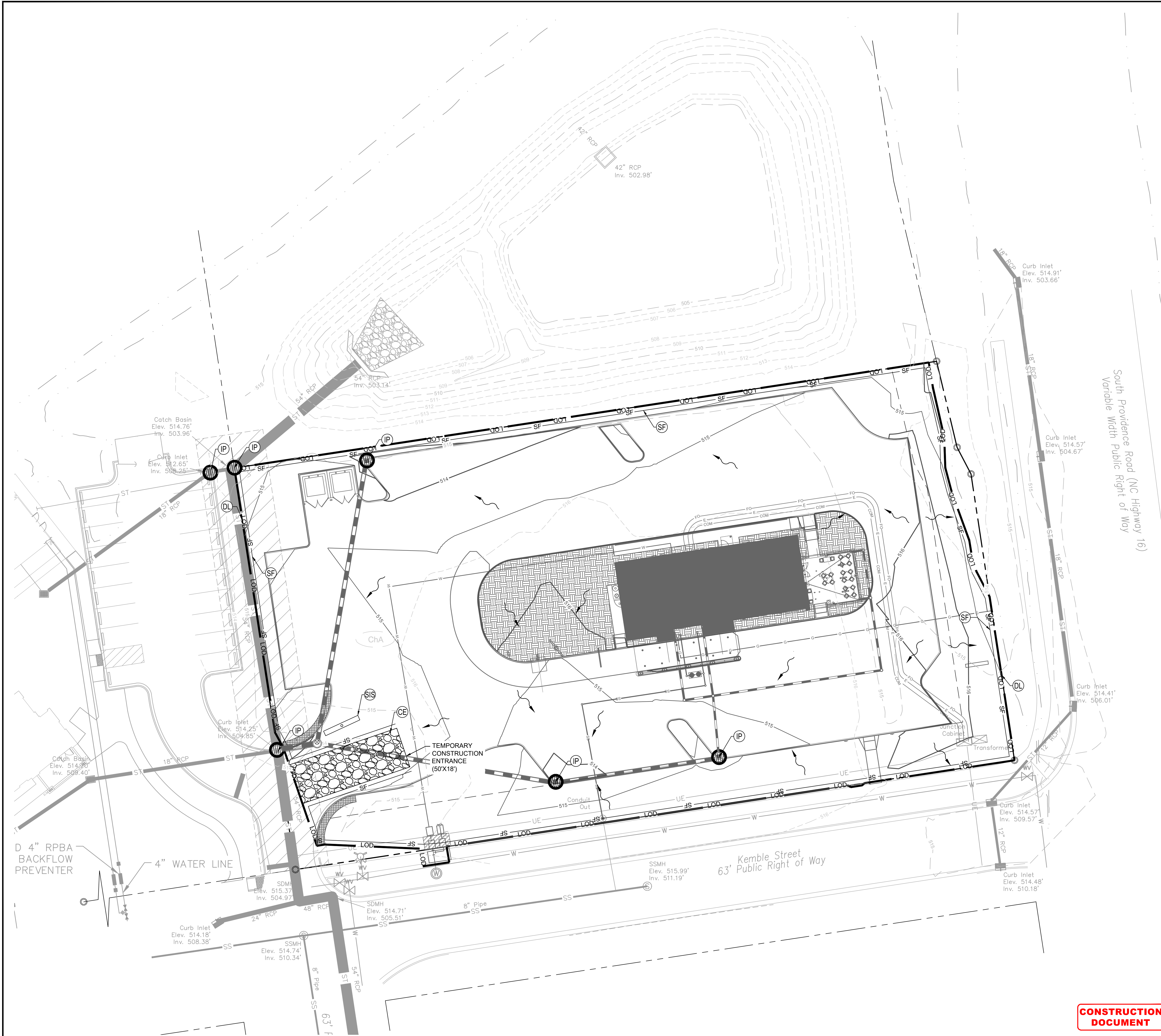
<p><b>PRESCOTT WENDY'S</b></p> <p>PREPARED FOR</p> <p><b>TAR HEEL CAPITOL</b></p> <p>TOWN OF WAXHAW</p> <p>SHEET NUMBER</p> <h1 style="margin: 0;">C201</h1>	<p><b>ESCP PH1</b></p> <p>1000 KEMBLE STREET</p> <p>WAXHAW TOWNSHIP, NC</p>
--	---

017523000	DATE	11/06/2020	SCALE AS SHOWN	DESIGNED BY	MCH	DRAWN BY	MCH	CHECKED BY	MFJ
-----------	------	------------	----------------	-------------	-----	----------	-----	------------	-----

NO.	REVISIONS	DATE	BY

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH IRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE #F-0102

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



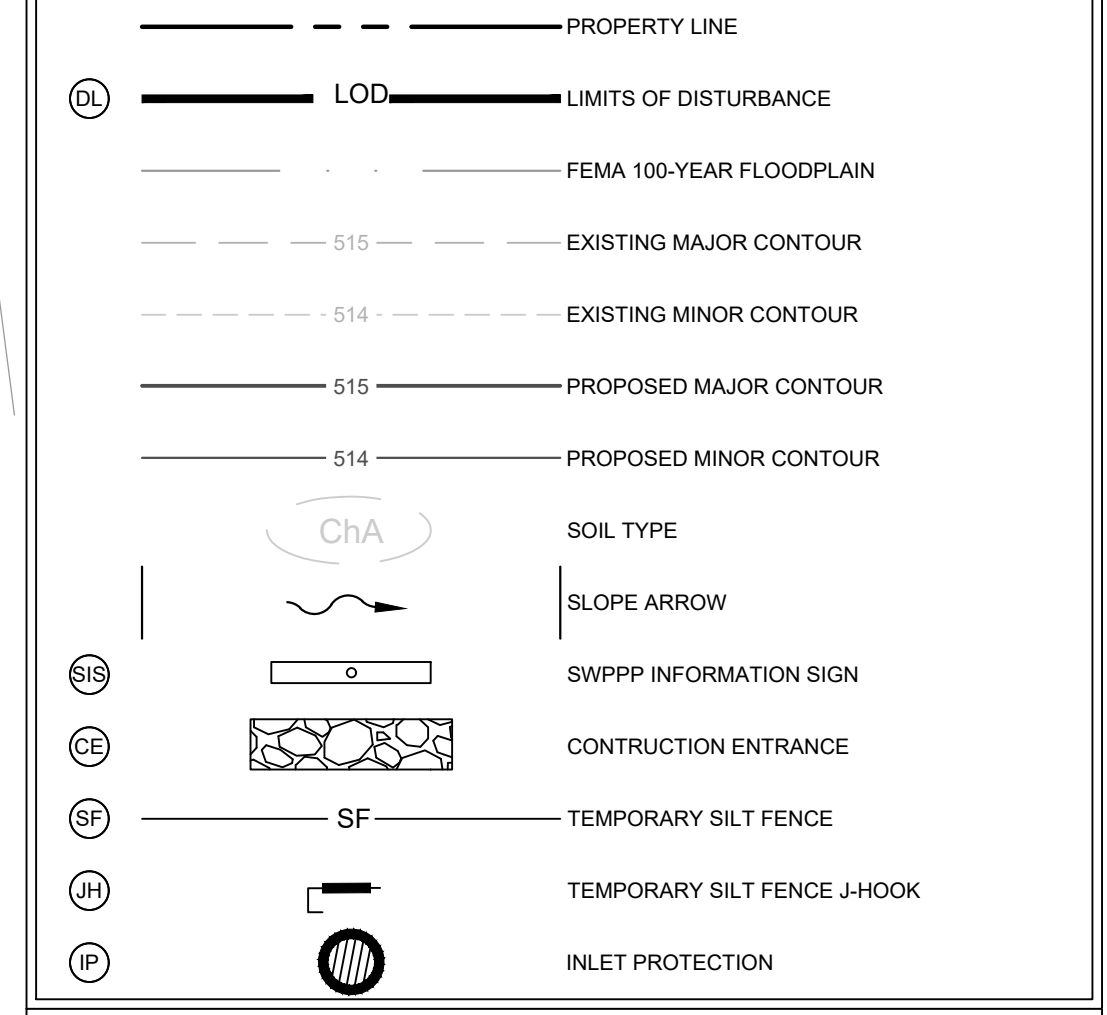
### CONSTRUCTION SEQUENCE

- THE FOLLOWING "CONSTRUCTION SEQUENCE" IS FURNISHED AS A GENERAL GUIDE FOR PREPARATION OF A SEQUENCE OF CONSTRUCTION EVENTS, ADDITIONS, DELETIONS AND MODIFICATIONS SHOULD BE MADE AS APPROPRIATE.
- SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, SILT FENCE, INLET PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- BEGIN EARTHWORK/GRADING/DEMOLITION ACTIVITIES. BEGIN ASPHALT MILLING. BEGIN GRADING OF FILL SLOPES. MAINTAIN AND VERTICALLY ADJUST SILT FENCE THROUGHOUT GRADING ACTIVITIES TO MAINTAIN DRAINAGE PATTERNS TO TEMPORARY SILT FENCE.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE INSPECTOR PRIOR TO ANY NEW PAVEMENT ACTIVITY IN ORDER FOR STAFF TO OBSERVE SITE CONDITION PRIOR TO PAVING.
- DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- GRADED SLOPES AND FILLS ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER SUFFICIENT TO RESTRAIN EROSION WITHIN 15 CALENDAR DAYS AFTER THE COMPLETION OF ANY PHASE OF GRADING. ALL AREAS UPON WHICH NO FURTHER LAND DISTURBING ACTIVITY WILL BE UNDERTAKEN ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER WITHIN 21 CALENDAR DAYS.
- AS CONSTRUCTION PROGRESSES, INSTALL PERMANENT EROSION CONTROL MEASURES SUCH AS RIP RAP APRONS, VELOCITY DISSIPATORS, CHANNEL LINERS, GRAVEL BASE COURSE, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WAXHAW EROSION AND SEDIMENT CONTROL MANUAL.

### WAXHAW EROSION CONTROL NOTES

- On-site burial pits require an on-site demolition landfill permit from the Zoning Administrator.
- Any grading beyond the denuded limits shown on the plan is a violation of the Town's Erosion Control Ordinance and is subject to a fine.
- Grading more than one acre without an approved Erosion Control Plan is a violation of the Town's Erosion Control Ordinance and is subject to a fine.
- All perimeter dikes, swales, ditches, perimeter slopes and all slopes steeper than 3 horizontal to 1 vertical (3:1) shall be provided temporary or permanent stabilization with ground cover as soon as practicable but in any event within 7 calendar days from the last land-disturbing activity.
- All other disturbed areas shall be provided temporary or permanent stabilization with ground cover as soon as practicable but in any event within 14 calendar days from the last land-disturbing activity.
- Additional measures to control erosion and sediment may be required by a representative of the Town of Waxhaw Engineering Division.
- Slopes shall be graded no steeper than 2:1. Fill slopes greater than 10' high require adequate terracing.
- A grading plan must be submitted for any lot grading exceeding one acre that was not previously approved.
- Driveway permit for construction entrances in NCDOT right of way must be presented at pre-construction meeting.

### EROSION KEY NOTE LEGEND



### NOTES TO CONTRACTOR

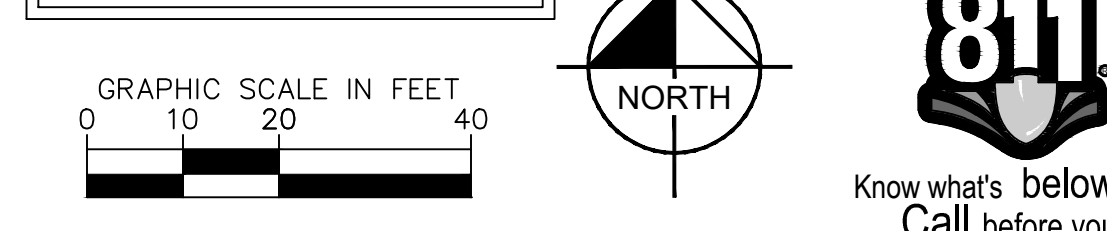
- REFER TO GENERAL NOTES SHEET FOR EROSION CONTROL NOTES.
- TOWN CREEK WATERSHED OF THE YADKIN - FEE DEE RIVER BASIN IS THE RECEIVING WATER BODY OF STORMWATER DISCHARGE FROM THIS SITE.
- ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN. A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT, TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.
- STRIPPLES SHOULD NOT BE LOCATED WITHIN 50 FEET OF ANY STORM DRAIN, BASIN, OR STREAM UNLESS NO ALTERNATIVE IS FEASIBLE.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM, CAN BE FOUND ON THE LAND QUALITY WEB SITE.

### SOIL TYPES LEGEND:

ChA - Chewacla loam, 0 to 2 percent slopes, frequently flooded

### DISTURBED AREA

TOTAL - 1.26 ACRES



PRESCOTT WENDY'S  
PREPARED FOR  
TAR HEEL CAPITOL  
TOWN OF WAXHAW

ESCP PH2  
1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

NO. 01  
DATE 02-05-2019  
REVISIONS  
BY

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH IRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE #F-0102

017523000

DATE

SCALE AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

Know what's below.  
Call before you dig.

SHEET NUMBER

**CONSTRUCTION DOCUMENT**

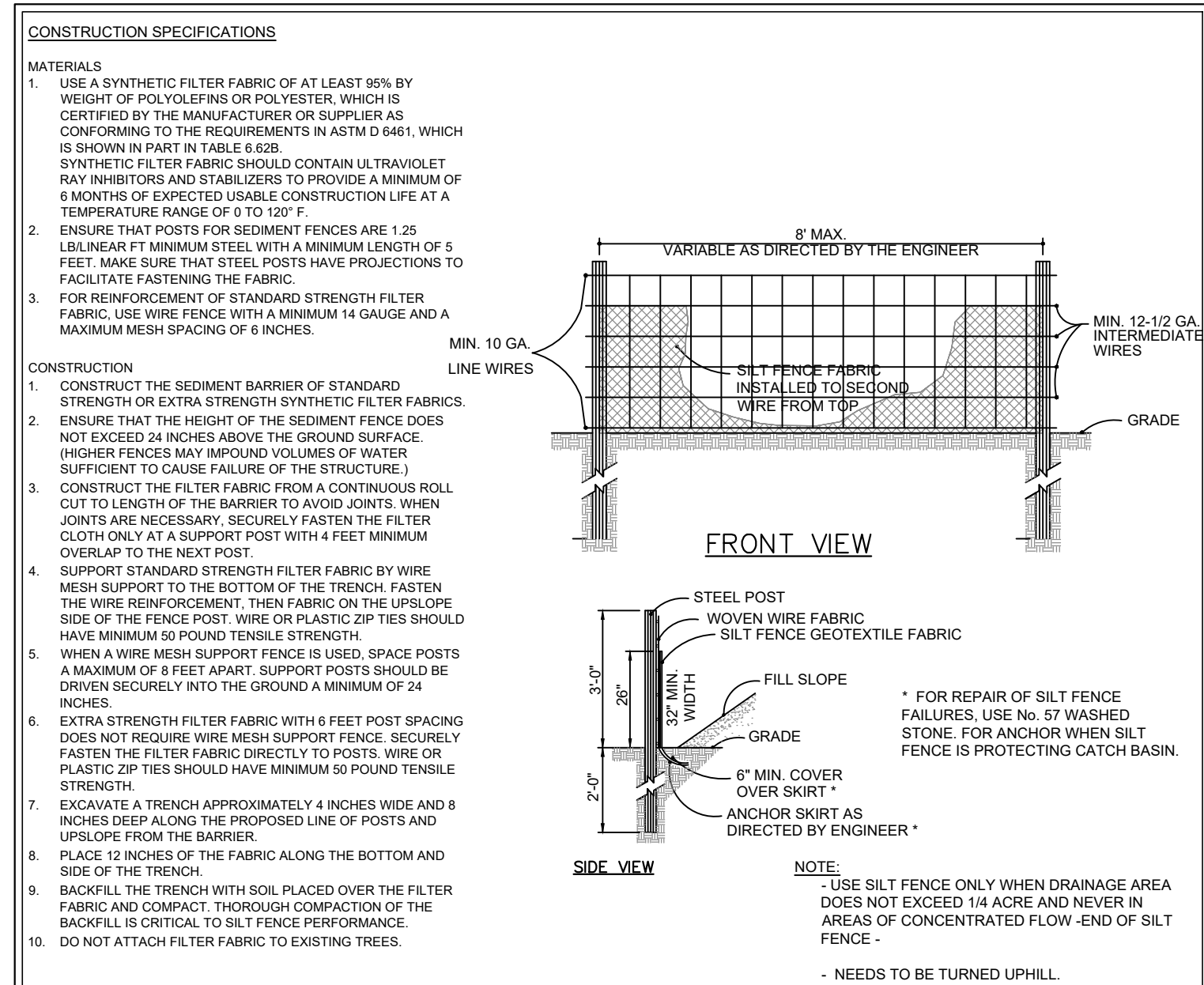
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Hattley, Michon - Sheet: Set: Prescott, Wendy's - Layout: C203 - ESCP DTL5-A - December 09, 2020 10:07:56am C:\Users\Michon.Hattley\Kha\VERT\_Shared\_Library - 017523000\_Prescott\_Wendy's\_V02 - DWG: PlanSheets\C203 - ESCP DTL5.dwg

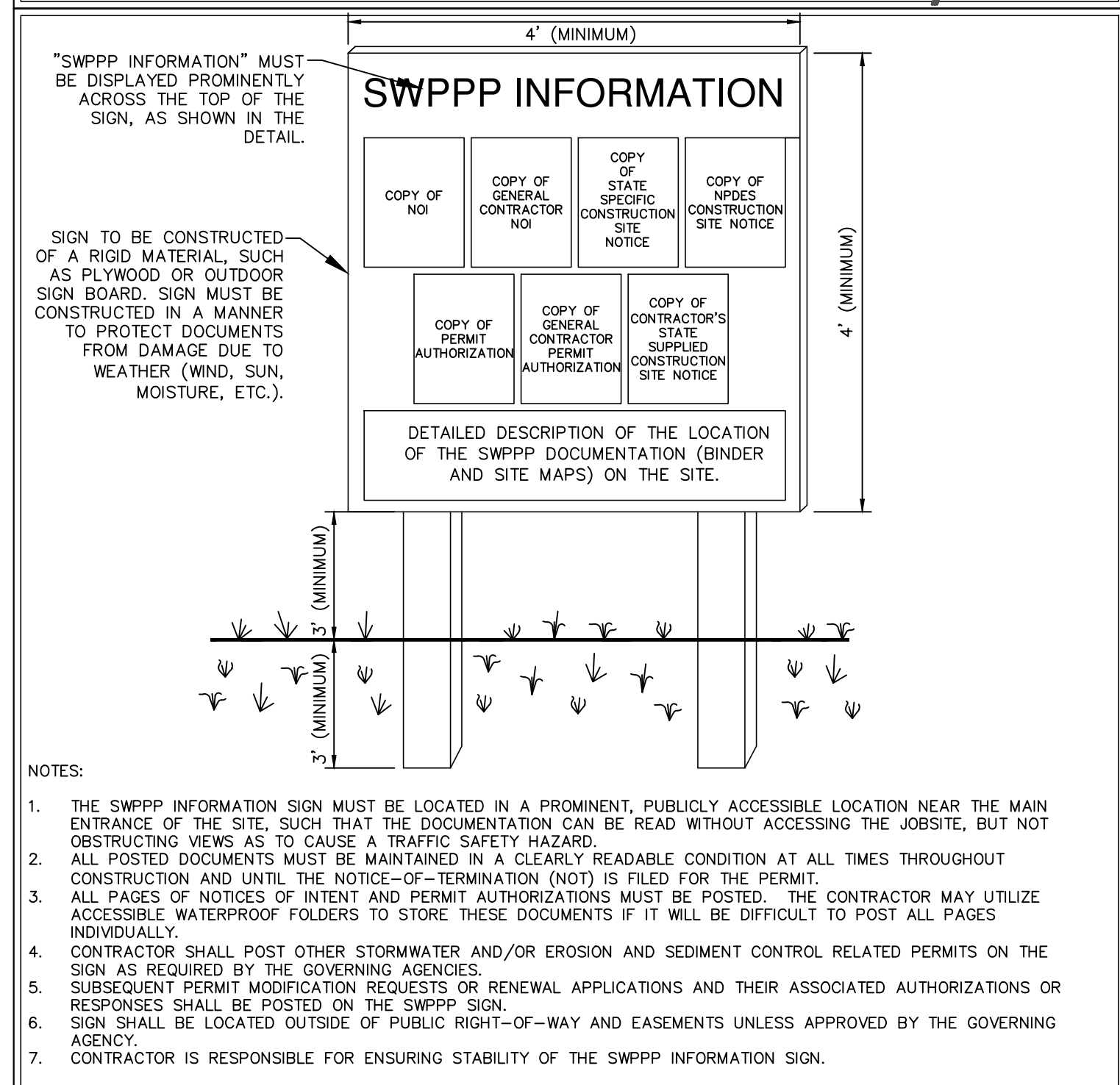
PS PERMANENT SEEDING		TS TEMPORARY SEEDING LATE WINTER/EARLY SPRING	
<b>OVERALL SITE SEEDING, SPRIGGING, AND SODDING</b> SEED, SPRIGGS, & SOD ALL DISTURBED AREAS IN ACCORDANCE WITH LAWN AND GRASSES SPECIFICATIONS AND L104 (SODDING AND SPRIGGING PLAN).			
<b>PERMANENT SEEDING IN AREAS RECEIVING EROSION CONTROL MATTING</b> PREPARE SEEDBED BY RIPPING, CHISELING, HARROWING, OR PLOWING TO DEPTH OF SIX INCHES SO AS TO PRODUCE A LOOSE, FRIABLE SURFACE. REMOVE ALL STONES, BOULDERS, STUMPS, OR DEBRIS FROM THE SURFACE WHICH WOULD PROHIBIT GERMINATION OR PLANT GROWTH.  INCORPORATE INTO THE SOIL 800 TO 1,000 POUNDS OF 10-10-10 FERTILIZER PLUS 500 POUNDS OF 20-PERCENT SUPERPHOSPHATE PER ACRE AND TWO TONS OF DOLOMITIC LIME PER ACRE UNLESS SOIL TESTS INDICATE THAT A LOWER RATE OF LIME CAN BE USED.  SEED AREA AND INSTALL EROSION CONTROL MATTING PER MANUFACTURER'S DETAIL.  MULCH AFTER SEEDING WITH 1.5 TONS OF GRAIN STRAW PER ACRE AND EITHER CRIMP STRAW INTO SOIL OR TACK WITH LIQUID ASPHALT AT 50 GALLONS PER ACRE OR EMULSIFIED ASPHALT AT 300 GALLONS PER ACRE.			
<b>SEEDING MIXTURE</b> "COOL SEASON" SEPTEMBER 1 - FEBRUARY 28 SPECIES RATE (lb/ACRE) SOFT RED WINTER WHEAT 50 RIVIERA BERMUDA (HULLED) 25 RIVIERA BERMUDA (UNHULLED) 25  "WARM SEASON" MARCH 1 - AUGUST 31 SPECIES RATE (lb/ACRE) GERMAN BROWN TOP OR FOX TAIL MULLET 50 RIVIERA BERMUDA (HULLED) 50		<b>SEEDING MIXTURE</b> SPECIES RATE (lb/ACRE) RYE (GRAIN) 120 ANNUAL LESPEDEZA (KOBE IN MOUNTAINS) 50  OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.  <b>SEEDING DATES</b> MOUNTAINS - ABOVE 2500 FT: FEB. 15 - MAY 15 BELOW 2500 FT: FEB. 1 - MAY 1 PIEDMONT - JAN. 1 - MAY 1 COASTAL PLAIN-DEC. 1 - APR. 15  <b>SOIL AMENDMENTS</b> FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 lb/ACRE 10-10-10 FERTILIZER.  <b>MULCH</b> APPLY 4,000 lb/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, NETTING SUCH AS LIGHTWEIGHT PLASTIC, COTTON, JUTE, WIRE, OR PAPER NETS STAPLED OVER THE MULCH ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, OR A MULCH ANCHORING TOOL SUCH AS A DISK SET NEARLY STRAIGHT.  <b>MAINTENANCE</b> REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.	

TS TEMPORARY SEEDING FALL		TS TEMPORARY SEEDING SUMMER	
<b>SEEDING MIXTURE</b> SPECIES RATE (lb/ACRE) RYE (GRAIN) 120  <b>SEEDING DATES</b> MOUNTAINS-AUG. 15 - DEC. 15 COASTAL PLAIN AND PIEDMONT-AUG. 15 - DEC. 30  <b>SOIL AMENDMENTS</b> FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 lb/ACRE 10-10-10 FERTILIZER.  <b>MULCH</b> APPLY 4,000 lb/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, NETTING SUCH AS LIGHTWEIGHT PLASTIC, COTTON, JUTE, WIRE, OR PAPER NETS STAPLED OVER THE MULCH ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, OR A MULCH ANCHORING TOOL SUCH AS A DISK SET NEARLY STRAIGHT.  <b>MAINTENANCE</b> REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 lb/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, COVERSEED WITH 50lb/ACRE KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.			
<b>SEEDING MIXTURE</b> SPECIES RATE (lb/ACRE) GERMAN MILLET 40  IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 lb/ACRE.  <b>SEEDING DATES</b> MOUNTAINS-MAY 15 - AUG. 15 PIEDMONT-MAY 1 - AUG. 15 COASTAL PLAIN-APR. 15 - AUG. 15  <b>SOIL AMENDMENTS</b> FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 lb/ACRE 10-10-10 FERTILIZER.  <b>MULCH</b> APPLY 4,000 lb/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, NETTING SUCH AS LIGHTWEIGHT PLASTIC, COTTON, JUTE, WIRE, OR PAPER NETS STAPLED OVER THE MULCH ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, OR A MULCH ANCHORING TOOL SUCH AS A DISK SET NEARLY STRAIGHT.  <b>MAINTENANCE</b> REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.			

SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:  
 ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.  
 ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

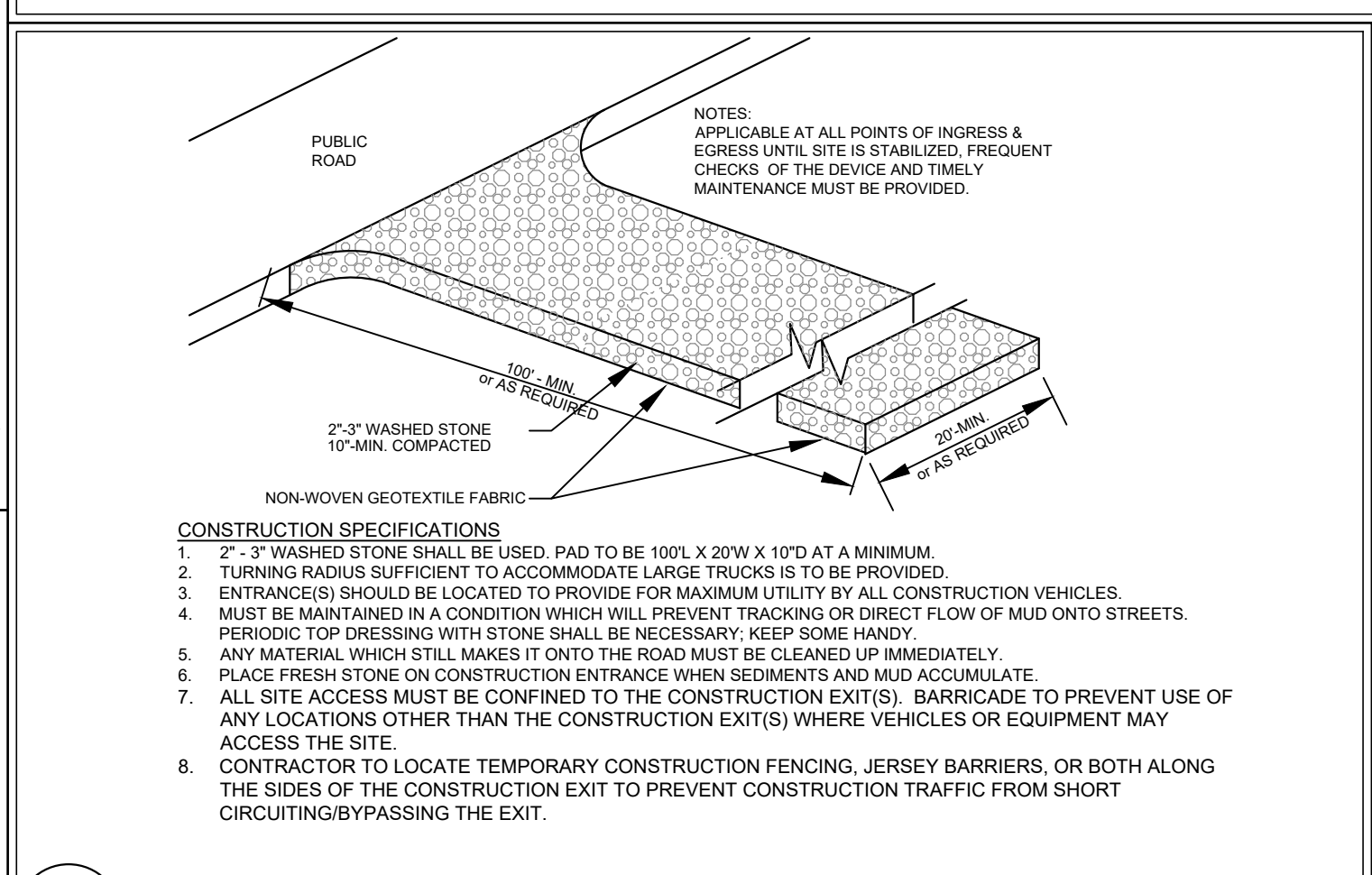


**SF TEMPORARY SILT FENCE**  
Not to Scale

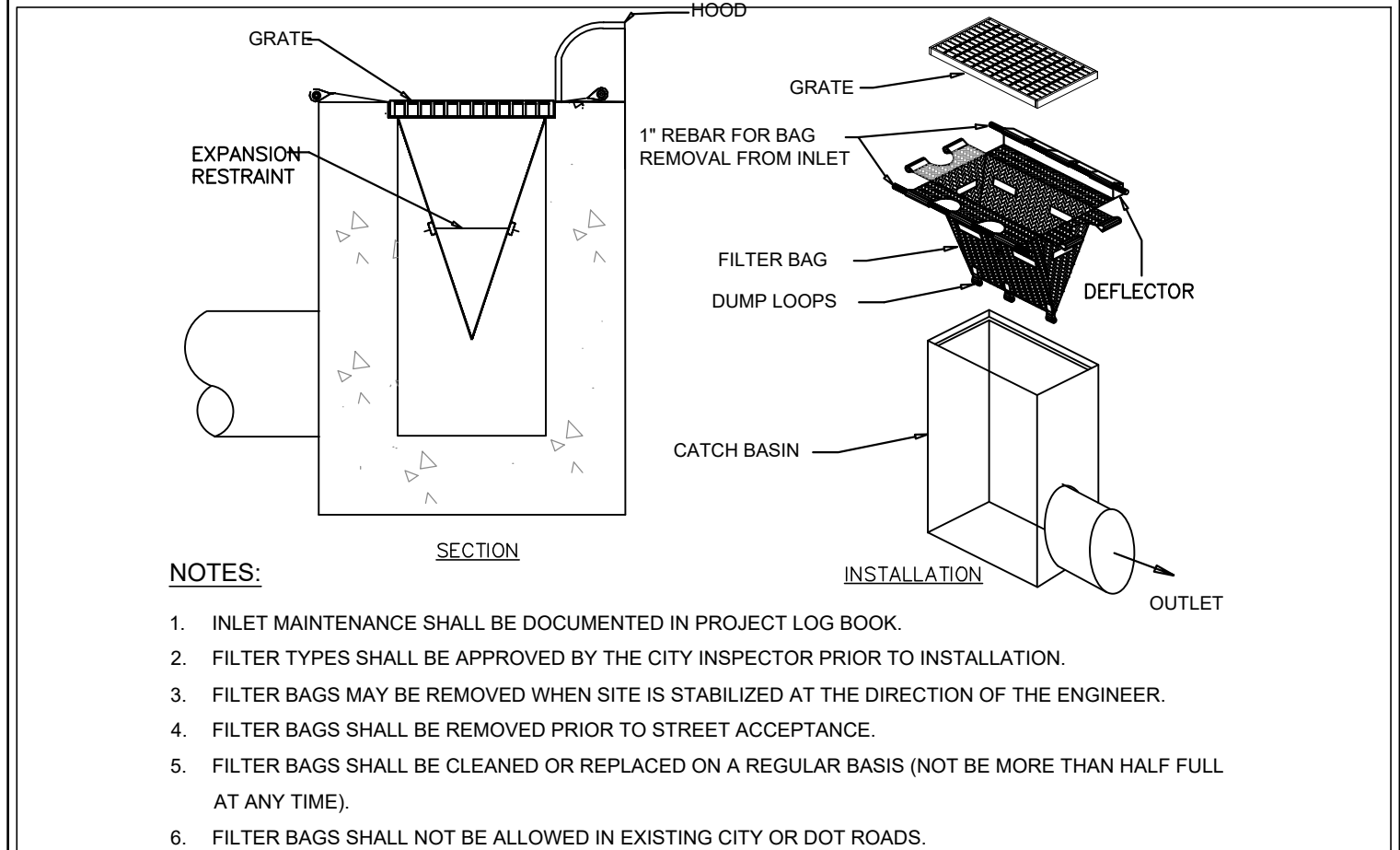


**SIS SWPPP INFORMATION SIGN**  
Not to Scale

**TEMPORARY AND PERMANENT SEEDING**  
Not to Scale



**CE TEMPORARY CONSTRUCTION ENTRANCE**  
Not to Scale



**IP CATCH BASIN INLET PROTECTION**  
Not to Scale



017523000  
 DATE: 11/06/2020  
 SCALE: AS SHOWN  
 DESIGNED BY: MCH  
 DRAWN BY: MCH  
 CHECKED BY: MFJ

REVISIONS  
 No. DATE BY

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH IRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE # 0102

**Kimley-Horn**

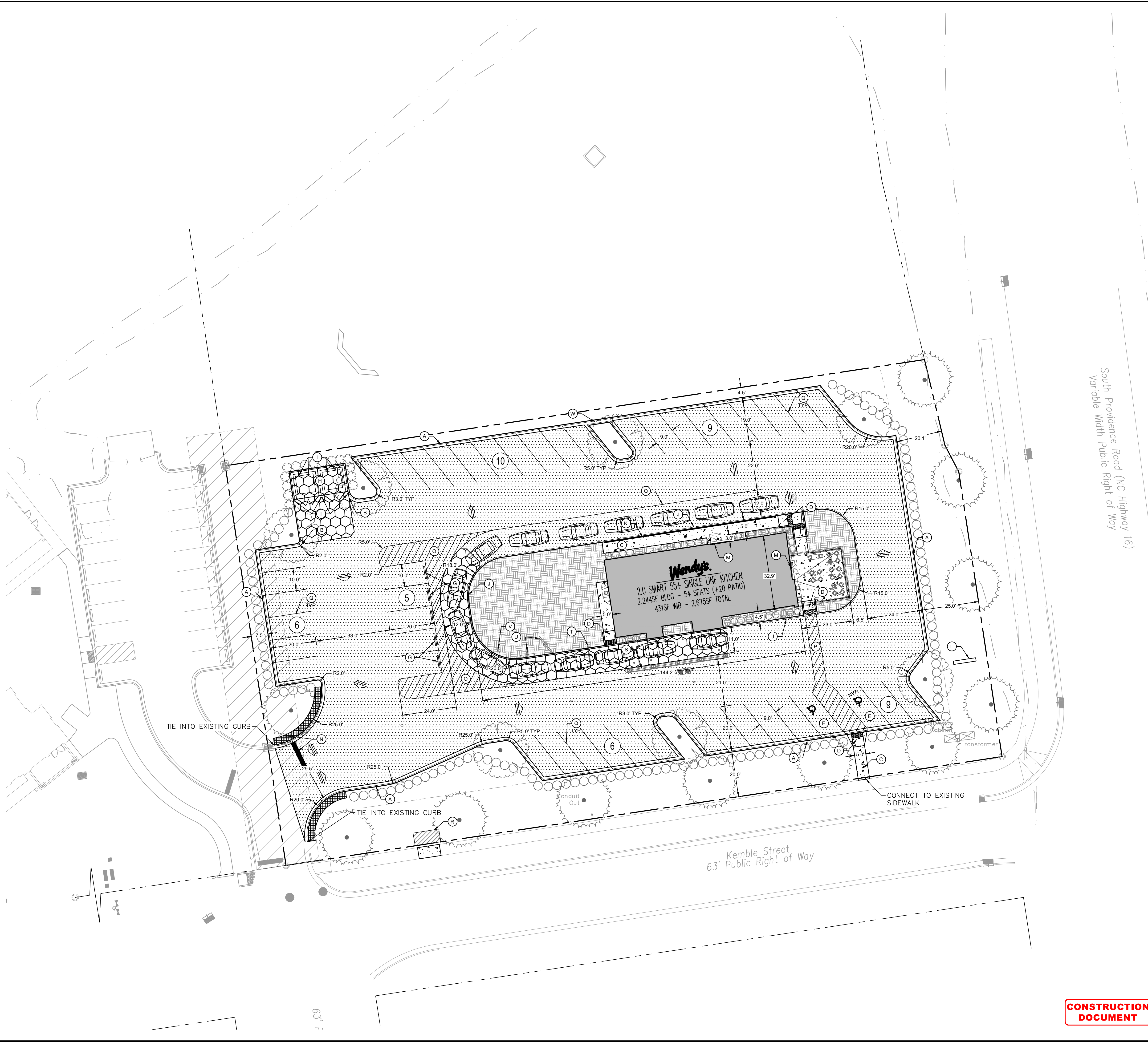
ESCP DTL5-A  
 1000 KEMBLE STREET  
 WAXHAW TOWNSHIP, NC

PRESCOTT WENDY'S  
 PREPARED FOR  
 TAR HEEL CAPITOL  
 TOWN OF WAXHAW  
 NORTH CAROLINA

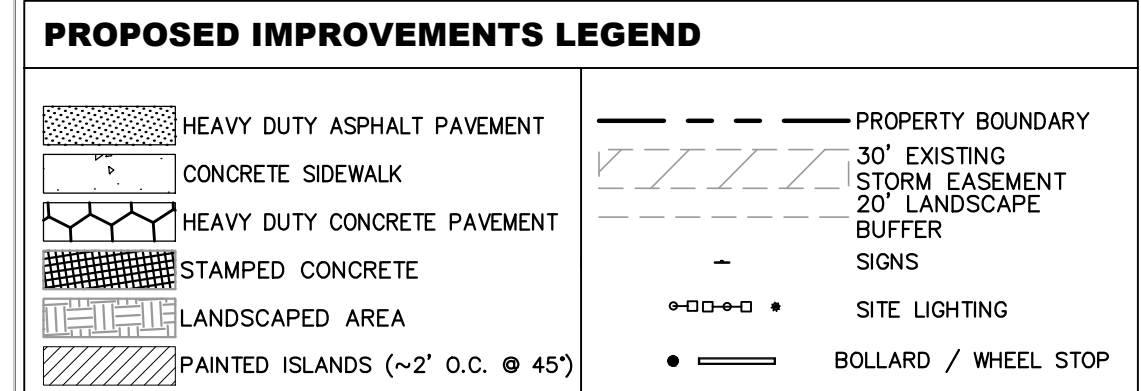
SHEET NUMBER  
**C203**



Plotted By: Hattley, Micah - Sheet Set: Prescott, Wendy's - Layout: C301 - SITE - December 09, 2020 10:10:34am C:\Users\Micah.Hattley\OneDrive\Work\Projects\Prescott\_Wendys\02 - DWG\PlanSheet\C301 - SITE.dwg



- ### SITE DEVELOPMENT PLAN NOTES
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL CONSTRUCTION NOTES, PAVING, STRIPING, GRADING, AND ZONING NOTES.
  - SEE "SURVEY" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
  - SEE "SITE DETAILS" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
  - ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED.
  - DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL, UNLESS OTHERWISE SHOWN.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.



- ### SITE PLAN KEY NOTES
- #### SITE IMPROVEMENTS
- |     |  |
|-----|--|
| (A) | 18" STANDARD CONCRETE CURB AND GUTTER  |
| (B) | GUTTER END TRANSITION  |
| (C) | CONCRETE SIDEWALK PER DETAIL. WIDTH PER PLAN. 2% MAX. CROSS SLOPE, 5% MAX. LONGITUDINAL SLOPE.   |
| (D) | ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES.  |
| (E) | ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL FOR PARKING SPACE SIZE, SIGN AND SYMBOL. (*VAN* INDICATES VAN ACCESSIBLE SPACE).  |
| (F) | SITE LIGHTING POLE / FIXTURE TYPICAL (SEE LIGHTING PLANS FOR DETAILS) (POLE BASE PAINTED TRAFFIC YELLOW)   |
| (G) | CONCRETE WHEEL STOPS (TYPICAL)   |
| (H) | DUMPSTER AND RECYCLE AREA. REFER TO ARCHITECTURAL PLAN FOR DESIGN INFORMATION.   |
| (I) | 6" DIAMETER PIPE BOLLARD. PAINTED TRAFFIC YELLOW, CONCRETE FILLED.   |
| (J) | 6" CONCRETE HEADER CURB  |
| (K) | GUIDE / GUARD RAIL   |
| (L) | PROPOSED MONUMENT SIGN   |
| (M) | PROPOSED BUILDING ENTRANCE/EXIT  |
| (N) | 24" WIDE PAINTED STOP BAR AND STOP SIGN (R1-1)   |
| (O) | PAINTED ISLAND. 4" TRAFFIC WHITE STRIPING 2'-0" O.C. 45° TO THE PARKING SPACE (TYP.) OR TRAFFIC FLOW.  |
| (P) | PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 1/4" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. |
| (Q) | SWSL 1/4" - SINGLE WHITE SOLID LINE - 4" WIDE  |
| (R) | PROPOSED WATER EASEMENT  |
| (S) | SEE ARCHITECTURAL PLANS FOR PORTE COCHERE AND CURB DESIGN  |
| (T) | CANOPY BAR. SEE ARCHITECTURAL PLANS FOR DETAIL   |
| (U) | ORDER STATION. SEE ARCHITECTURAL PLANS FOR DETAIL  |
| (V) | PRE-SELL BOARD. SEE ARCHITECTURAL PLANS FOR DETAIL   |
| (W) | 12" CONCRETE FLUME   |

### ZONING CODE SUMMARY

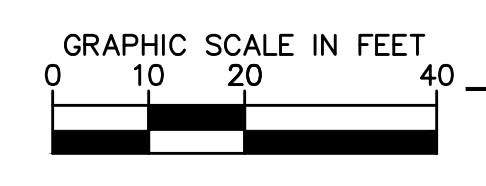
PROJECT NAME:	PRESCOTT WENDY'S
CLIENT NAME:	TAR HEEL CAPITOL
PHONE#:	
PLANS PREPARED BY:	KIMLEY-HORN AND ASSOCIATES
PHONE#:	(704)409-1812
TAX PARCEL ID:	06165437 E
STREET ADDRESS:	1000 KEMBLE STREET WAXHAW, NORTH CAROLINA 28173
ZONING:	CONDITIONAL USE - GENERAL COMMERCIAL (CU-C2)
PROPOSED USE:	RESTAURANT
BUILDING SF:	3,400 SF
LOT SIZE:	1.31 ACRES
JURISDICTION:	TOWN OF WAXHAW
YARD REQUIREMENTS:	
SETBACK (EAST):	20
SIDE YARD (NORTH):	0
SIDE YARD (SOUTH):	20
REAR YARD:	0

### PARKING SUMMARY

PARKING REQUIREMENT: 15 SPACES PER 1000 SF  
 TOTAL PARKING REQUIRED: 34 SPACE INC. 2 ADA (1 VAN)  
 TOTAL PARKING PROVIDED: 45 SPACES INC. 2 ADA (1 VAN)

### OPEN SPACE SUMMARY

PARCEL AREA:	1.31 ACRES (57,064 SF)
TOTAL IMPERVIOUS AREA (PAVEMENT, WALKS, AND BUILDING):	
EXISTING -	0.00 ACRES (0 SF)
PROPOSED -	0.88 ACRES (18,618 SF / 32.6%)



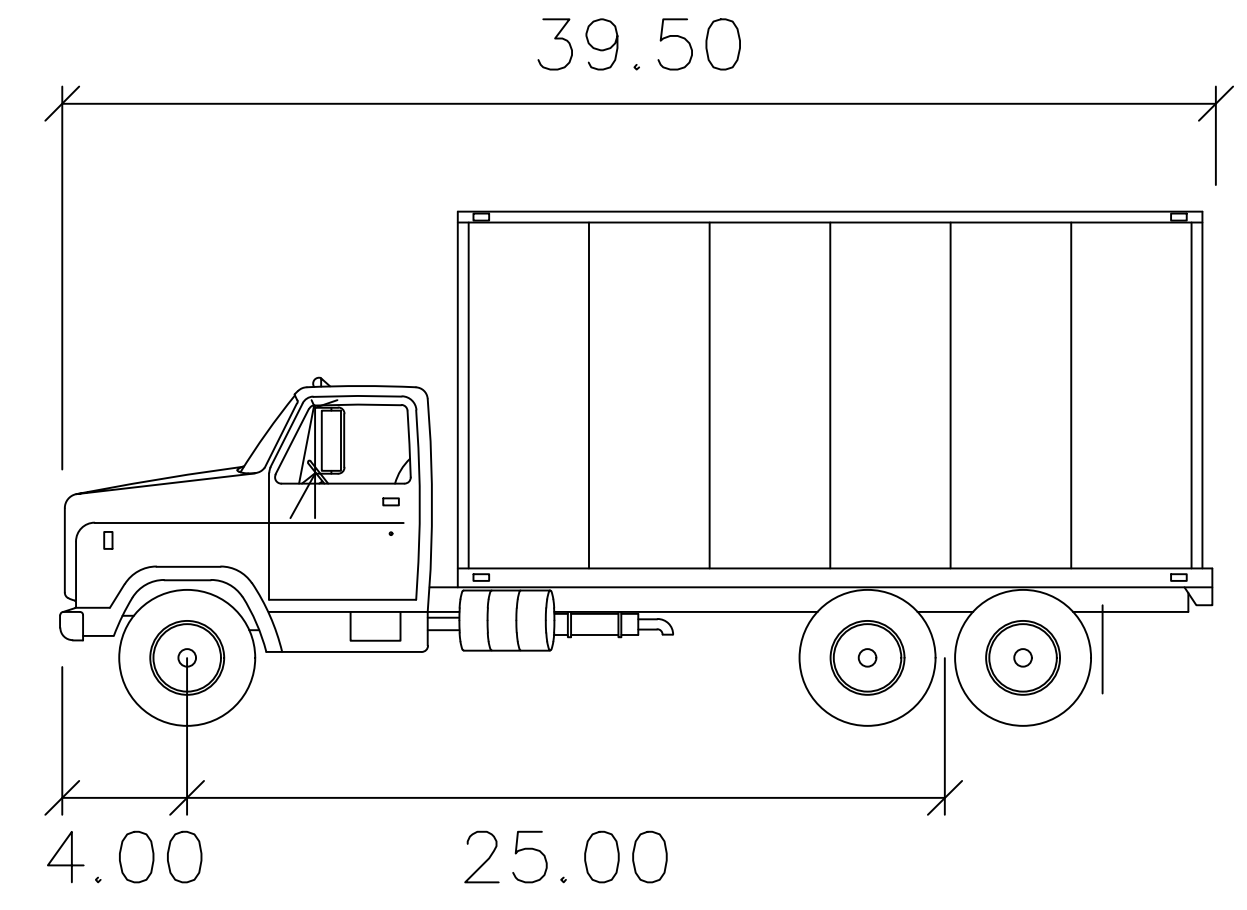
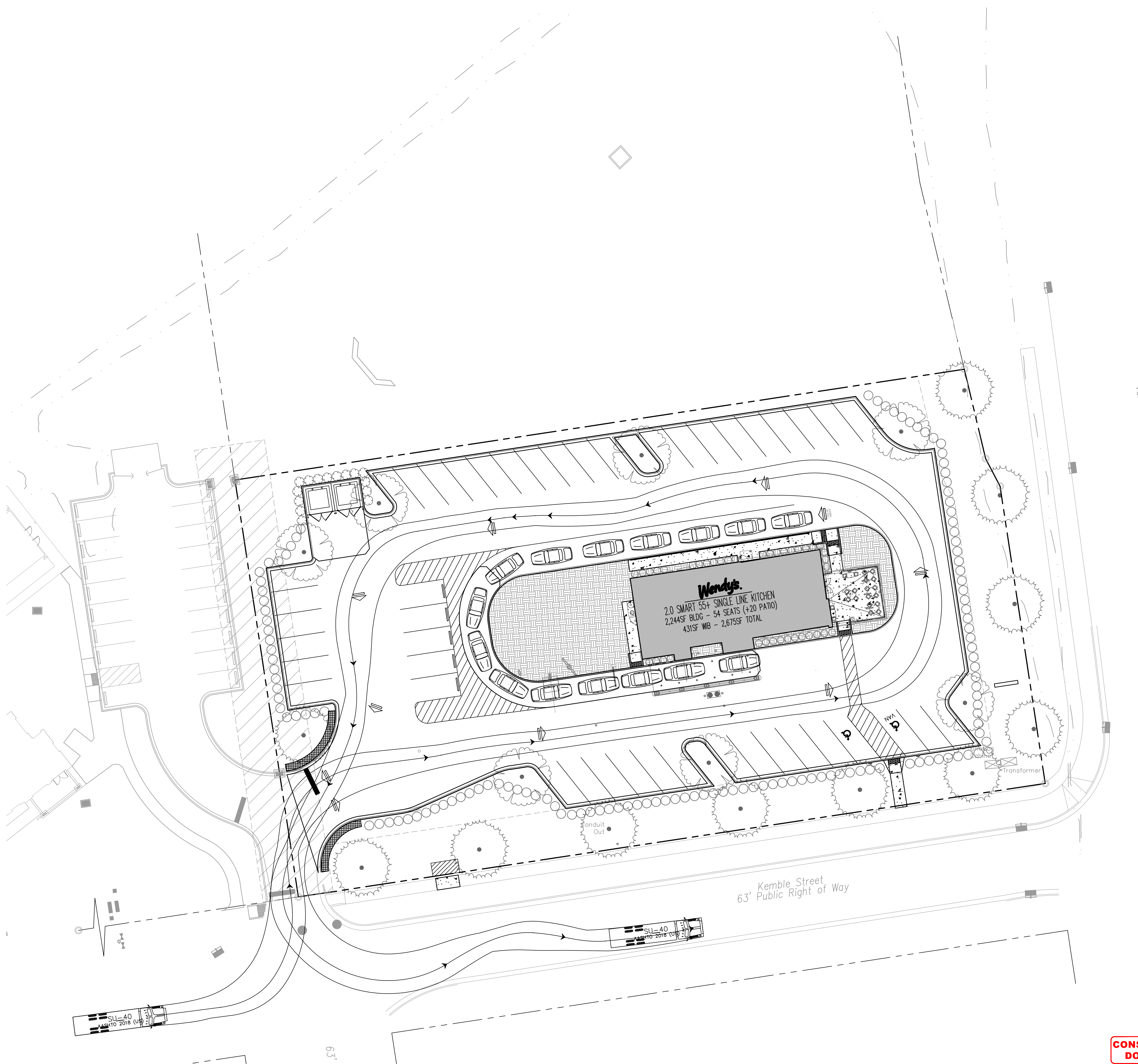
**CONSTRUCTION DOCUMENT**



<b>Kimley-Horn</b>	© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202 WWW.KIMLEY-HORN.COM NC LICENSE #F-0102			
017523000 DATE: 11/06/2020 SCALE: AS SHOWN DESIGNED BY: MCH DRAWN BY: MCH CHECKED BY: MFJ	<b>SITE PLAN</b> 1000 KEMBLE STREET WAXHAW TOWNSHIP, NC			
<b>PRESCOTT WENDY'S</b> PREPARED FOR <b>TAR HEEL CAPITOL</b> TOWN OF WAXHAW	SHEET NUMBER <b>C301</b>			

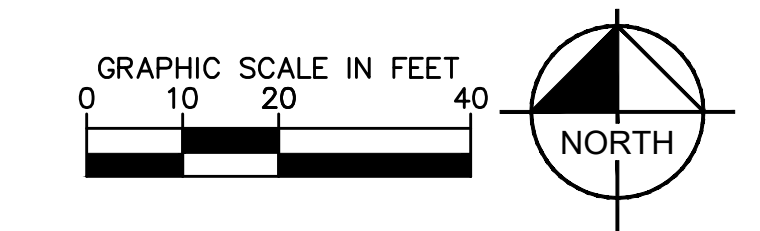
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: hahley, Micah - Sheet Set: Prescott, Wendy's - Layout: C302 - SITE TRUCK TURN - December 09, 2020 10:08:10am C:\Users\Micah.Hahley\OneDrive\Library - 017523000\_Prescott Wendy's 02 - DWG\PlanSheet\C302 - SITE.dwg



SU-40 feet

Width : 8.00  
 Track : 8.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 31.8



**CONSTRUCTION DOCUMENT**

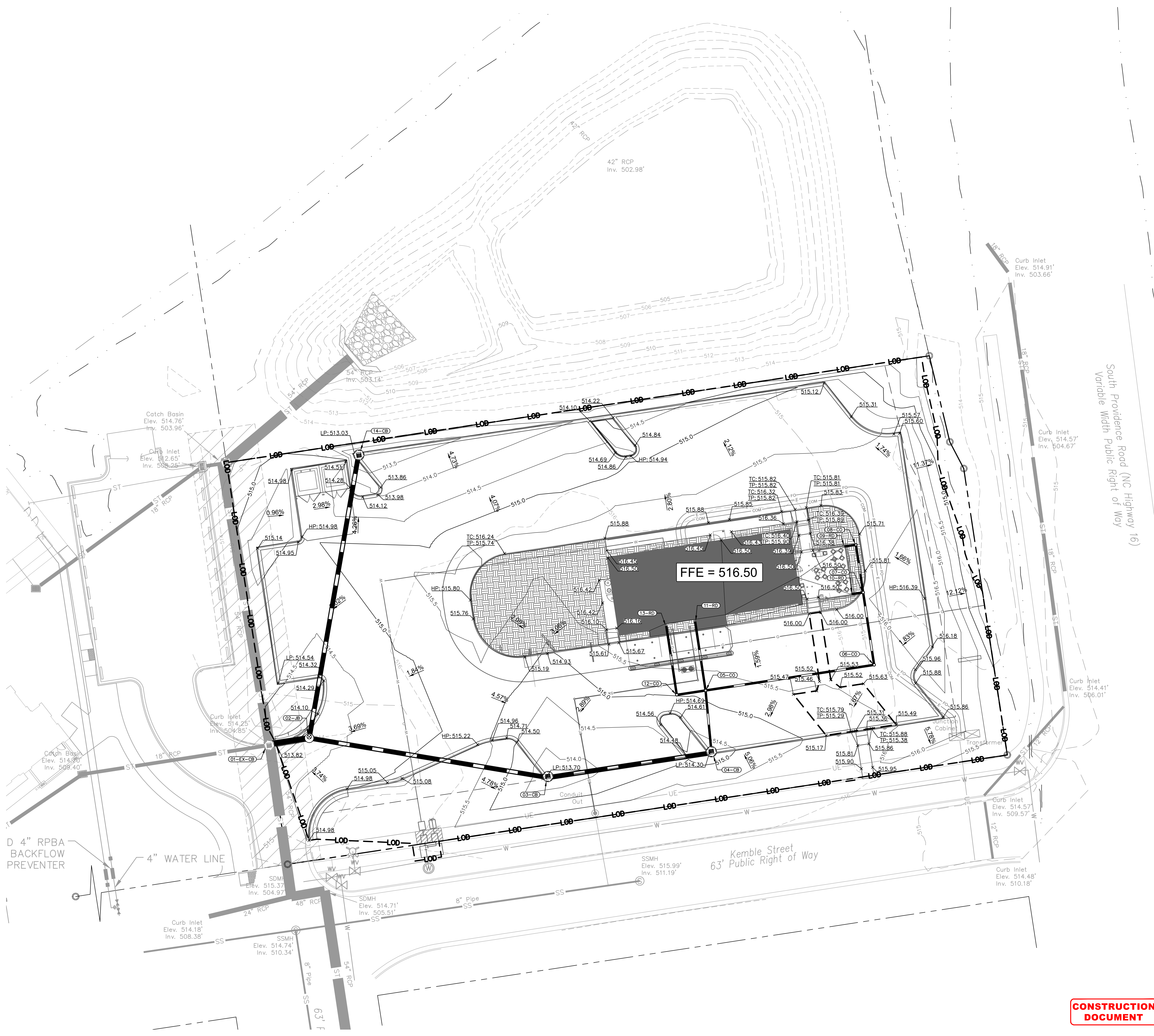


PRESCOTT WENDY'S PREPARED FOR TAR HEEL CAPITOL TOWN OF WAXHAW NORTH CAROLINA	SITE TRUCK TURN 1000 KEMBLE STREET WAXHAW TOWNSHIP, NC	017523000 DATE: 11/06/2020 SCALE: AS SHOWN DESIGNED BY: MCH DRAWN BY: MCH CHECKED BY: MFJ	12/01/2020 M. H. HORN PROFESSIONAL ENGINEER SEAL 046983 STATE OF NORTH CAROLINA 12/01/2020	Kimley>>>Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202 WWW.KIMLEY-HORN.COM NC LICENSE #F-0102	No.	REVISIONS	DATE	BY			

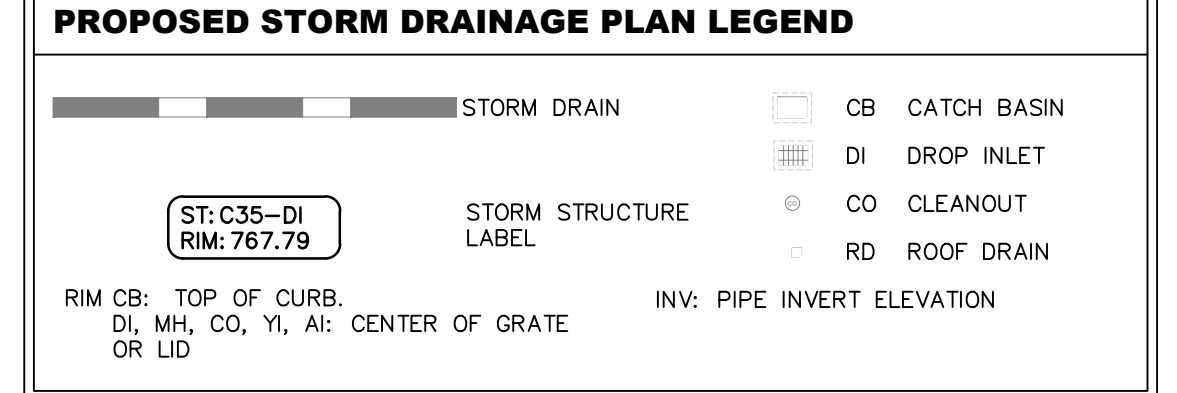
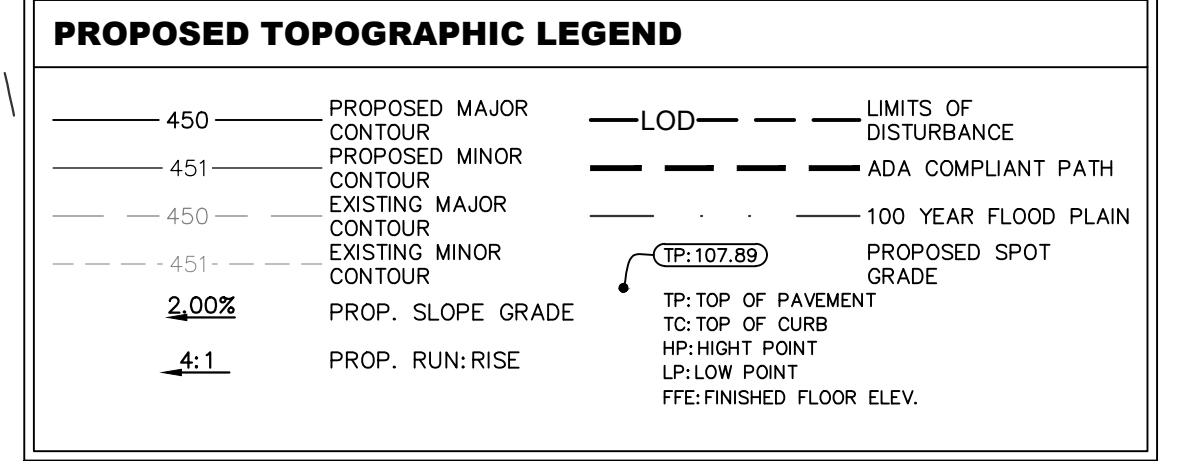
SHEET NUMBER  
**C302**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

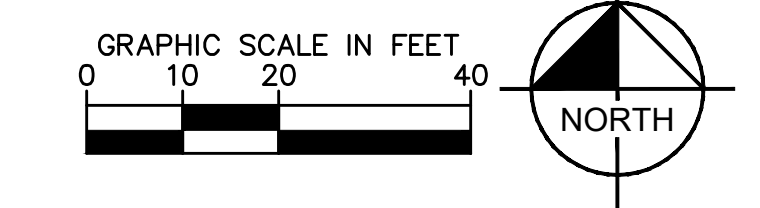
Plotted By: Hattley, Micah - Sheet Set: Prescott, Wendy's - Layout: C401 - GRDG DRNG 0A - December 09, 2020 10:08:31am C:\Users\Micah.Hattley\OneDrive\Shared Library - 017523000 - Prescott, Wendy's V2 - DWG\PlanSheets\C401 - GRDG DRNG.dwg



- ### GRADING NOTES
- REFER TO THE GENERAL NOTES SHEET FOR NOTES PERTAINING TO PAVING, GRADING, ACCESSIBILITY, AND STORM DRAINAGE.
  - EXISTING AND PROPOSED GRADE CONTOURS INTERVALS SHOWN AT 0.5 FEET.
  - ALL SPOT ELEVATIONS WITH TP REPRESENTS THE TOP OF PAVEMENT SURFACE. (ADD 0.50' FOR TOP OF CURB IF SPOT IS SHOWN IN GUTTER PAN OF CURB LINE.)
  - ALL SPOT ELEVATIONS WITH TC REPRESENTS THE TOP OF CURB ELEVATION. (SUBTRACT 0.50' FOR PAVEMENT OR ELEVATION OF GUTTER AT CURB LINE.)
  - RIM ELEVATIONS OF CURB INLETS EQUALS THE TOP OF CURB ELEVATION ABOVE THE FLOW LINE OF GUTTER PAN. RIM ELEVATIONS OF DROP INLETS, MANHOLES, AND CLEANOUTS EQUALS THE CENTER OF GRATE OR LID ELEVATION.
  - ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
  - MANHOLES WITHIN NON PAVED AREAS SHALL BE 6" ABOVE ADJACENT GRADES. UNLESS OTHERWISE SHOWN.
  - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
  - DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- ADA COMPLIANCE**
- CURB RAMP ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
  - PRIVATE CURB RAMP ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH OF THE CURB RAMP, NOT INCLUDING FLARES.
  - ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
  - BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
  - CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.



- ### STORM DRAINAGE ABBREVIATIONS:
- (SEE LATEST NCDOT STDS. MANUAL AND DETAIL SHEETS)
- CB CATCH BASIN (NCDOT STDS. 840.00, .01, .02, .46, .66)
  - US FOUNDRY 5181 FRAME & HOOD AND US FOUNDRY 6003 GRATE
  - DI DROP INLET (NCDOT STDS. 840.00, .14, .15, .46, .66)
  - US FOUNDRY 4139 FRAME AND US FOUNDRY 6002 GRATE
  - MH MANHOLE (NCDOT STDS. 840.00, .31, .32, .46, .54, .66)
  - RD ROOF DRAIN (REF. ARCH/MEP)
  - CO CLEAN-OUT (SEE DETAIL SHEET)
  - FE, HW, EW PIPE INVERT ELEVATION
  - RIM: CB: TOP OF CURB.
  - DI, MH, CO, YI, AI: CENTER OF GRATE OR LID



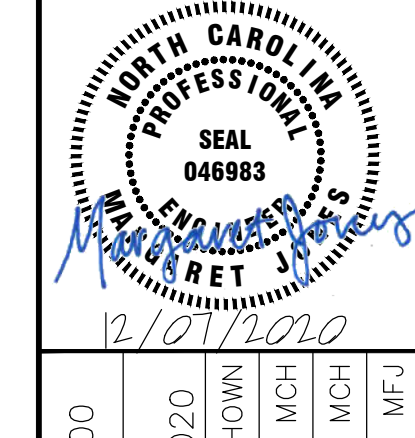
**CONSTRUCTION DOCUMENT**



NO.	REVISIONS	DATE	BY

**Kimley-Horn**

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE # 0102



017523000	DATE	11/06/2020
SCALE	AS SHOWN	
DESIGNED BY	MCH	
DRAWN BY	MFJ	
CHECKED BY	MFJ	

## GRADING AND DRAINAGE PLAN

1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

**PRESCOTT WENDY'S**

PREPARED FOR  
**TAR HEEL CAPITOL**  
 TOWN OF WAXHAW

SHEET NUMBER  
**C401**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

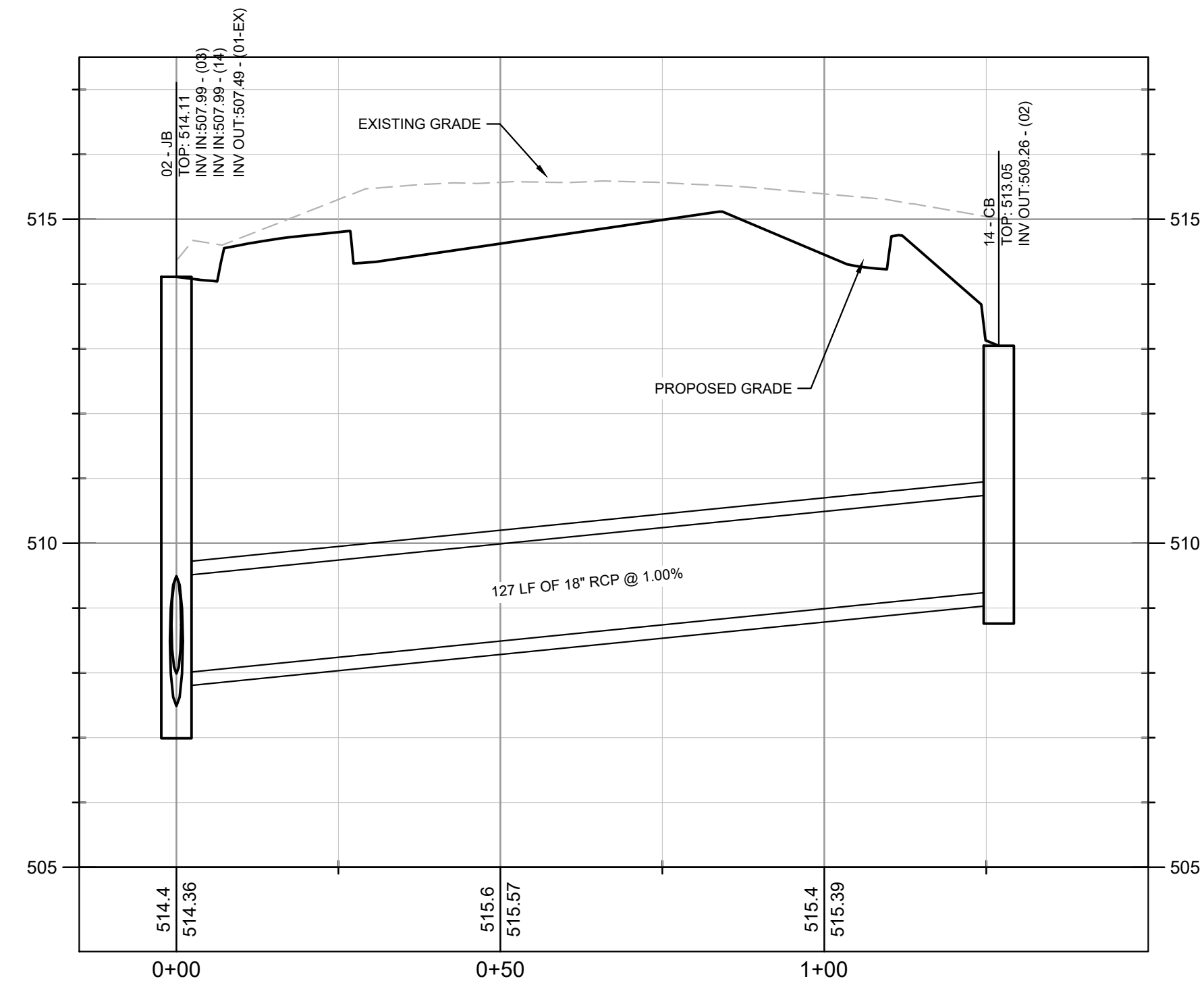
Plotted By: Hately, Mich. Sheet: Prescott, Wendy's Layout: C405 - STRM - PROF. December 09, 2020 10:08:47am C:\Users\Wicoh.Hately\Krl\KRT\_Shared\_Library - 017523000\_Prescott\_Wendys\_V02 - DWG\FirmSheets\C405 - STRM - PROF.dwg

**PROPOSED STORM DRAINAGE PROFILE LEGEND**

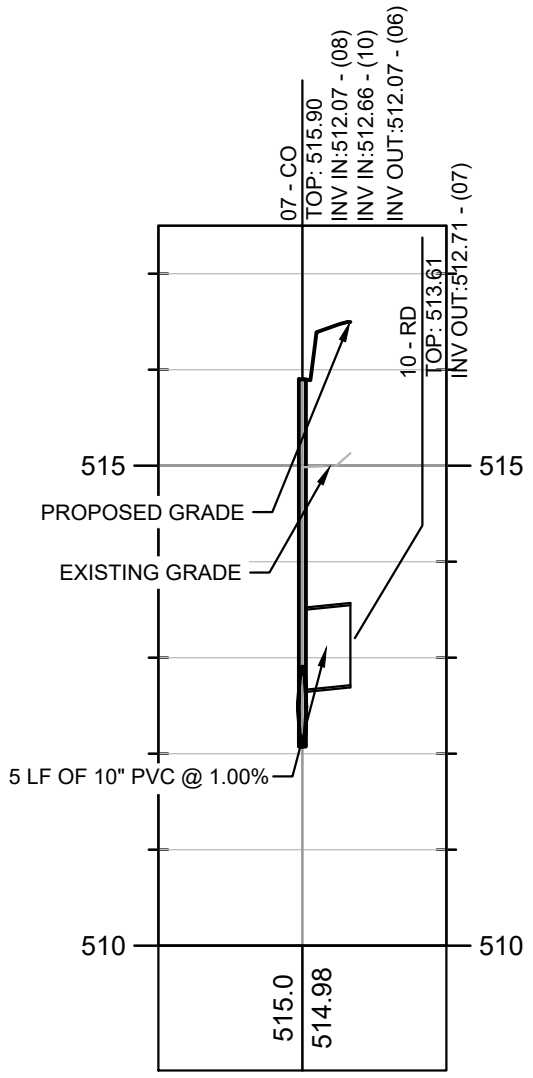
--- EXISTING GRADE  
 --- PROPOSED GRADE

ABBREVIATIONS

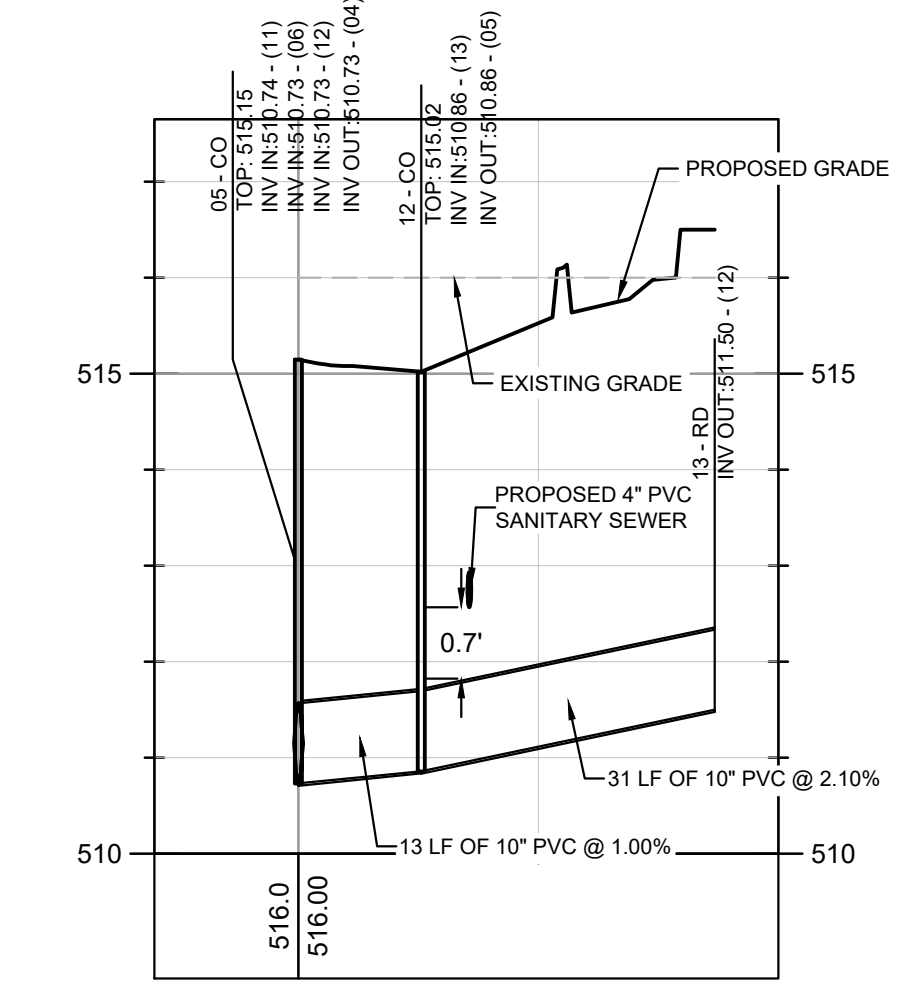
CB CATCH BASIN INV: PIPE INVERT ELEVATION  
 DI DROP INLET RIM CB: TOP OF CURB,  
 CO CLEANOUT DI, MH, CO: CENTER OF GRADE  
 RD ROOF DRAIN OR LID



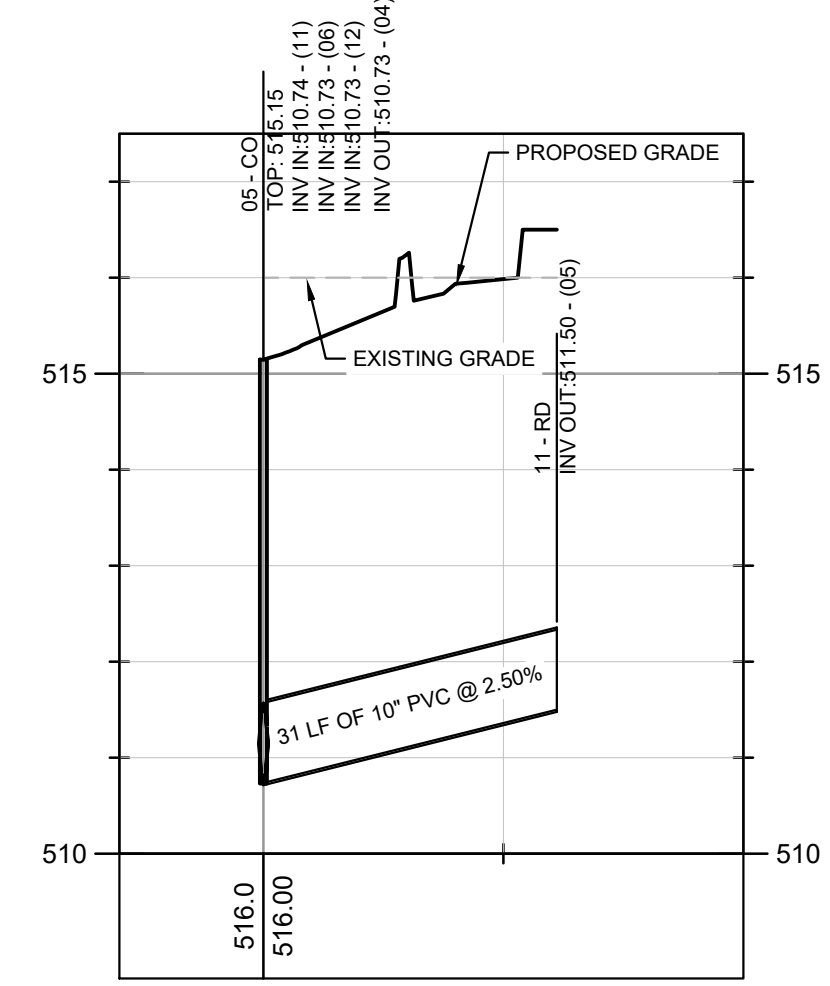
**PROFILE VIEW**  
 STRM 02 TO 14  
 1" = 20' HORZ.  
 1" = 2' VERT.



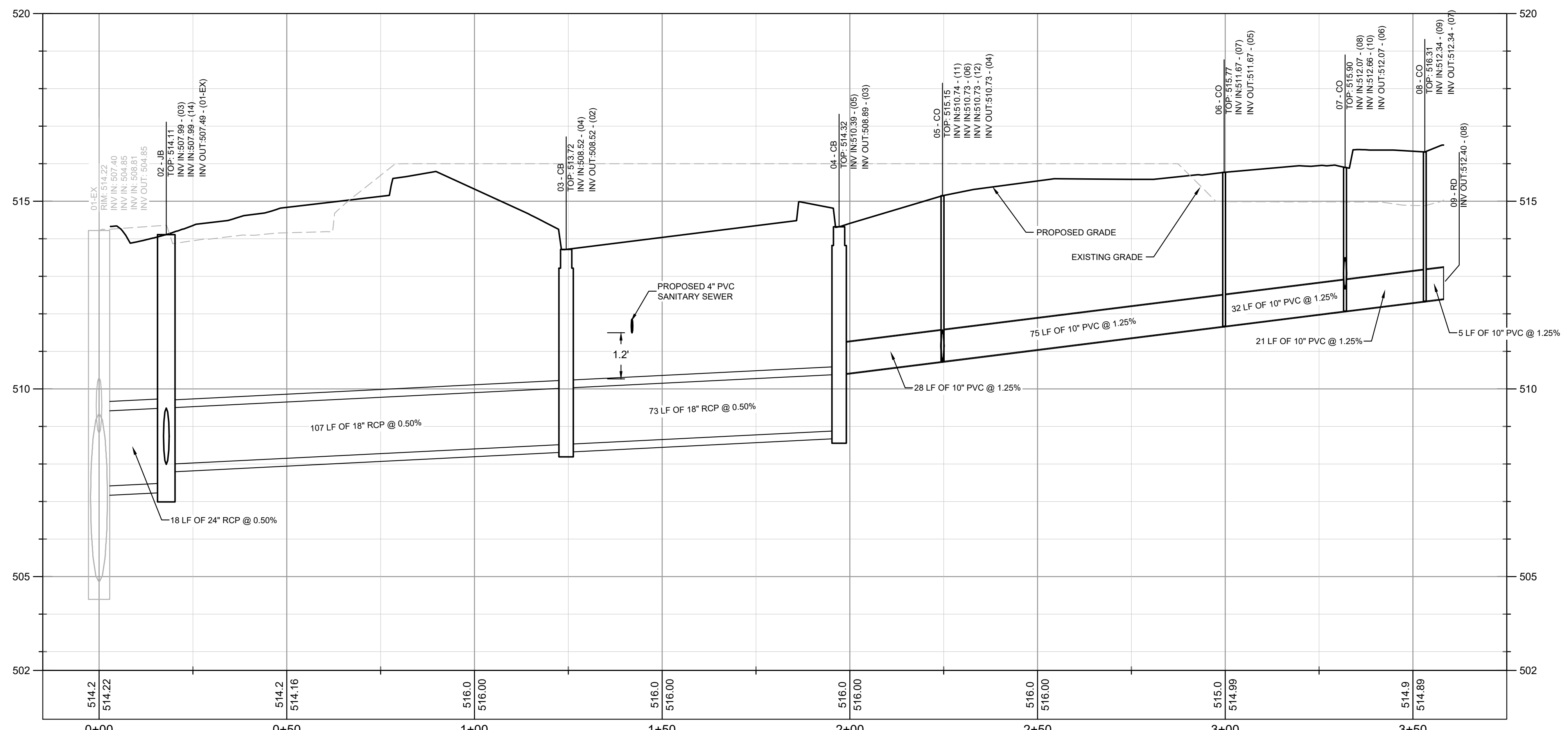
**PROFILE VIEW**  
 STRM 06 TO 09  
 1" = 20' HORZ.  
 1" = 2' VERT.



**PROFILE VIEW**  
 STRM 04 TO 12  
 1" = 20' HORZ.  
 1" = 2' VERT.



**PROFILE VIEW**  
 STRM 04 TO 10  
 1" = 20' HORZ.  
 1" = 2' VERT.



**PROFILE VIEW**  
 STRM 03 TO 08  
 1" = 20' HORZ.  
 1" = 2' VERT.

**CONSTRUCTION DOCUMENT**

**Kimley-Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE #F-0102



017523000	DATE	11/06/2020	SCALE	AS SHOWN	DESIGNED BY	MCH	DRAWN BY	MCH	CHECKED BY	MFJ
-----------	------	------------	-------	----------	-------------	-----	----------	-----	------------	-----

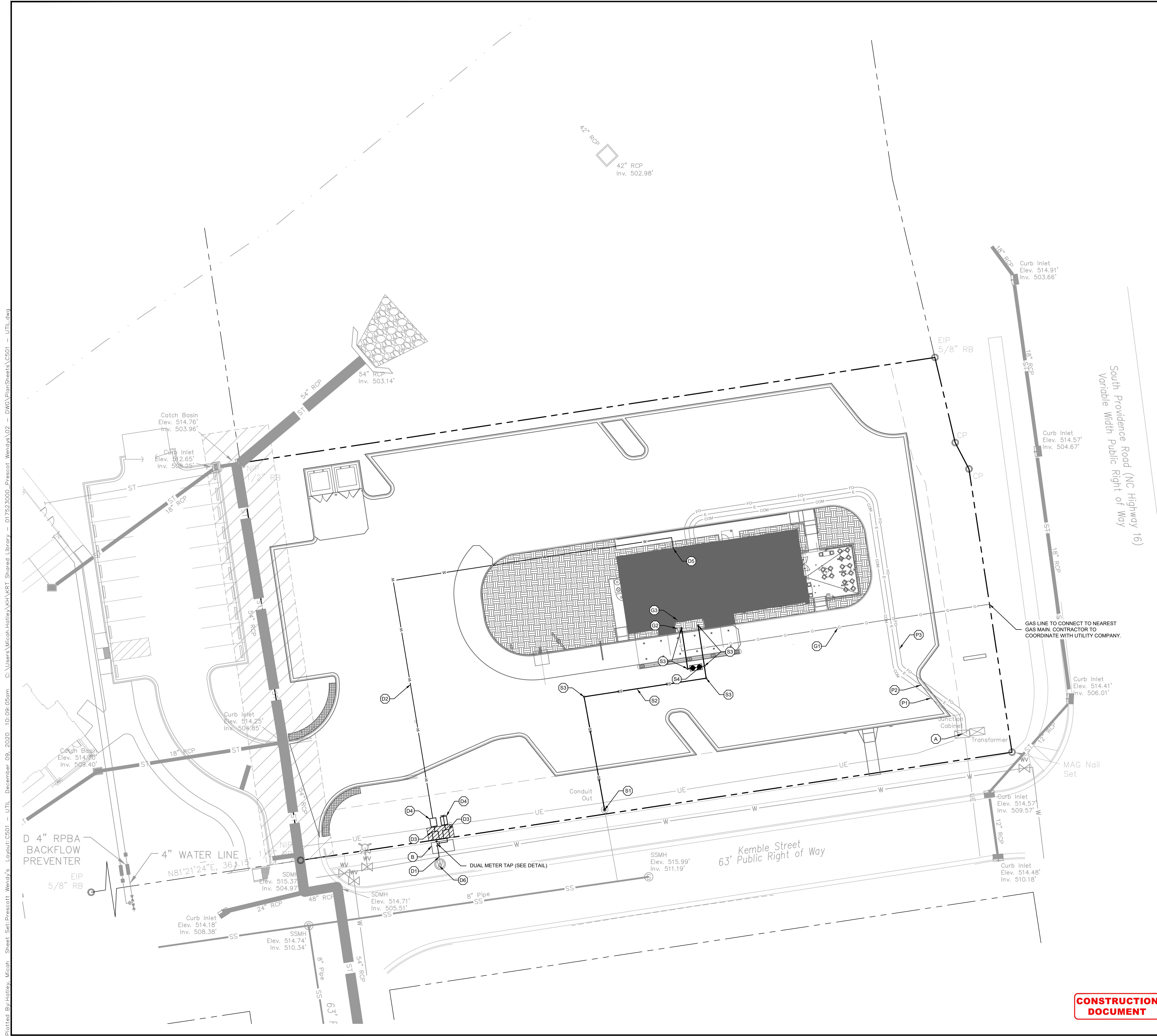
**STORM PROFILES**  
 1000 KEMBLE STREET  
 WAXHAW TOWNSHIP, NC

**PRESCOTT WENDY'S**  
 PREPARED FOR  
**TAR HEEL CAPITOL**  
 TOWN OF WAXHAW  
 NORTH CAROLINA

SHEET NUMBER  
**C405**

No.	REVISIONS	DATE	BY

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- UTILITY PLAN NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL NOTES AND ZONING NOTES.
  - REFER TO GENERAL NOTES SHEET FOR GENERAL, WATER UTILITY, AND SANITARY SEWER, NOTES, MATERIALS, AND REQUIREMENTS.
  - SEE "SURVEY" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE, AND EXISTING UTILITY LOCATIONS AND SIZES.
  - PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES ROUNDED TO THE NEAREST FOOT.
  - ADJUSTMENTS OF EXISTING MANHOLE CASTINGS TO GRADE TO A MAXIMUM OF 12 INCHES SHALL BE MADE USING PRECAST CONCRETE ADJUSTING RINGS PROVIDED THE TOTAL HEIGHT OF EXISTING AND NEW ADJUSTING RINGS DOES NOT EXCEED 12 INCHES.
  - ADJUSTMENTS OF CASTINGS WHERE THE TOTAL HEIGHT OF ADJUSTING RINGS WOULD EXCEED 12 INCHES SHALL BE MADE BY REPLACING THE CONE AND/OR BARREL SECTION OF THE STRUCTURE.
- CONTRACTOR SHALL REFER TO ARCH / MEP PLANS FOR EXACT UTILITY ENTRANCE LOCATIONS.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SYSTEM ARE PROHIBITED.
- TAMPER SWITCH CONDUIT REQUIRED ON GATE VALVES, AND BACKFLOW PREVENTER ASSEMBLIES LOCATED ABOVE-GROUND. VALVES INSTALLED BELOW GROUND DO NOT REQUIRE TAMPER SWITCHES UNLESS NOTED OTHERWISE BY LOCAL AUTHORITY HAVING JURISDICTION.

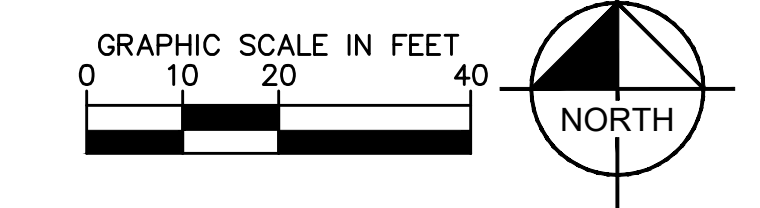
**CAUTION!!**  
**CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

- POWER - LIGHTING - COMMUNICATION - GAS LEGEND**
- |   |                   |   |                              |
|---|-------------------|---|------------------------------|
| -E-   | POWER             | E | METER, PULL BOX              |
| -OE-  | OVERHEAD ELECTRIC | T | TRANSFORMER, POWER POLE      |
| -COM-   | COMMUNICATION     | C | COMMUNICATION, TELEPHONE BOX |
| -FO-  | FIBER OPTIC       | G | GAS METER / VALVE            |
| -G-   | GAS LINE          | S | SITE LIGHTING                |
| COMMUNICATION LINE (INCLUDES DATA, TV, TELEPHONE) |                   |   |                              |

- PROPOSED SANITARY - GRAVITY PLAN LEGEND**
- |       |                          |    |             |
|-------|--------------------------|----|-------------|
| SS    | SANITARY SEWER MAIN      | S  | MH MANHOLE  |
| SS-MH | SANITARY STRUCTURE LABEL | CO | CLEANOUT    |
|       |                          | GT | GREASE TRAP |
- RIM: MH, CO: CENTER OF LID ELEVATION  
 INV: PIPE INVERT ELEVATION

**UTILITY KEYNOTE LEGEND**

- GENERAL KEYNOTES**
- (A) EXISTING UTILITY JUNCTION BOX
  - (B) OPEN CUT TRENCH. REMOVE EXISTING PAVEMENT, CURB, (SIDEWALK) TO FACILITATE UTILITY INSTALLATION. SAWCUT A CLEAN EDGE ON BOTH SIDES OF TRENCH. THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORATION OF THE EXISTING STREET PAVING AND ANY LAND COVER OR STRUCTURE TO ITS ORIGINAL OR BETTER CONDITION.
- SANITARY SEWER KEYNOTES**
- (S1) SANITARY SEWER LINE TO CONNECT TO EXISTING CLEANOUT. CONTRACTOR TO VERIFY INVERT PRIOR TO ANY SANITARY SEWER INSTALLATION.
  - (S2) PRIVATE 4" PVC SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE. COORDINATE WITH ARCH / MEP PLANS.
  - (S3) CLEANOUT(S) - (H-20" TRAFFIC RATED IN ALL PAVED AREAS).
  - (S4) 275 GALLON GREASE INTERCEPTOR. REFER TO ARCH/MEP PLANS FOR DETAIL.
- POWER - COMMUNICATION (TELEPHONE, FIBER OPTIC, DATA, TV) KEYNOTES**
- (P1) PROPOSED APPROXIMATE LOCATION OF UNDERGROUND COMMUNICATIONS TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH TELEPHONE COMPANY BEFORE THE INSTALLATION OF UNDERGROUND COMMUNICATIONS ON EXACT LOCATION AND INSTALLATION PROCEDURES.
  - (P2) PROPOSED APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ELECTRIC COMPANY (DUKE ENERGY) BEFORE THE INSTALLATION OF UNDERGROUND ELECTRIC LINES ON EXACT LOCATION AND INSTALLATION PROCEDURES.
  - (P3) PROPOSED APPROXIMATE LOCATION OF UNDERGROUND FIBER OPTIC CABLE TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH CABLE COMPANY BEFORE THE INSTALLATION OF UNDERGROUND FIBER OPTIC CABLE ON EXACT LOCATION AND INSTALLATION PROCEDURES.
  - (P4) ELECTRIC CONDUIT TO MONUMENT SIGNS - (#) 1" CONDUITS.
  - (P5) ELECTRIC CONDUIT TO LIGHTING FIXTURE - (#) 1" CONDUITS.
  - (P6) LIGHTING FIXTURE - (#) 1" CONDUITS. SEE LIGHTING PLAN BY OTHERS.
- GAS SERVICE KEYNOTES**
- (G1) GAS SERVICE BY UTILITY COMPANY. CONTRACTOR TO COORDINATE UTILITY CONNECTION WITH THE UNION COUNTY PUBLIC UTILITIES.
  - (G2) GAS METER LOCATION. REFER TO ARCH/MEP PLANS.
  - (G3) 2 1/2" GAS SERVICE TO BUILDING.
- DOMESTIC WATER LINE DISTRIBUTION KEYNOTES**
- (D1) DOMESTIC CONNECTION TO EXISTING 8" WATER MAIN WITH 1 1/2" CORPORATION STOP. SEE DETAIL #5.
  - (D2) 1 1/2" DOMESTIC WATER LINE WITH METER. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH UNION COUNTY PUBLIC WORKS DEPARTMENT.
  - (D3) 1 1/2" WATER METER BOX. SEE DETAIL #29.
  - (D4) 1 1/2" DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY WITHIN INSULATED ENCLOSURE INSTALLED PER UNION COUNTY PUBLIC WORKS DEPARTMENT REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER UNION COUNTY PUBLIC WORKS REQUIREMENTS. SEE DETAIL SHEET.
  - (D5) 1 1/2" DOMESTIC SERVICE ENTRY LOCATION INTO BUILDING. REFER ARCH/MEP PLANS.
  - (D6) EXISTING WATER METER TO BE ABANDONED.



**CONSTRUCTION DOCUMENT**



NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE #F-0102

**SEAL**  
 046983  
 PRESCOTT WENDY'S  
 12/01/2020  
 DATE: 11/06/2020  
 SCALE: AS SHOWN  
 DESIGNED BY: MCH  
 DRAWN BY: MCH  
 CHECKED BY: MFJ

**UTILITY PLAN**  
 1000 KEMBLE STREET  
 WAX-HAW TOWNSHIP, NC

**PRESCOTT WENDY'S**  
 PREPARED FOR  
**TAR HEEL CAPITOL**  
 TOWN OF WAX-HAW  
 NORTH CAROLINA

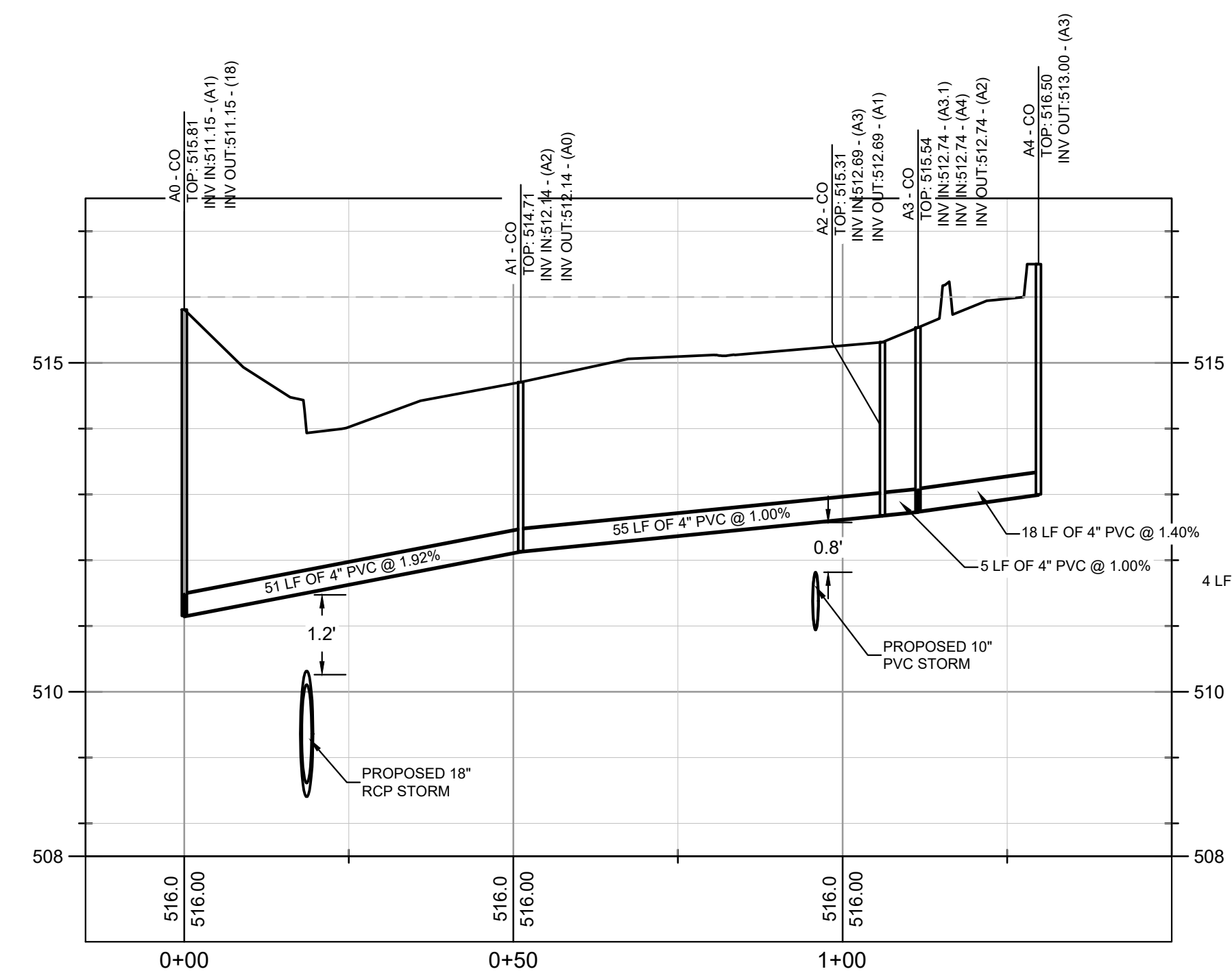
SHEET NUMBER  
**C501**

Plotted By: hatley, Micah. Sheet Set: Prescott, Wendy's. Layout: C501. Date: 11/06/2020. 10:09:05am. C:\Users\Micah.Hatley\OneDrive\Desktop\11-06-2020\_10:09:05am - 017523000\_Prescott\_Wendy's.dwg

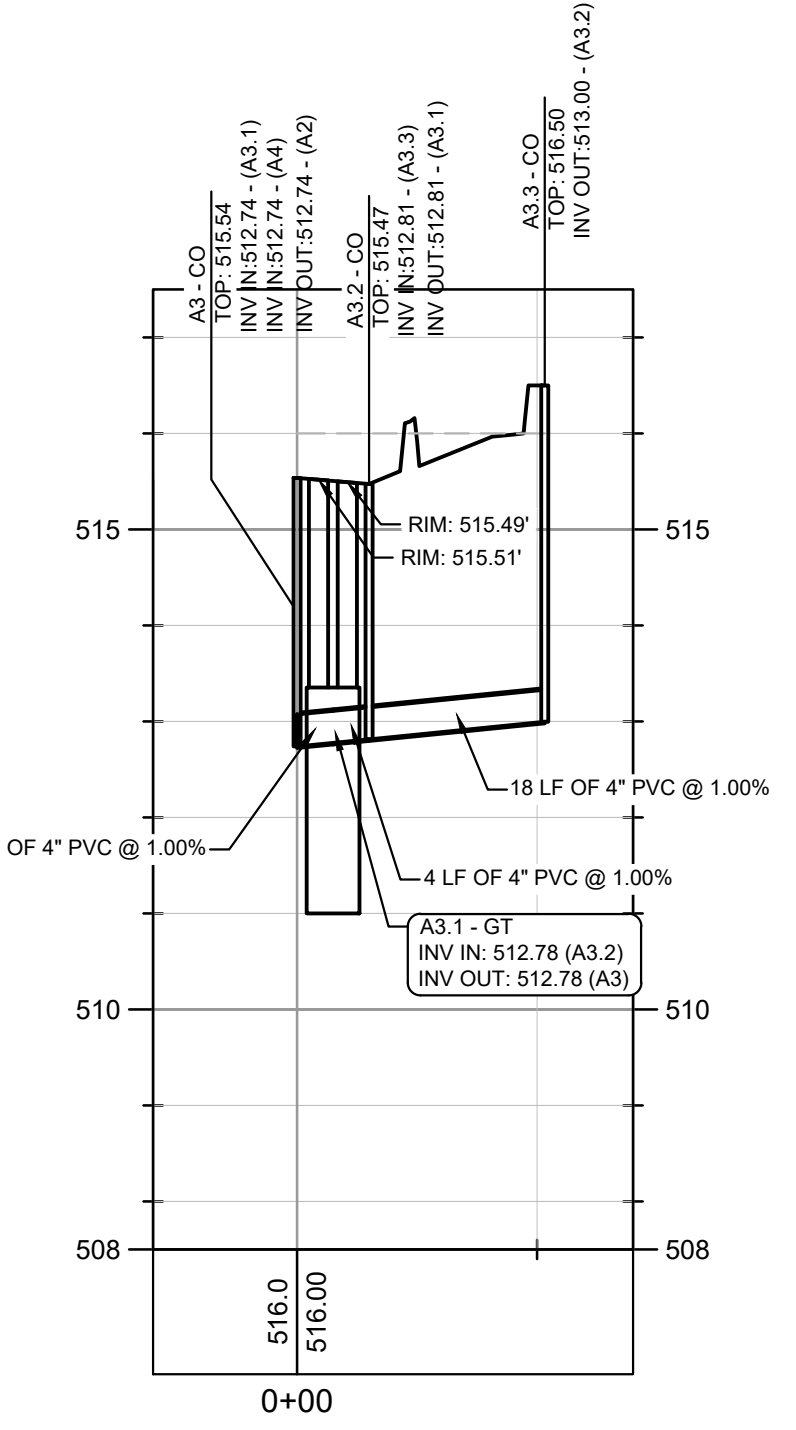
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Hately, Mich. Sheet Set: Prescott, Wendy's Layout: C505 - SSWR PROF December 09, 2020 10:09:18am C:\Users\Micoh.Hately\K4\K4RT\_Shared\_Library - 017523000\_Prescott\_Wendys\02 - DWG\_PlanSheets\C505 - SSWR PROF.dwg

PROPOSED SANITARY PROFILE LEGEND	
-----	EXISTING GROUND
_____	PROPOSED GRADE
--- ---	MH: MANHOLE
--- ---	CO: CLEANOUT
RIM: MH, CO; CENTER OF U/D ELEVATION	GT: GREASE TRAP
INV: PIPE INVERT ELEVATION	



**PROFILE VIEW**  
A0 TO A4  
1" = 20' HORZ.  
1" = 2' VERT.



**PROFILE VIEW**  
A3 TO A3.3  
1" = 20' HORZ.  
1" = 2' VERT.

**CONSTRUCTION DOCUMENT**

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE #F-0102

12/10/2020  
SEAL 046983  
MCH  
MCH  
M.F.J.

017523000  
DATE 11/06/2020  
SCALE AS SHOWN  
DESIGNED BY MCH  
DRAWN BY MCH  
CHECKED BY M.F.J.

**PRESCOTT WENDY'S**  
PREPARED FOR  
**TAR HEEL CAPITOL**  
TOWN OF WAXHAW  
NORTH CAROLINA

SHEET NUMBER  
**C505**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Hatley, Micoh. Sheet Set: Prescott Wendy's. Layout: SITE-DTL-1. December 09, 2020. 10:09:24am. C:\Users\Micoh.Hatley\KRT\_Shared\_Library\_0175232000\_Prescott\_Wendy's\_02 - DWG\PlanSheets\6601 - SITE-DTL-1.dwg

No.	REVISIONS	DATE	BY

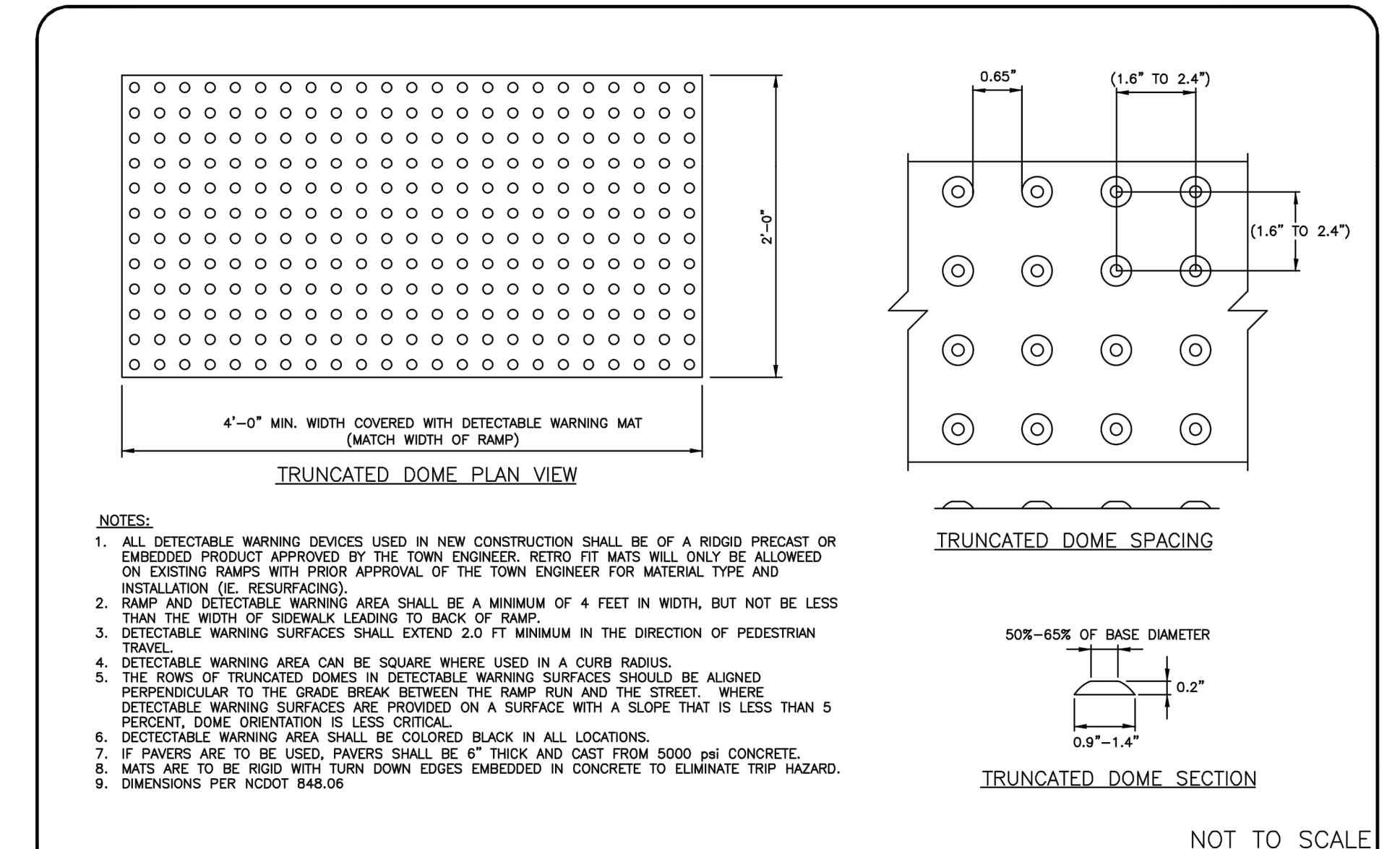
**Kimley-Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE # F-1012



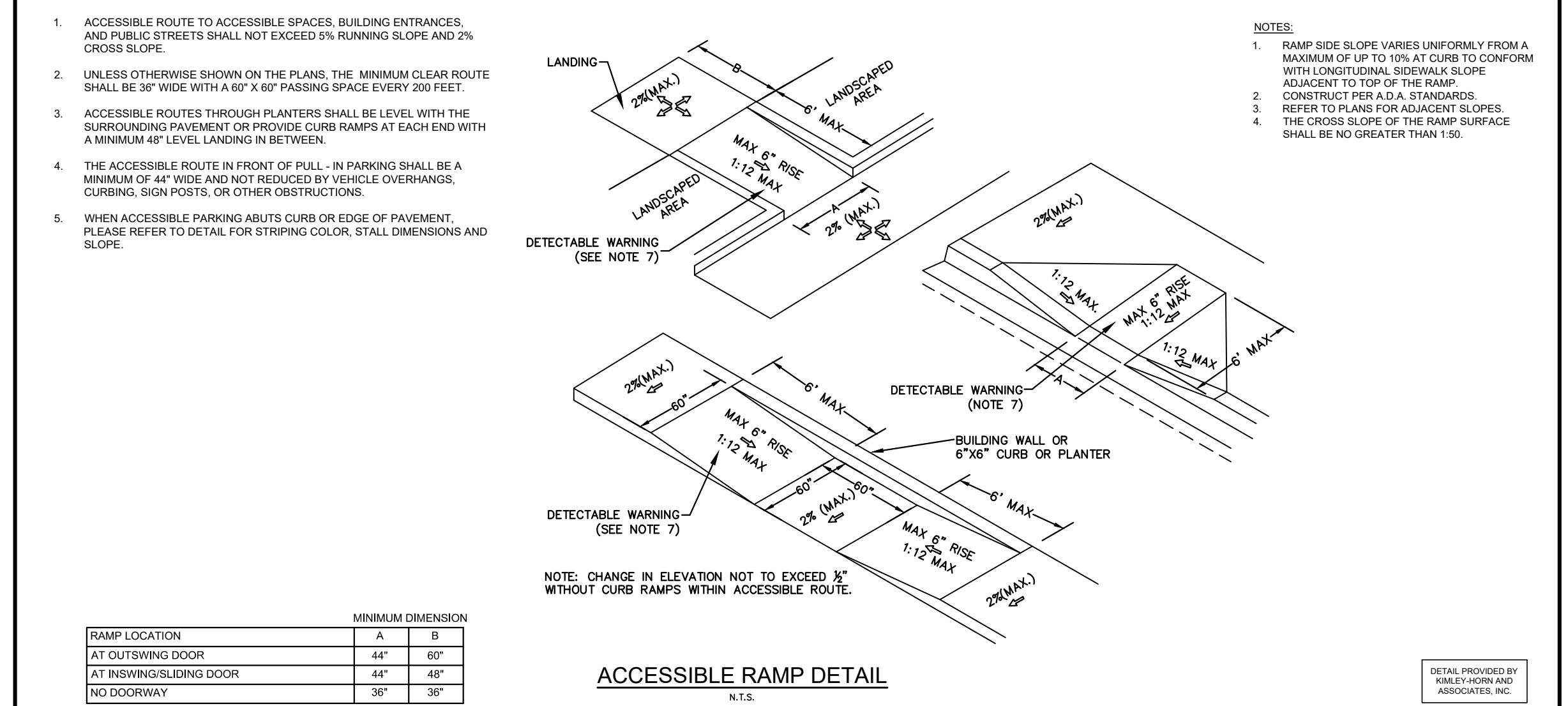
017523000	DATE	11/06/2020	SCALE	AS SHOWN	DESIGNED BY	MCH	DRAWN BY	MCH	CHECKED BY	MFJ
-----------	------	------------	-------	----------	-------------	-----	----------	-----	------------	-----

**SITE-DTLS**  
 1000 KEMBLE STREET  
 WAXHAW TOWNSHIP, NC

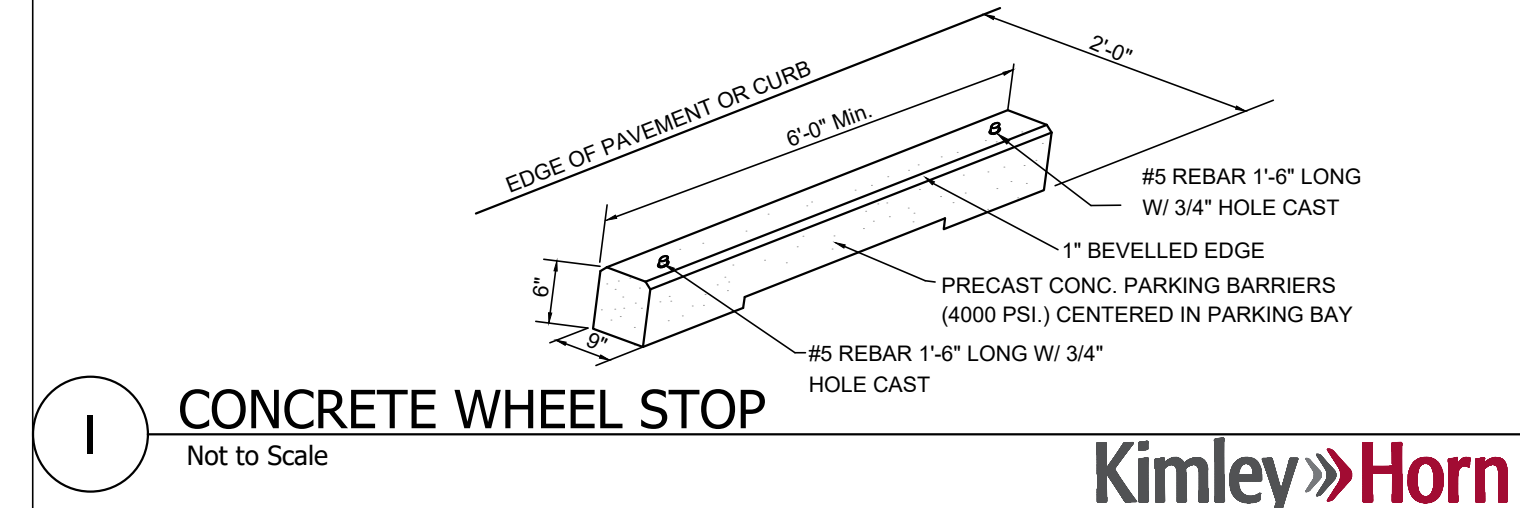
**PRESCOTT WENDY'S**  
 PREPARED FOR  
**TAR HEEL CAPITOL**  
 NORTH CAROLINA  
 TOWN OF WAXHAW



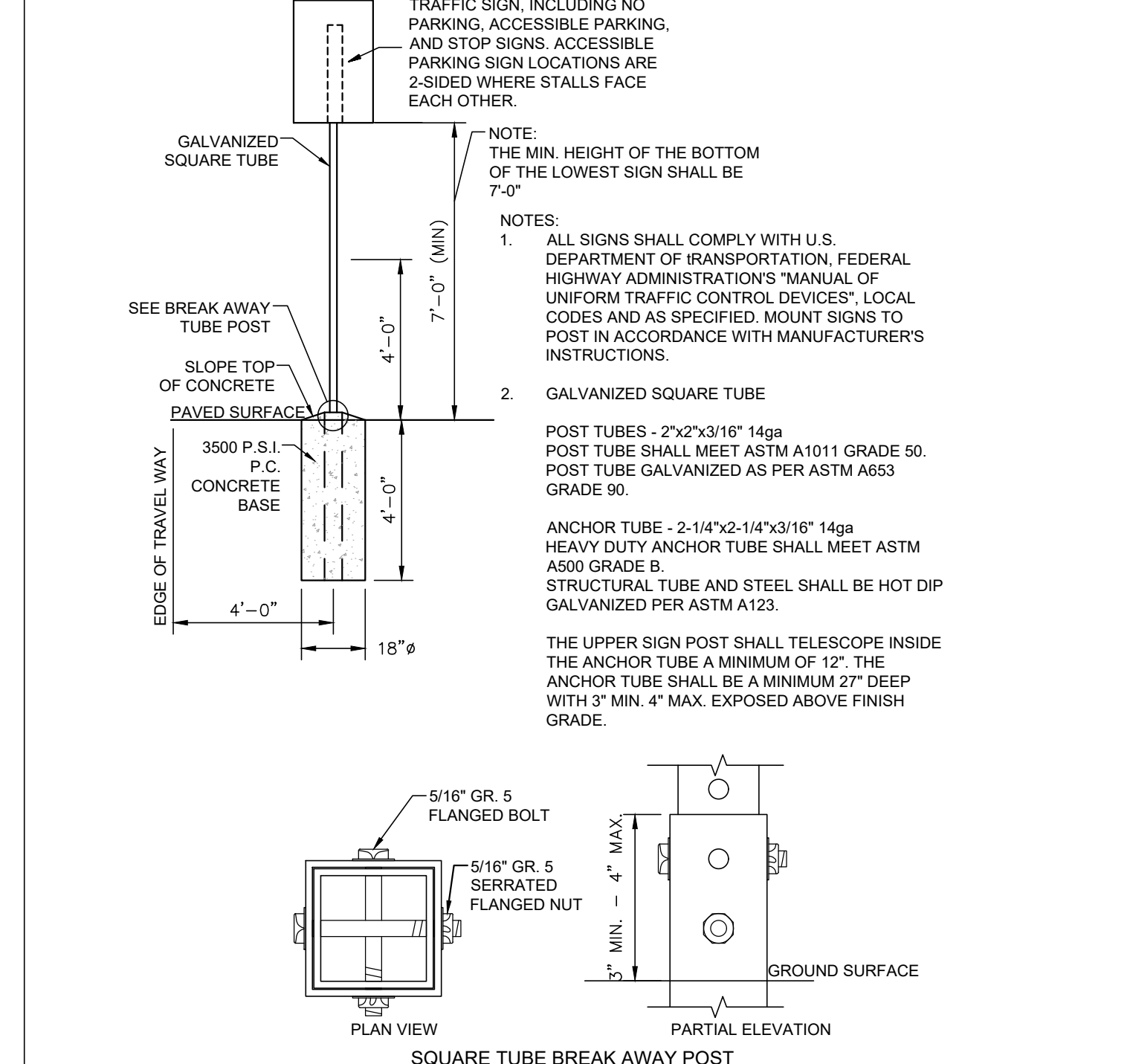
**TOWN OF WAXHAW LAND DEVELOPMENT STANDARDS**  
**TRUNCATED DOMES**  
 PLAN AND CROSS-SECTION  
 STD. NO. 132.1 REV. 1



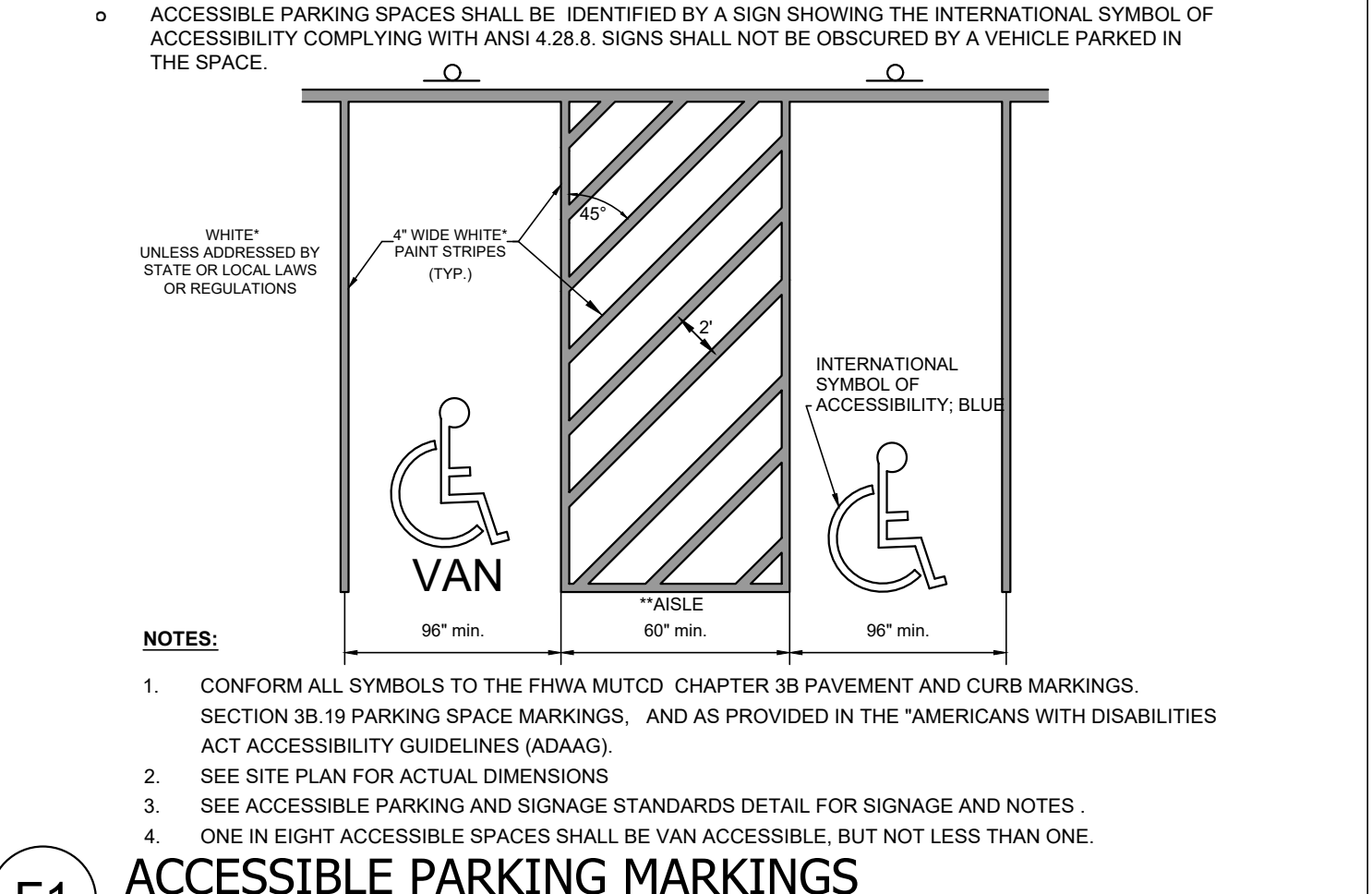
**ACCESSIBLE RAMP DETAIL**  
 N.T.S.  
 DETAIL PROVIDED BY KIMLEY-HORN AND ASSOCIATES, INC.



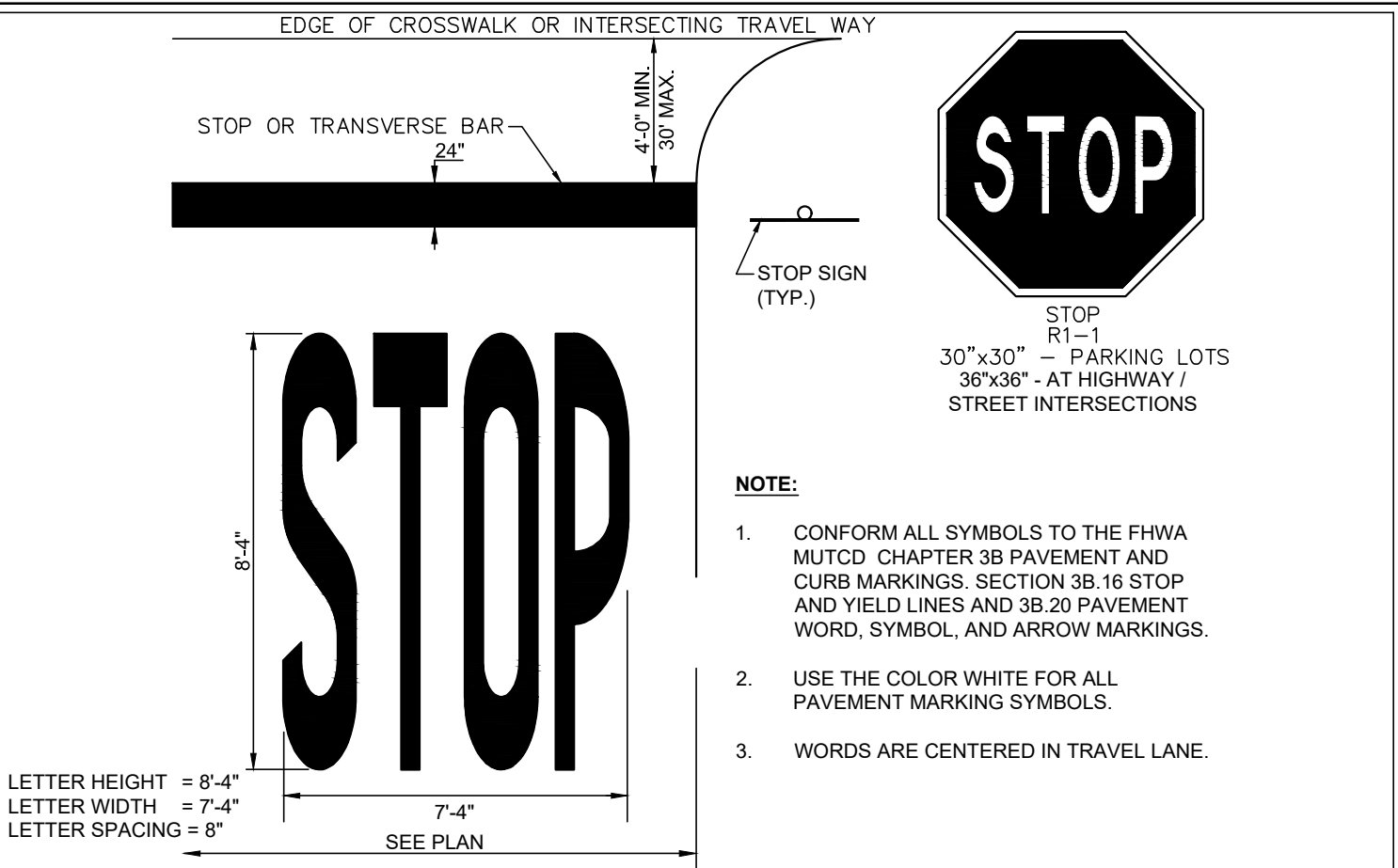
**CONCRETE WHEEL STOP**  
 Not to Scale



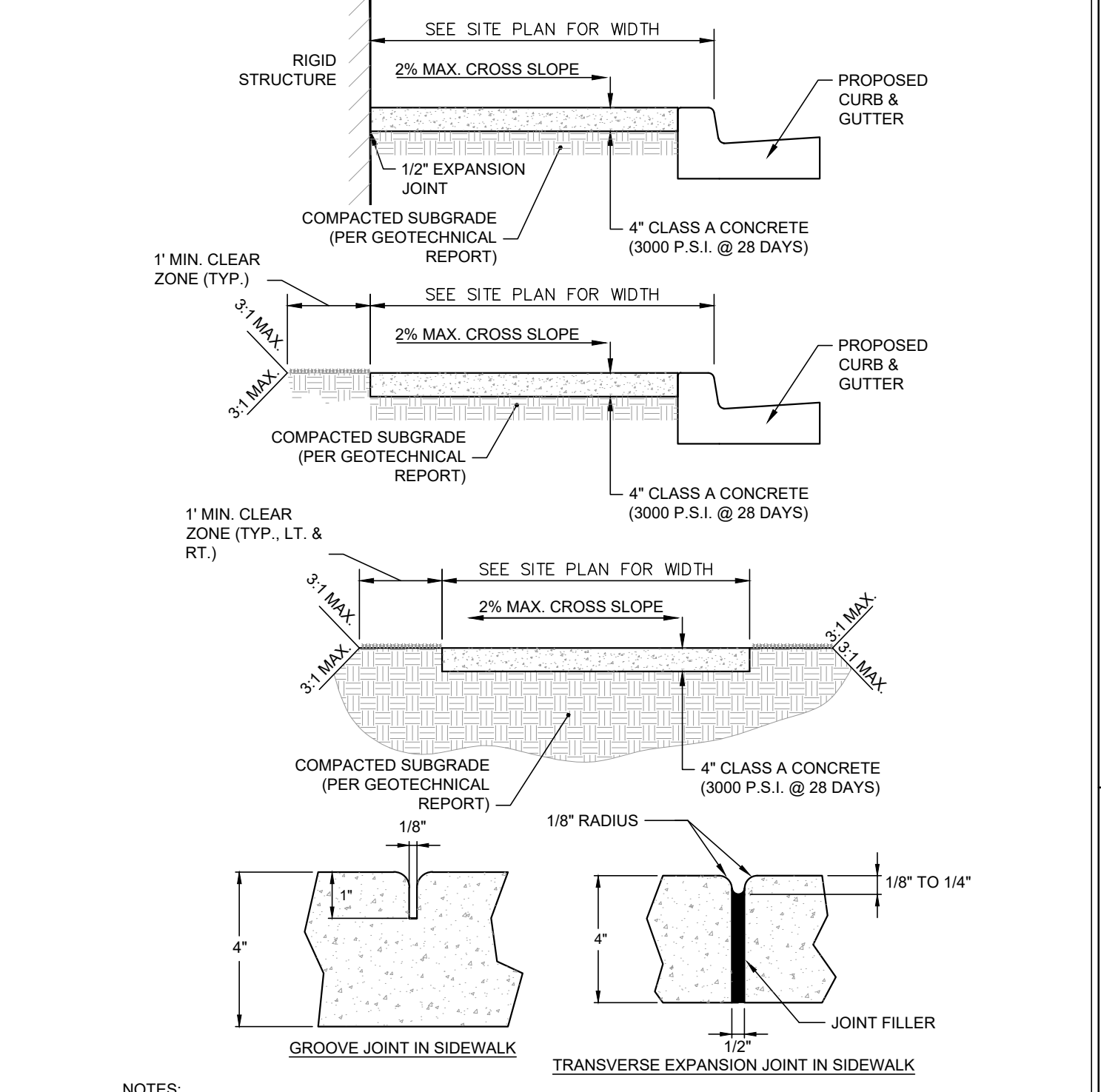
**SINGLE SIGN POST - BREAK AWAY**  
 Not to Scale



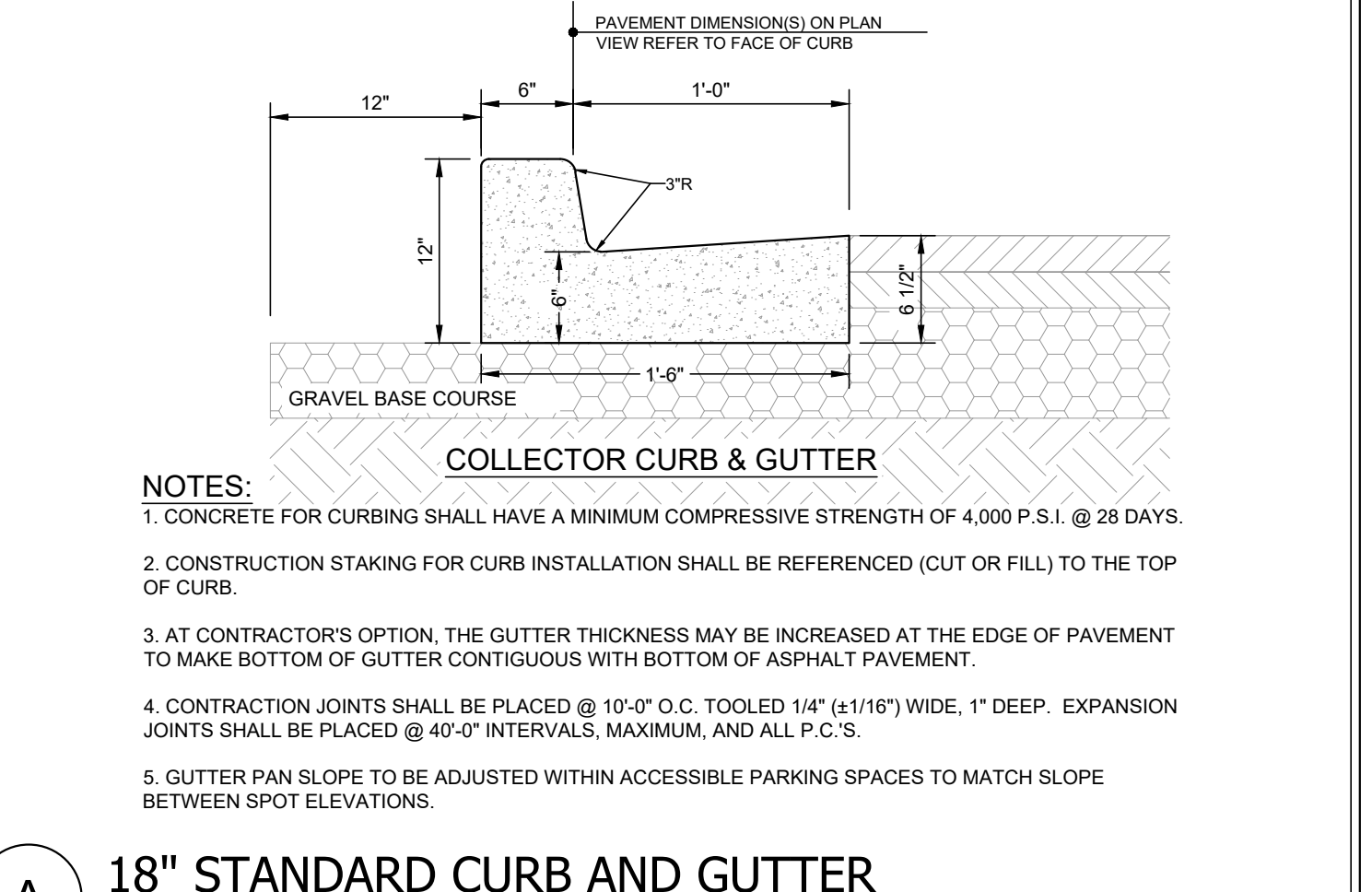
**F1 ACCESSIBLE PARKING MARKINGS**  
 Not to Scale



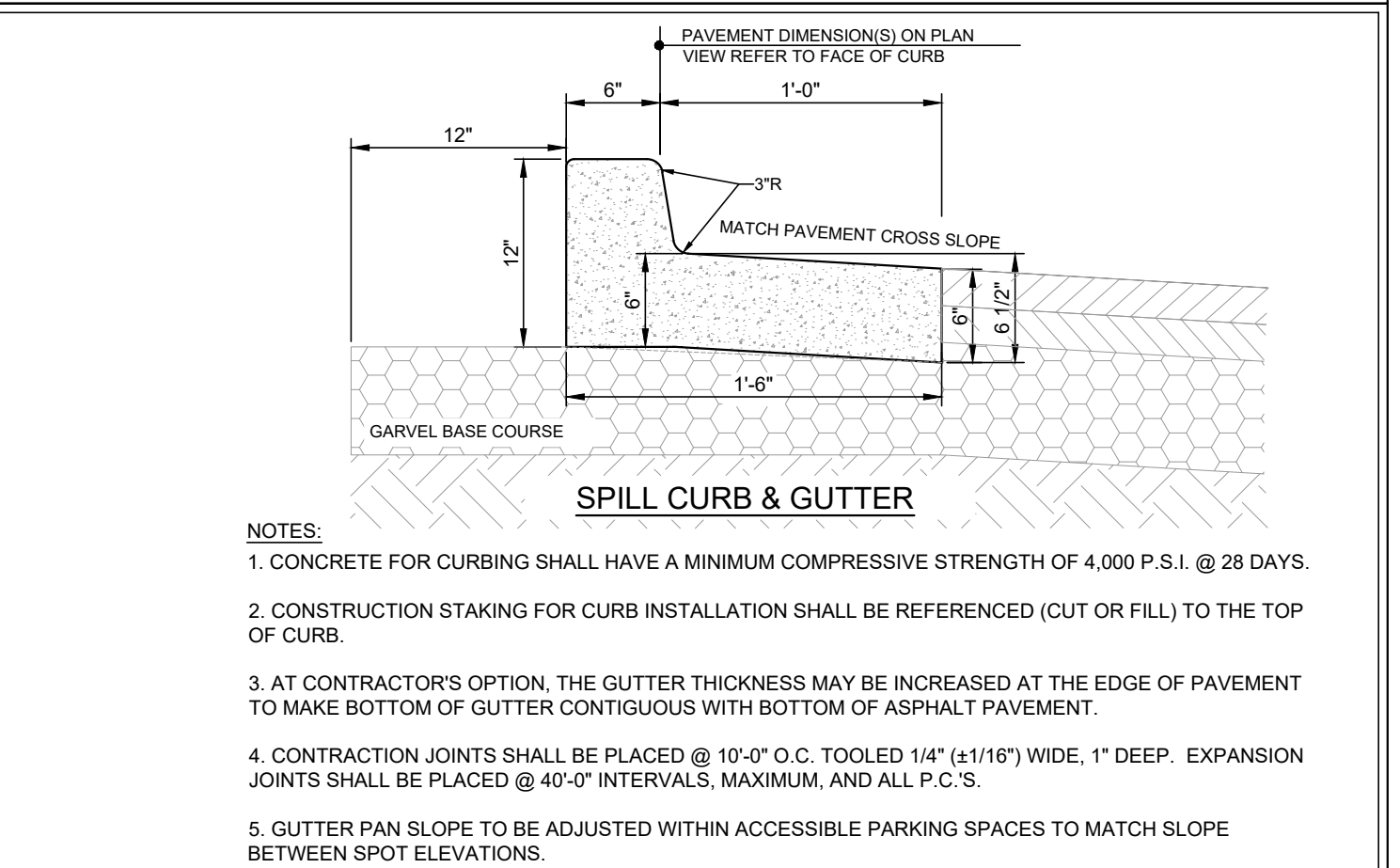
**STOP SIGNAGE AND MARKING**  
 Not to Scale



**D CONCRETE SIDEWALKS**  
 Not to Scale

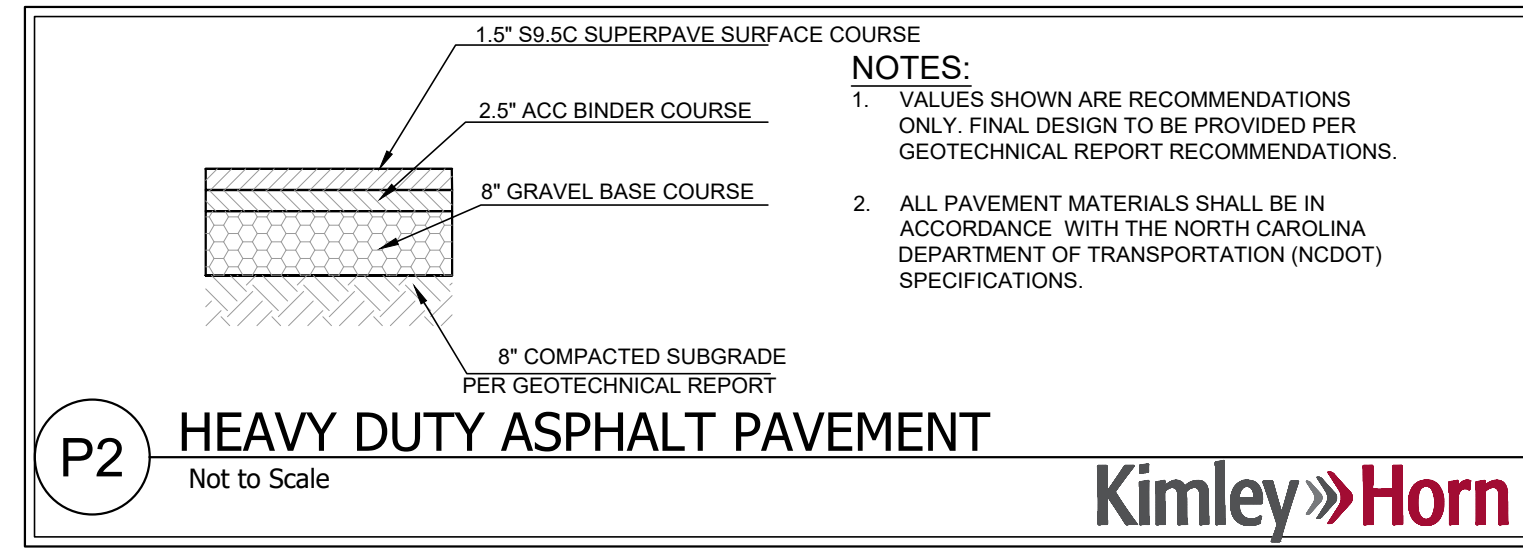


**A 18\"/>
 Not to Scale**

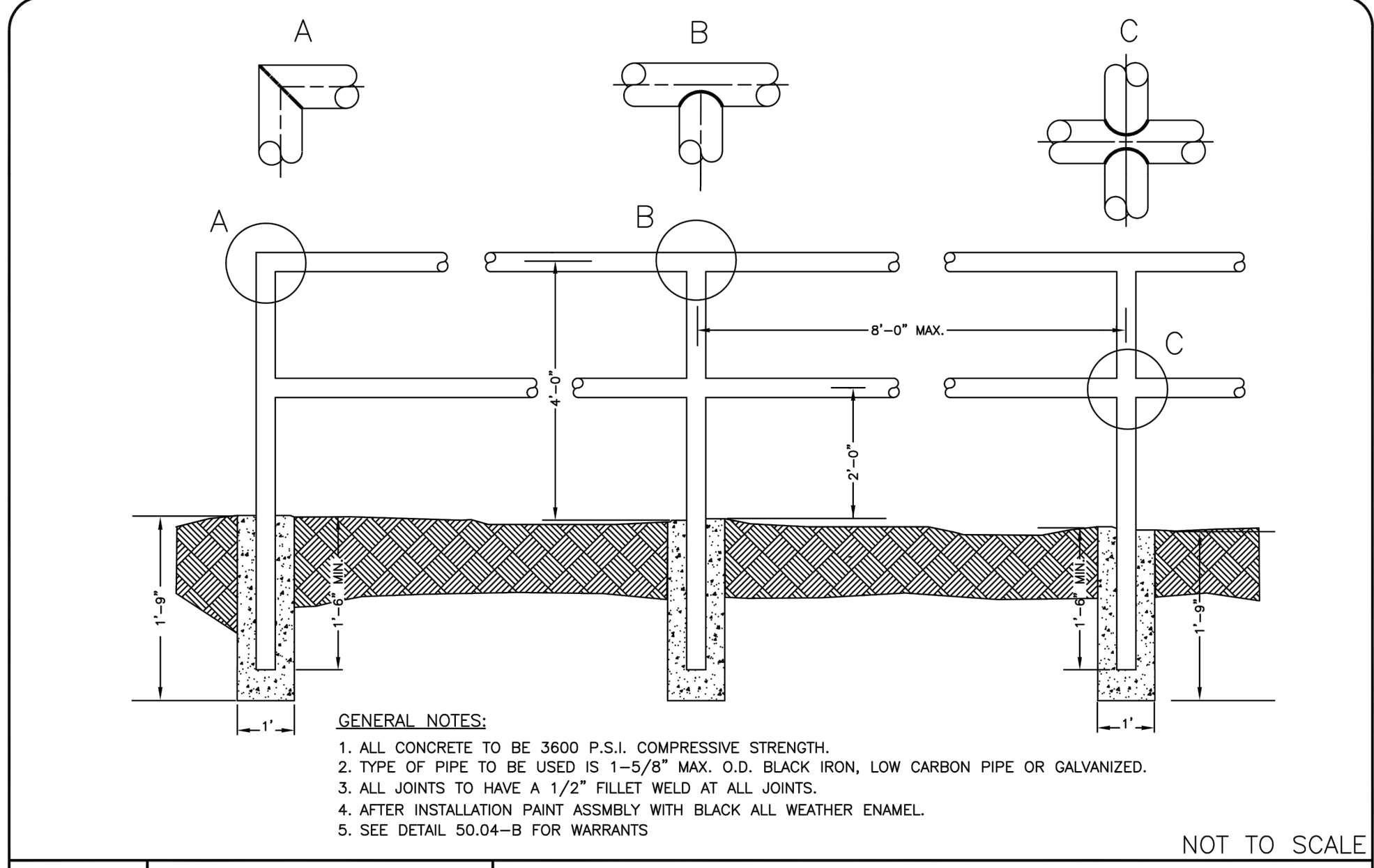


**D 18\"/>
 Not to Scale**

Plotted By: hatley, Micoh - Sheet Set: Prescott, Wendy's - Layout: SITE-DTL-2 - December 09, 2020 10:09:25pm C:\Users\Micoh-Hatley\OneDrive\Shared Library - 017923000\_Prescott\_Wendy's.dwg - DWG/Plan/Sheet/C601 - SITE-DTL-2.dwg



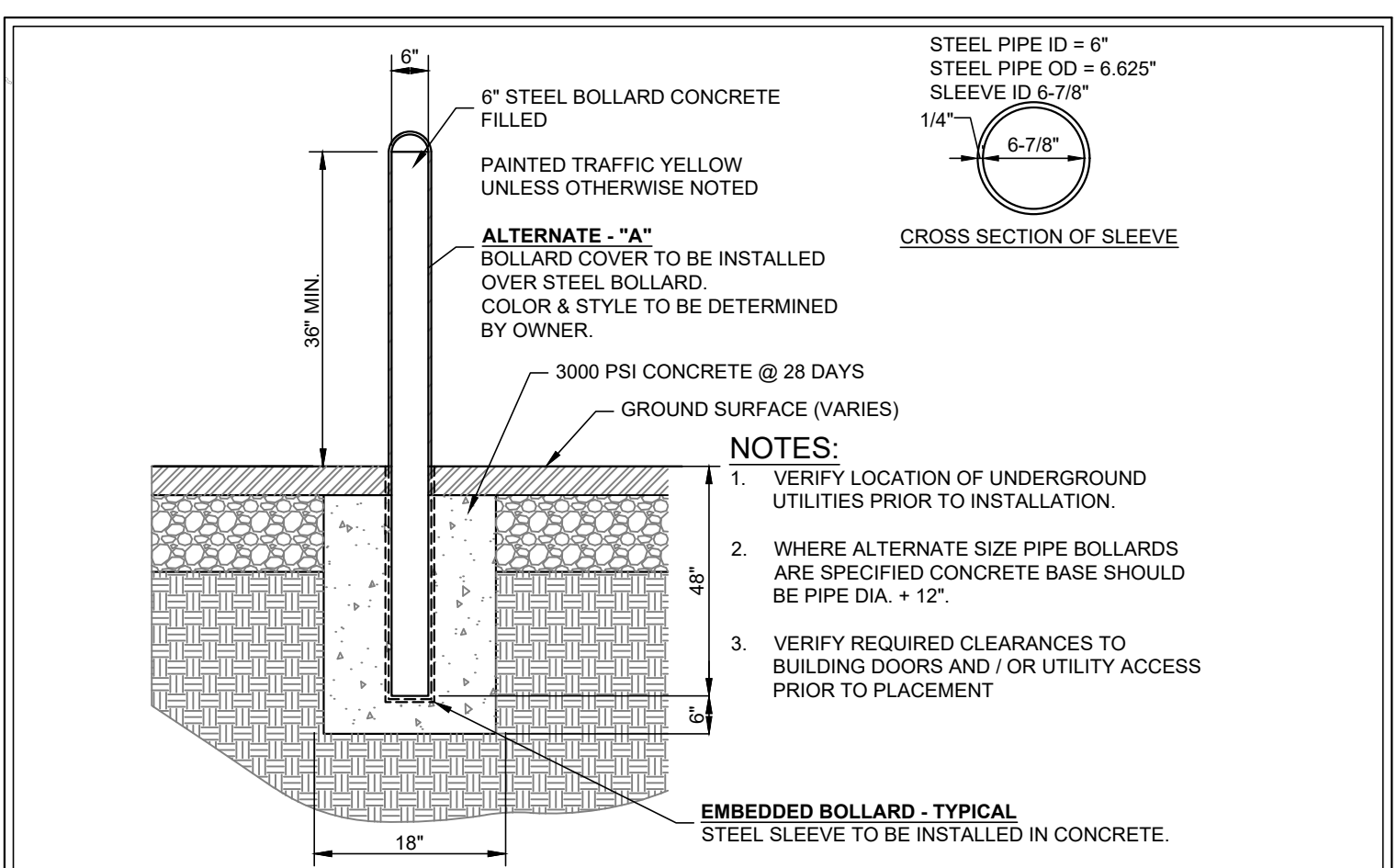
- NOTES:**
- VALUES SHOWN ARE RECOMMENDATIONS ONLY. FINAL DESIGN TO BE PROVIDED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
  - ALL PAVEMENT MATERIALS SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) SPECIFICATIONS.



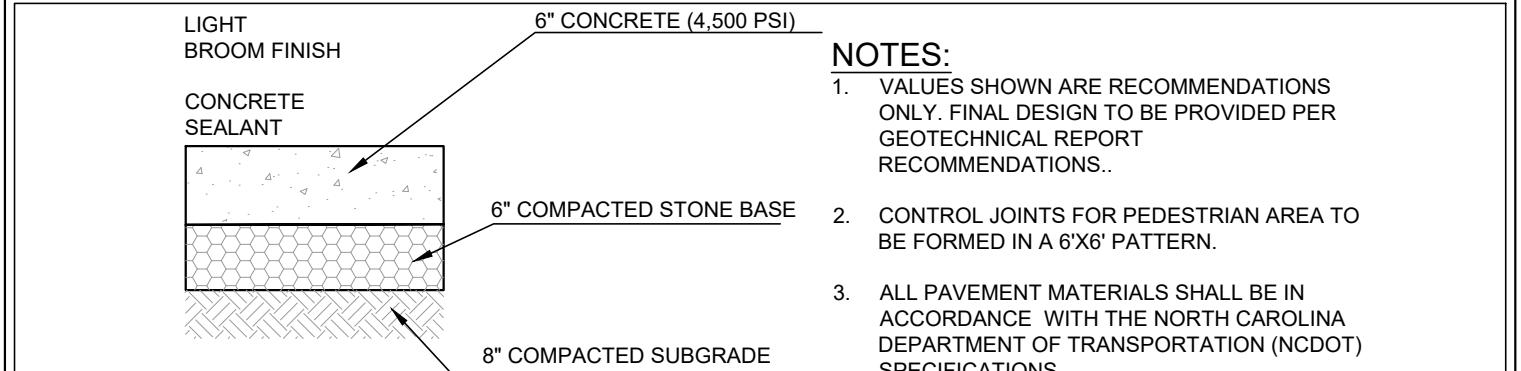
- GENERAL NOTES:**
- ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
  - TYPE OF PIPE TO BE USED IS 1-5/8" MAX. O.D. BLACK IRON, LOW CARBON PIPE OR GALVANIZED.
  - ALL JOINTS TO HAVE A 1/2" FILLET WELD AT ALL JOINTS.
  - AFTER INSTALLATION PAINT ASSEMBLY WITH BLACK ALL WEATHER ENAMEL.
  - SEE DETAIL 50.04-B FOR WARRANTIES

**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

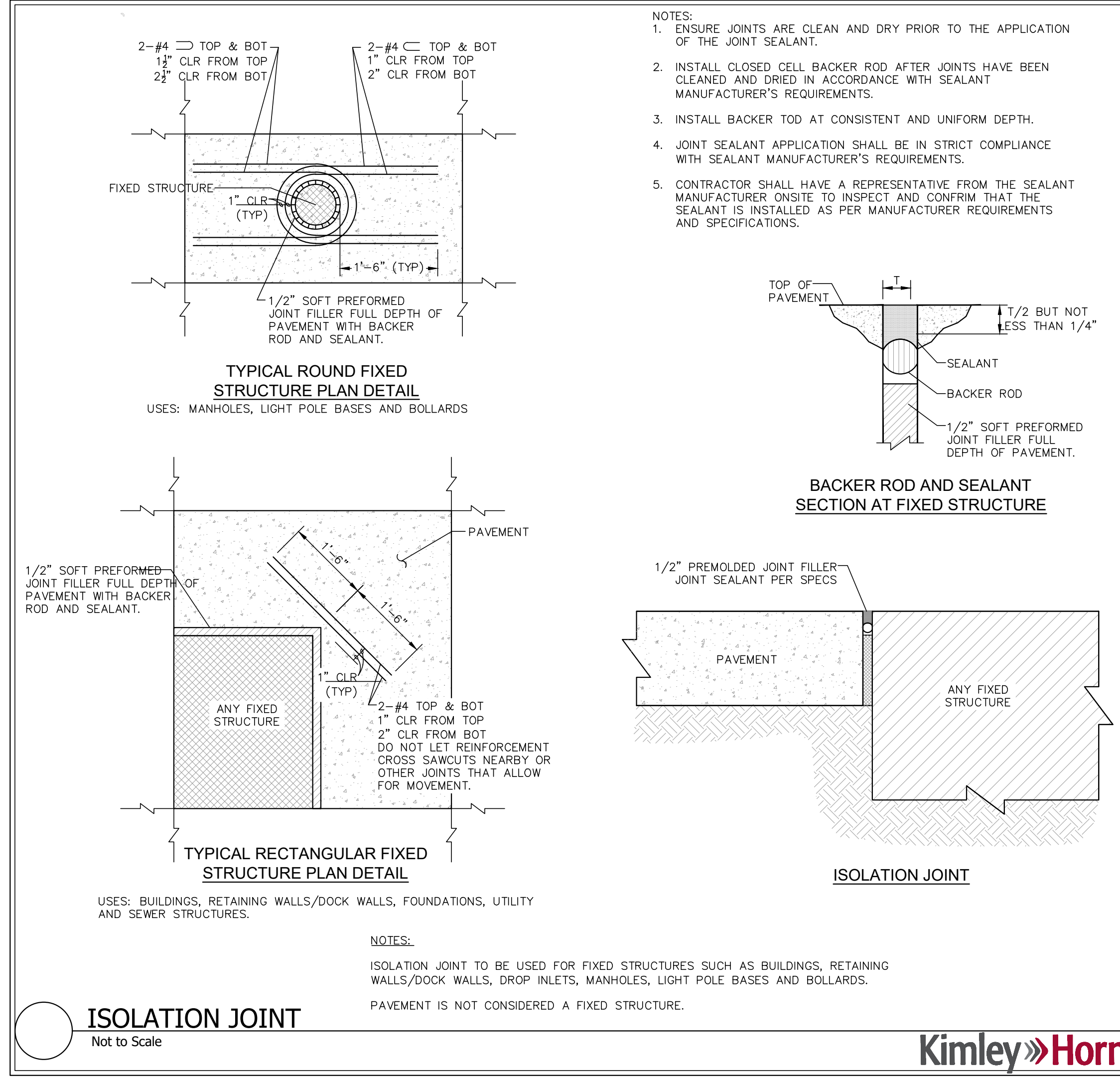
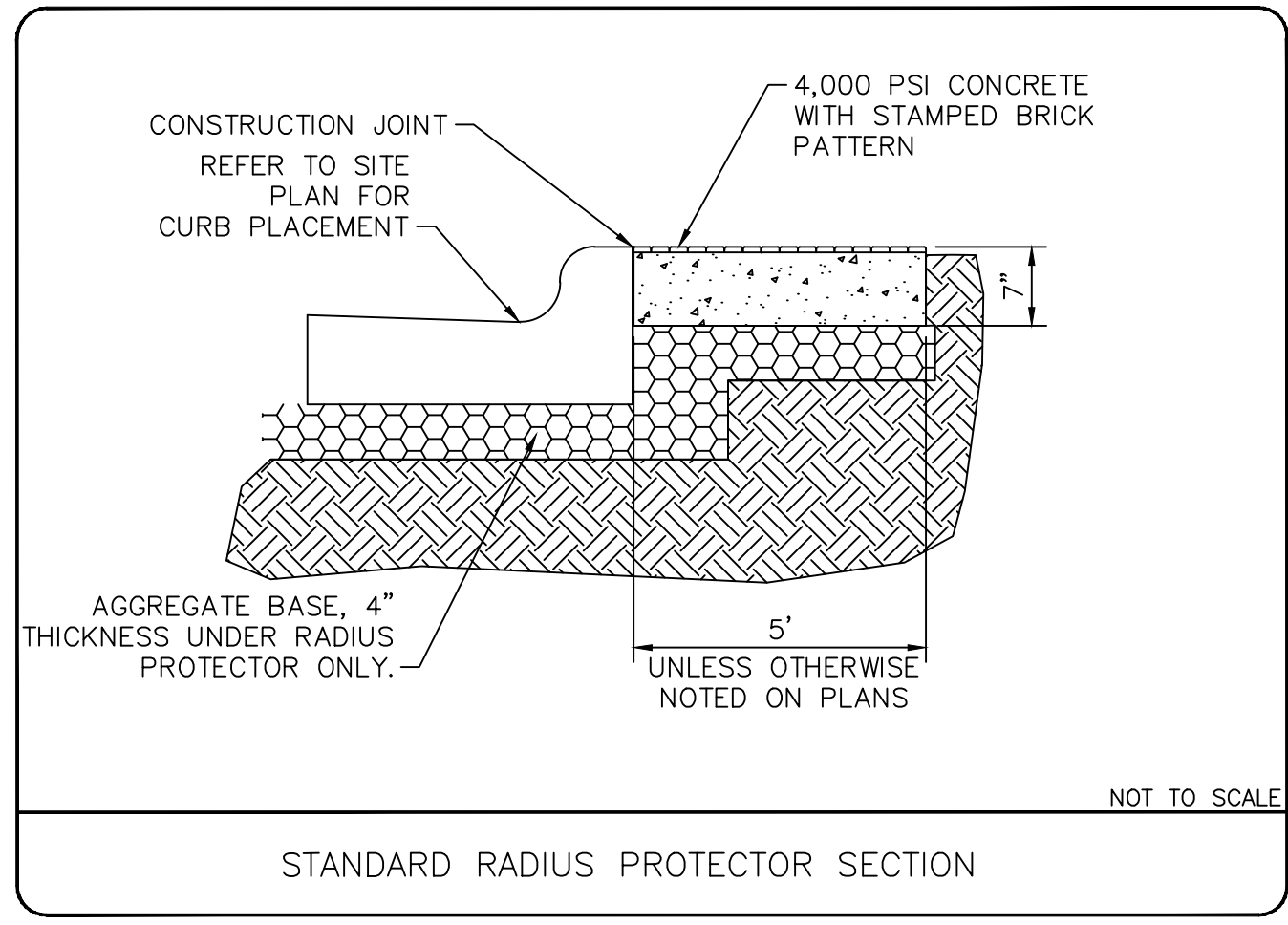
**SAFETY RAIL**  
STD. NO. 50.04A  
REV. 7



- NOTES:**
- VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO INSTALLATION.
  - WHERE ALTERNATE SIZE PIPE BOLLARDS ARE SPECIFIED CONCRETE BASE SHOULD BE PIPE DIA. + 12".
  - VERIFY REQUIRED CLEARANCES TO BUILDING DOORS AND / OR UTILITY ACCESS PRIOR TO PLACEMENT

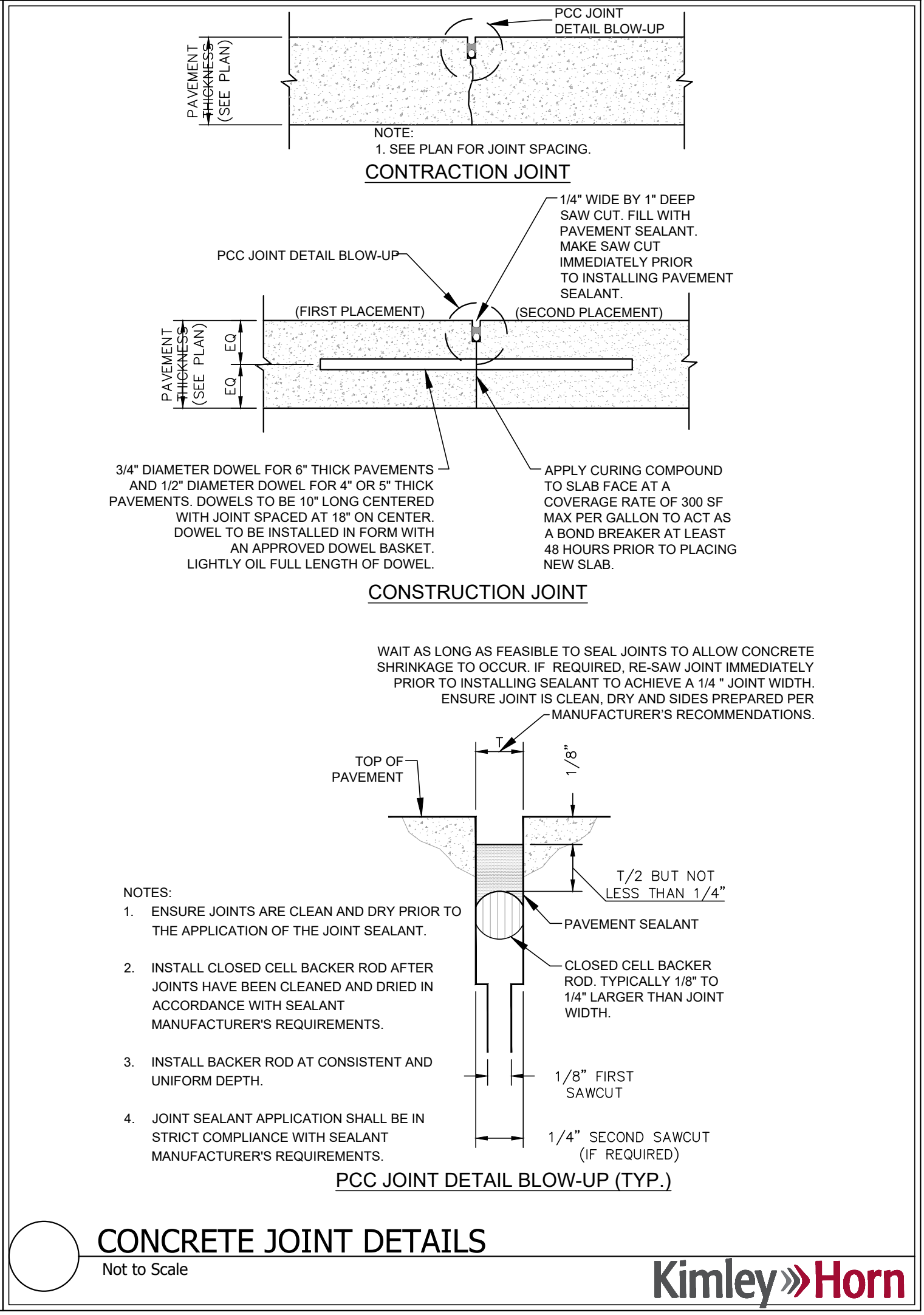


- NOTES:**
- VALUES SHOWN ARE RECOMMENDATIONS ONLY. FINAL DESIGN TO BE PROVIDED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
  - CONTROL JOINTS FOR PEDESTRIAN AREA TO BE FORMED IN A 6"x6" PATTERN.
  - ALL PAVEMENT MATERIALS SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) SPECIFICATIONS.



- NOTES:**
- ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
  - INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
  - INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
  - JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
  - CONTRACTOR SHALL HAVE A REPRESENTATIVE FROM THE SEALANT MANUFACTURER ON-SITE TO INSPECT AND CONFIRM THAT THE SEALANT IS INSTALLED AS PER MANUFACTURER REQUIREMENTS AND SPECIFICATIONS.

**NOTES:**  
ISOLATION JOINT TO BE USED FOR FIXED STRUCTURES SUCH AS BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS.  
PAVEMENT IS NOT CONSIDERED A FIXED STRUCTURE.



- CONTRACTION JOINT**
- NOTE:**  
1. SEE PLAN FOR JOINT SPACING.

- CONSTRUCTION JOINT**
- NOTE:**  
WAIT AS LONG AS FEASIBLE TO SEAL JOINTS TO ALLOW CONCRETE SHRINKAGE TO OCCUR. IF REQUIRED, RE-SAW JOINT IMMEDIATELY PRIOR TO INSTALLING SEALANT TO ACHIEVE A 1/4" JOINT WIDTH. ENSURE JOINT IS CLEAN, DRY AND SIDES PREPARED PER MANUFACTURER'S RECOMMENDATIONS.

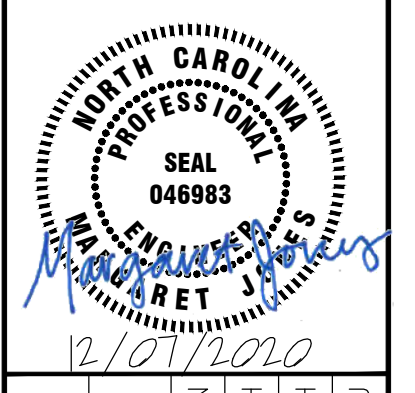
- NOTES:**
- ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
  - INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
  - INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
  - JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.



**CONSTRUCTION DOCUMENT**

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE # E-1012



017523000	DATE	11/06/2020	SCALE	AS SHOWN	DESIGNED BY	MCH	CHECKED BY	MFJ
-----------	------	------------	-------	----------	-------------	-----	------------	-----

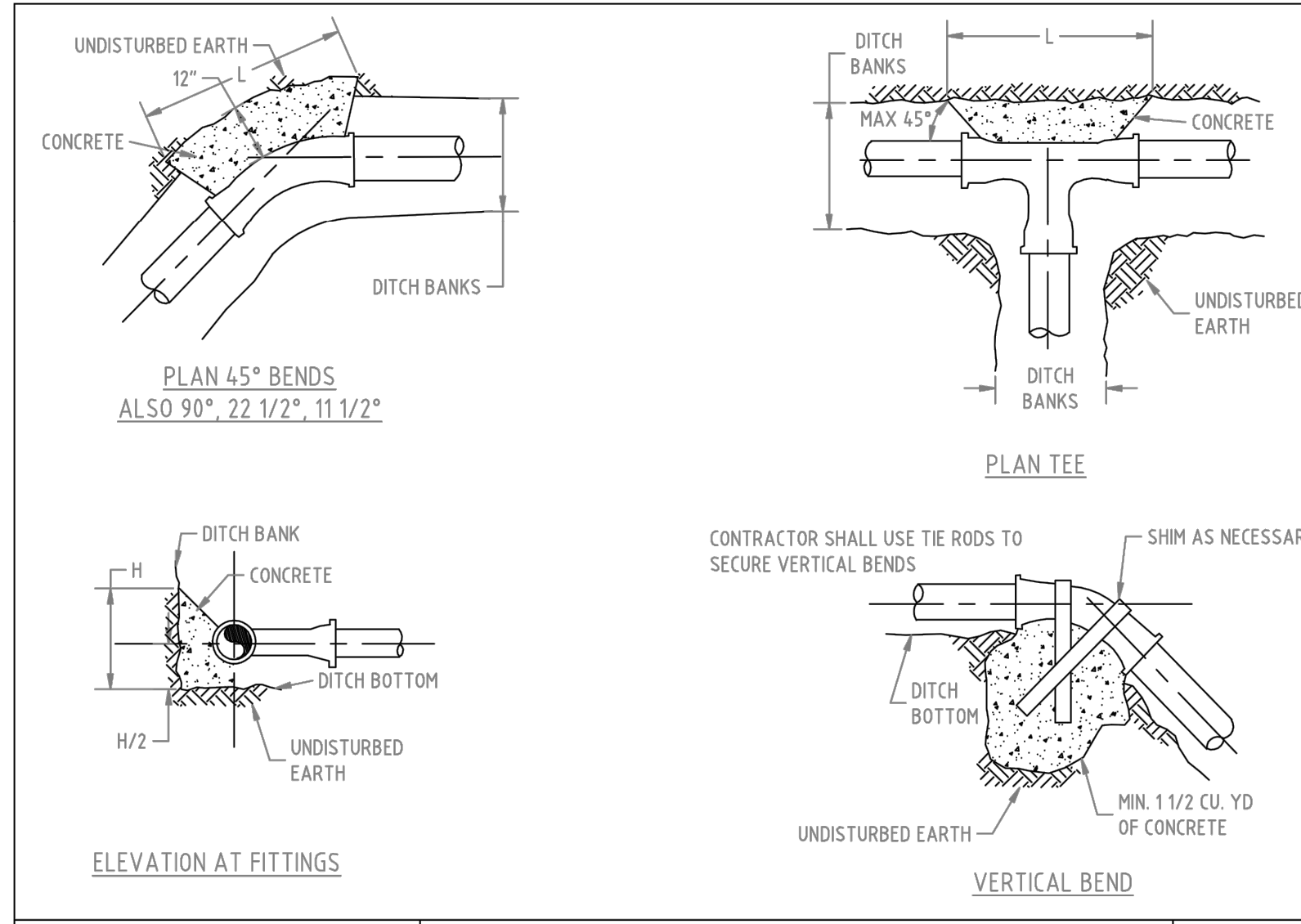
**SITE-DTLS**  
1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

**PRESCOTT WENDY'S**  
PREPARED FOR  
**TAR HEEL CAPITOL**  
TOWN OF WAXHAW  
NORTH CAROLINA

SHEET NUMBER  
**C602**

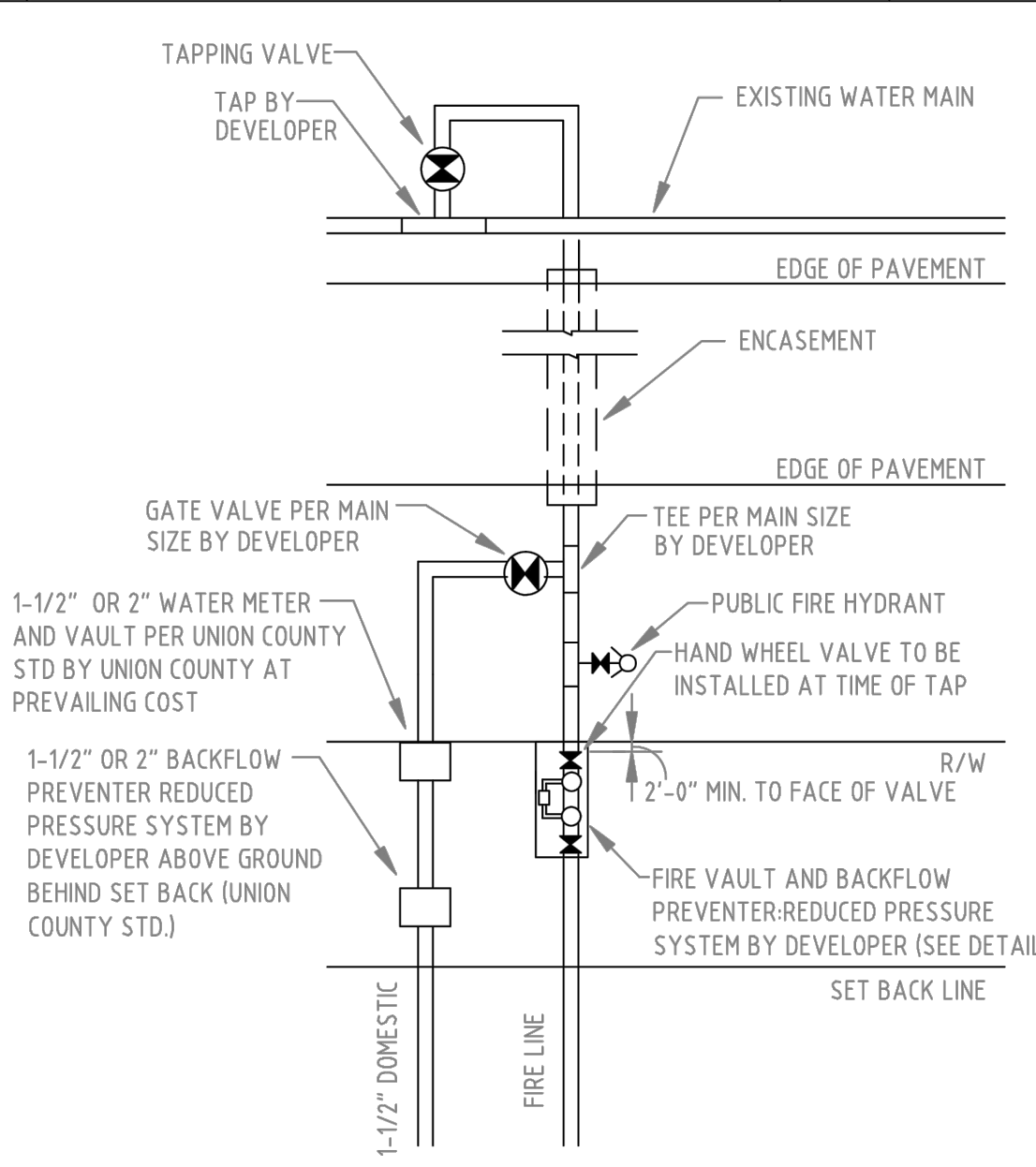
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



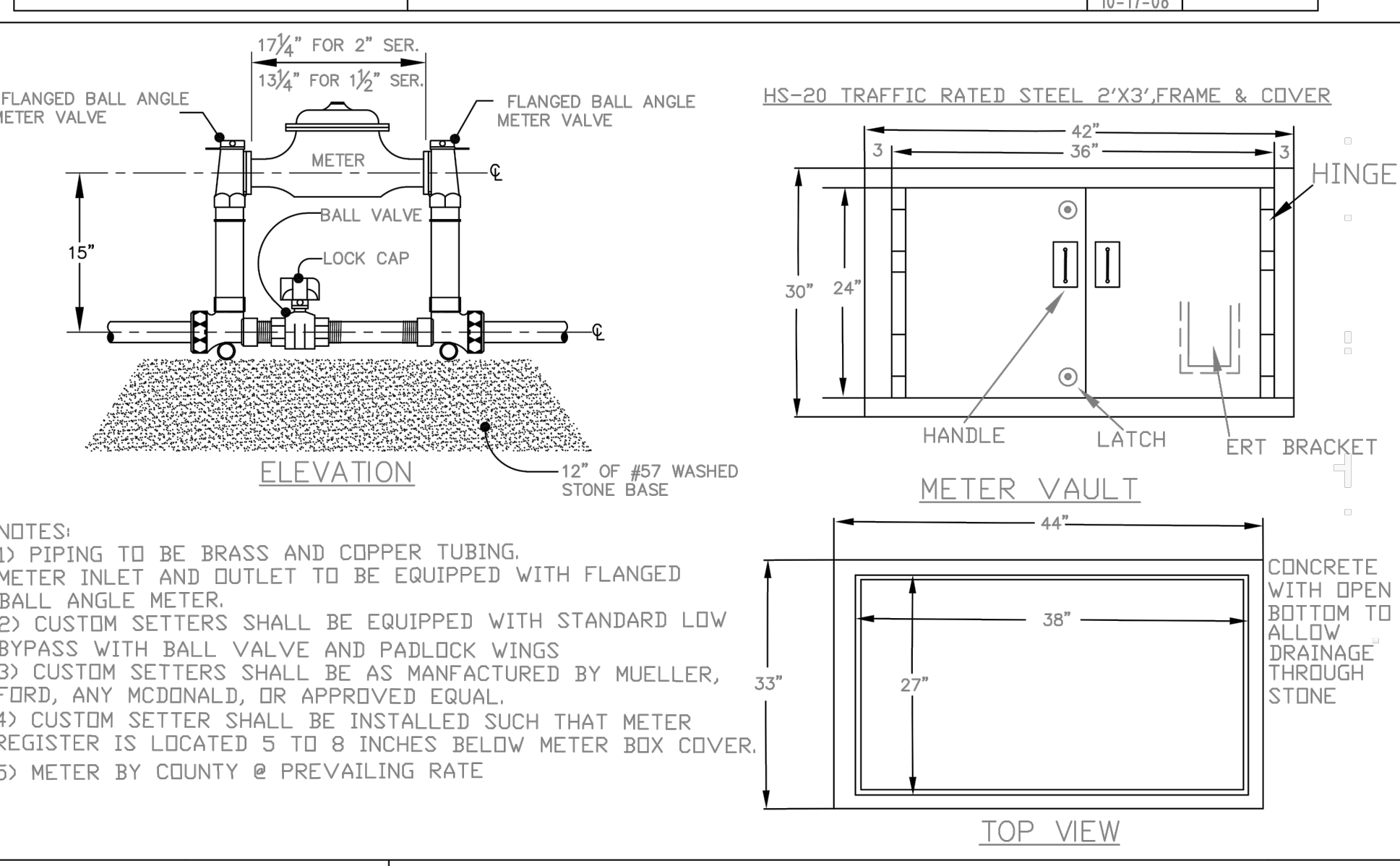


UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**THRUST BLOCK**  
SCALE: N.T.S. DATE: 11-17-06 **16**

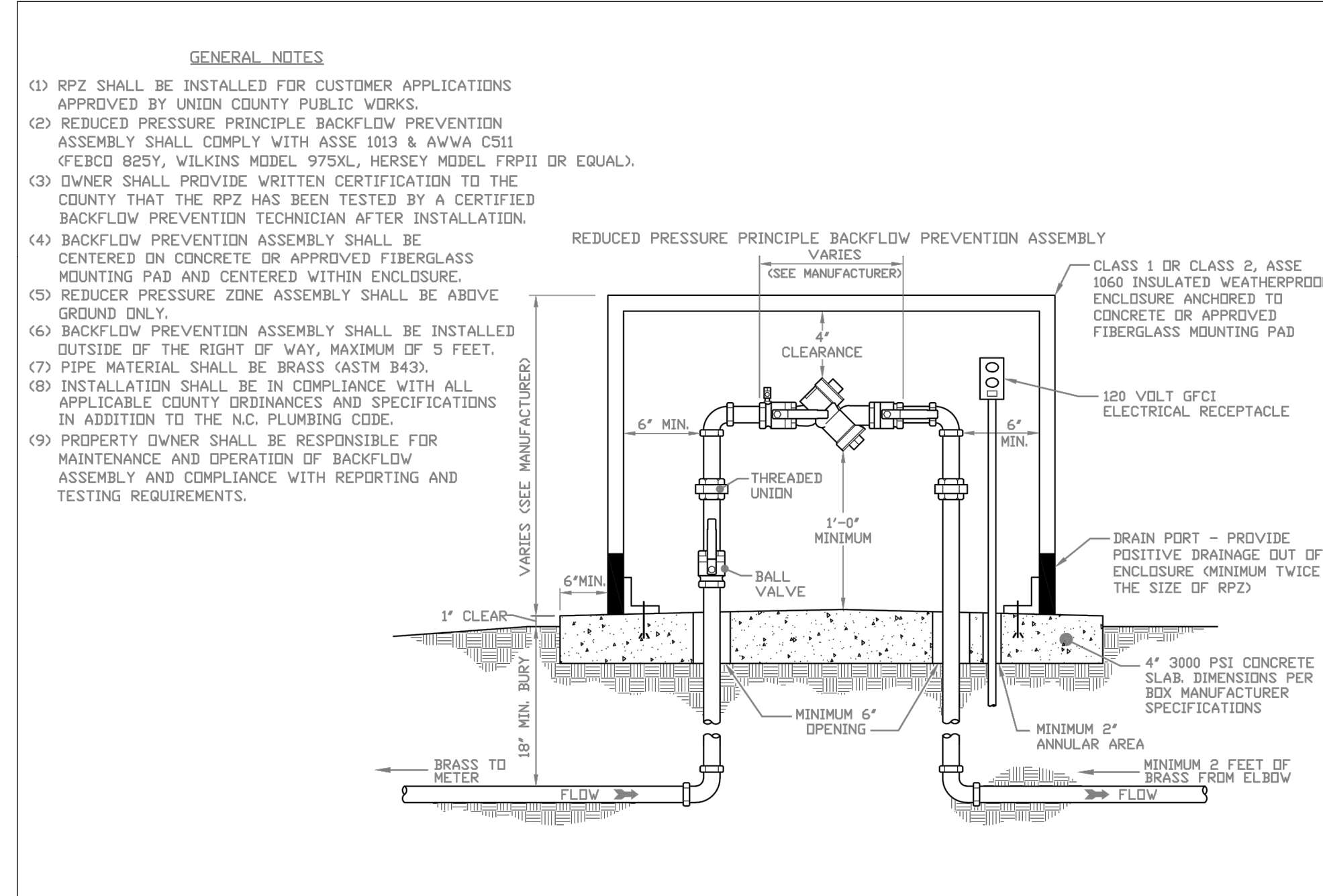
- NOTES:**
- 1) INSTALLATION MATERIALS AND DEVICES SHALL CONFORM TO UNION COUNTY PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS.
  - 2) ALL PIPE TO BE RESTRAINT JOINT DIP FROM TAP TO BACKFLOW AND/OR FIRE VAULT. THE 1-1/2" & 2" INCH PIPE SHALL BE BRASS TO THE BACKFLOW. ALTERNATE (3 INCH VALVE AND RESTRAINT JOINT DIP IN LIEU OF BRASS)
  - 3) FEES MUST BE PAID PRIOR TO INSTALLATION.
  - 4) NO PVC PIPE SHALL BE USED WITHIN 5 FEET EACH END OF BACKFLOW PREVENTER.
  - 5) 3 INCH & LARGER: CONTRACTOR INSTALLS APPROPRIATE DIP LINE THROUGH VAULT AND SUPPLIES VAULT. UNION COUNTY WILL INSTALL METER AND BYPASS AT PREVAILING COSTS. CONTRACTOR TO INSTALL APPROPRIATE SIZE RPZ.
  - 6) FIRE DEPARTMENT CONNECTION (FDC) MUST BE WITHIN 100 FT MAX OF PUBLIC HYDRANT PER FIRE CODE.



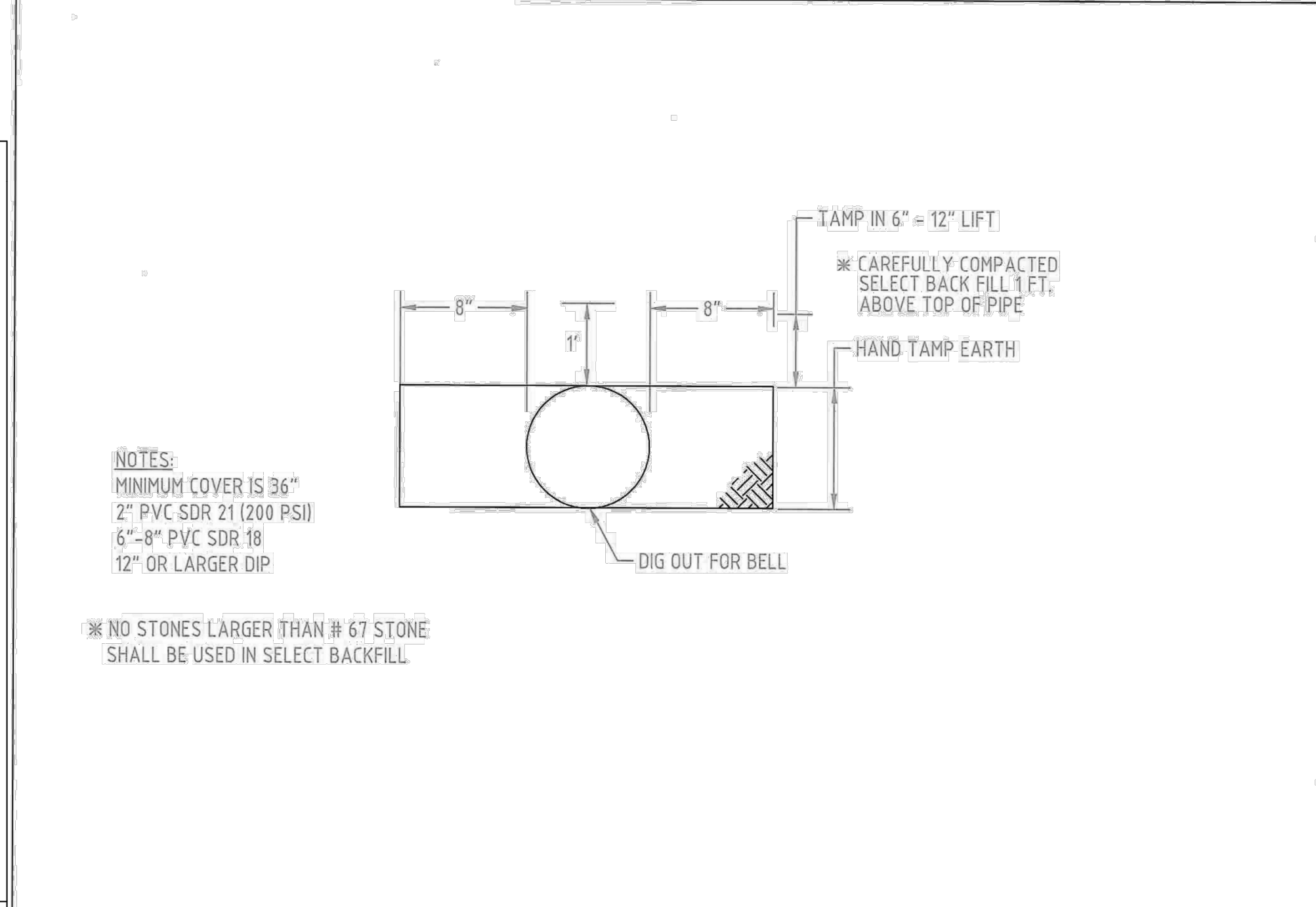
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**WATER CONNECTION**  
SCALE: N.T.S. DATE: 10-17-08 **22**



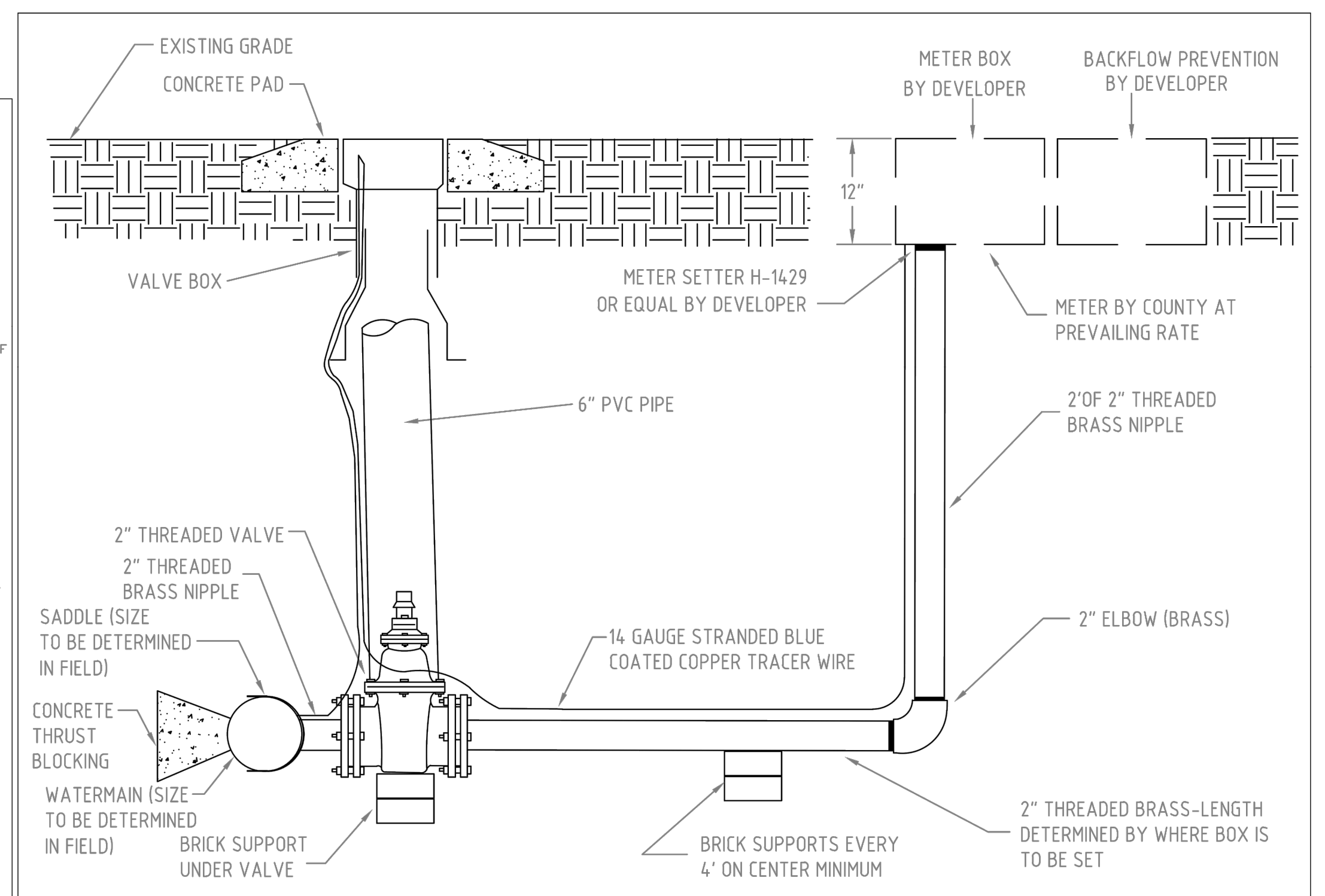
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**STANDARD 1 1/2" & 2" METER INSTALLATION & VAULT**  
SCALE: N.T.S. DATE: 6-13-14 **29**



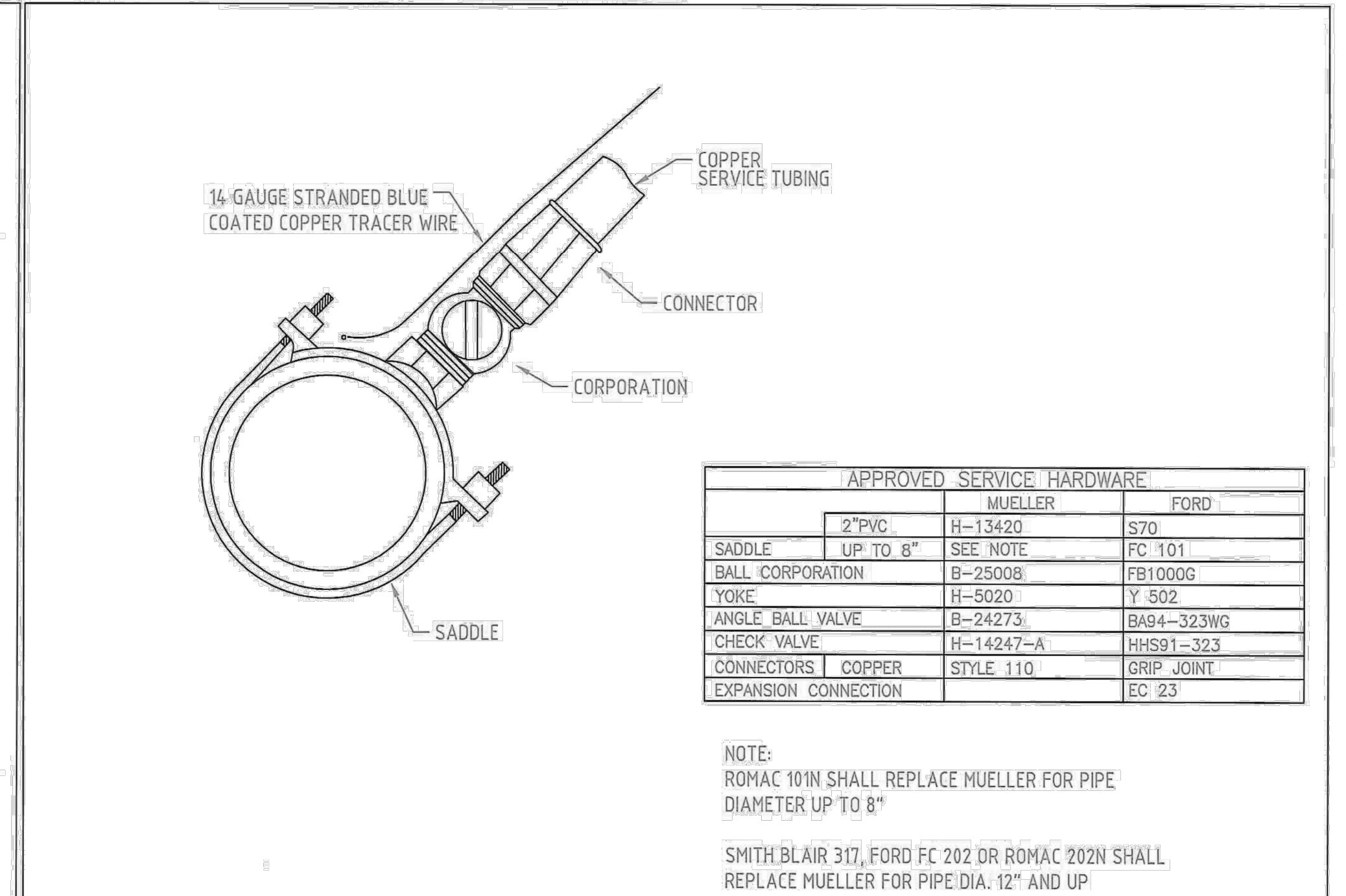
UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**REDUCED PRESSURE ZONE ASSEMBLY (3/4" - 2")**  
SCALE: N.T.S. DATE: 12-13-13 **24A**



UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**WATER TRENCH**  
SCALE: N.T.S. DATE: 1-14-10 **8B**



UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**2" SHORTSIDE SERVICE FOR 1 1/2" OR 2" METERS**  
SCALE: N.T.S. DATE: 5-22-13 **19**



UNION COUNTY PUBLIC WORKS DEPARTMENT  
UNION COUNTY, N.C. STANDARD DETAIL  
**SERVICE CONNECTION**  
SCALE: N.T.S. DATE: 10-9-11 **5**

**CONSTRUCTION DOCUMENT**

Plotted By: hatley, Mitch. Sheet Set: Prescott Wendy's. Layout: SITE-DTLS-4. December 09, 2020 10:09:30am. C:\Users\Mitch.Hatley\My Documents\017523000\_Prescott Wendy's 02 - DWG\PlanSheets\C601 - SITE-DTLS.dwg

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE #E-0102

PROFESSIONAL SEAL  
12/01/2020  
DESIGNED BY MCH  
DRAWN BY MCH  
CHECKED BY MFJ

017523000  
DATE: 11/06/2020  
SCALE: AS SHOWN  
DESIGNED BY MCH  
DRAWN BY MCH  
CHECKED BY MFJ

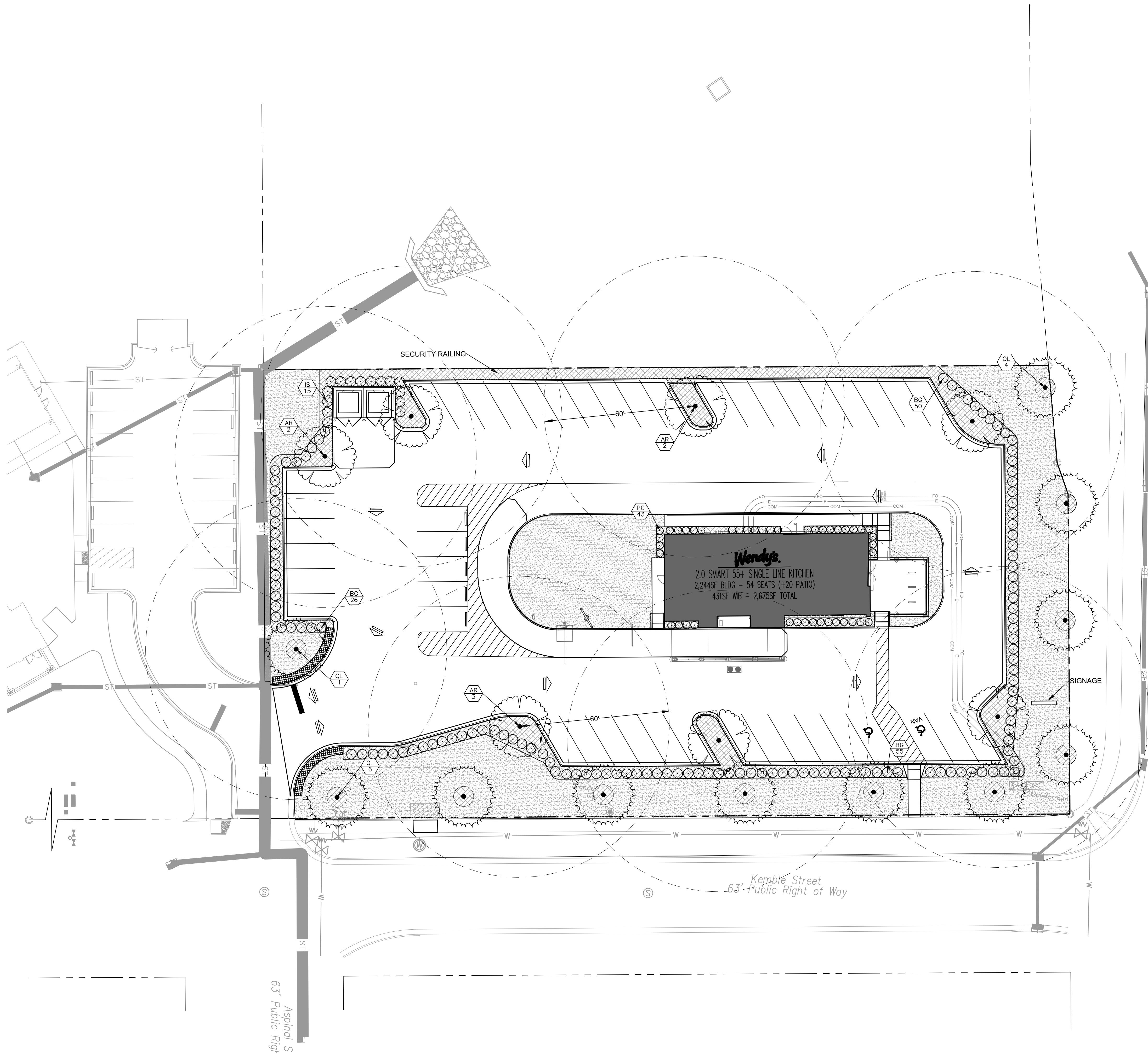
**PRESCOTT WENDY'S**  
PREPARED FOR  
**TAR HEEL CAPITOL**  
TOWN OF WAXHAW  
NORTH CAROLINA  
**SITE-DTLS**  
1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

SHEET NUMBER  
**C603**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Plotted By: Clemons, Corbin Sheet: Set: Prescott Wendy's Layout: L101 LANDSCAPE PLAN December 15, 2020 11:40:31am K:\CHL\_PRA\017523\_Torriest Capital\000\_Prescott Wendy's\02 - DWG\PlanSheets\L101 - LANDSCAPE PLAN.dwg



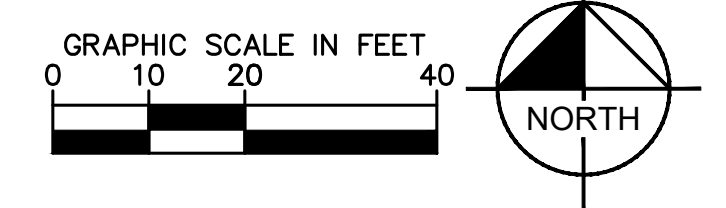
**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	AR	7	Acer rubrum / Red Maple	FG 2 in min CAL
	QL	11	Quercus lyrata / Overcup Oak	FG 2 in min CAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	BG	131	Buxus x 'Green Gem' / Green Gem Boxwood	5 Gal.
	IS	15	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 Gal.
	PC	43	Prunus laurocerasus 'Causica Nana' / Dwarf English Laurel	5 Gal.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	CD	13,059 sf	Cynodon dactylon / Bermuda Grass	Sod
	MW	6,128 sf	Mulch / Wood Chip Mulch	Install

**LANDSCAPE REQUIREMENTS**

STREET TREE REQUIREMENTS (per city code section 9-13)		
<b>South Providence Road</b>	<b>Required</b>	<b>Provided</b>
180 linear feet	1 per 40 - 60 ft. = 4 trees	4 trees
<b>Kemble Street</b>	<b>Required</b>	<b>Provided</b>
307 linear feet	1 per 40 - 60 ft. = 6 trees	6 trees
PARKING REQUIREMENTS (per city code section 9-12)		
<b>Parking</b>	<b>Required</b>	<b>Provided</b>
Trees	No parking space may be more than 60' from a tree	9 trees
SCREENING (per city code section 9-69,9-9,9-10)		
<b>Screening</b>	<b>Required</b>	<b>Provided</b>
Shrubs	Parking areas shall be screened from adjacent roads with shrubs	parking screening
Shrubs	A continuous landscape strip shall be provided adjacent to public streets	continuous landscape strip along South Providence Road
Shrubs	Dumpsters or trash handling areas are to be screened from abutting properties or public view	15 shrubs

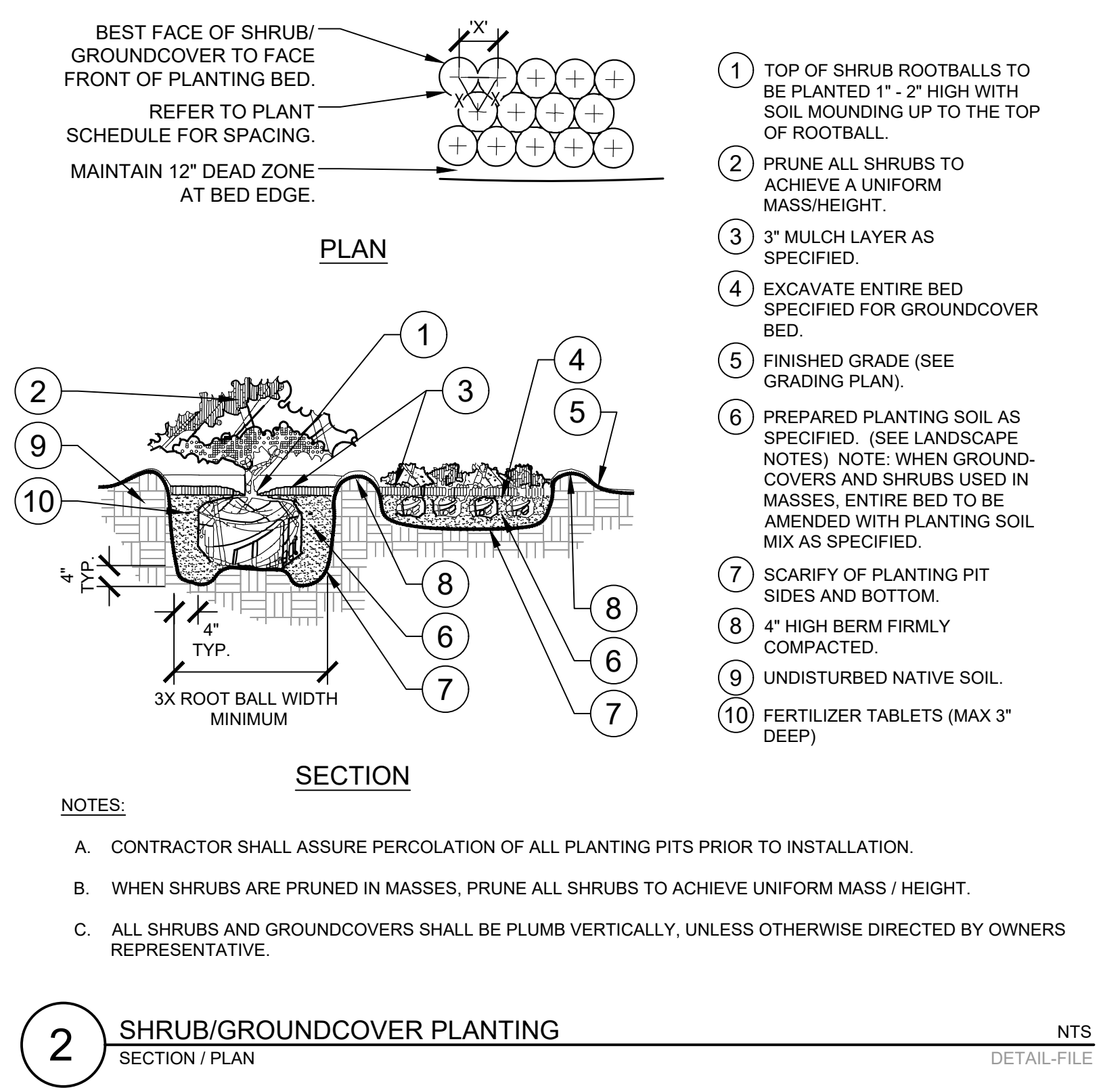
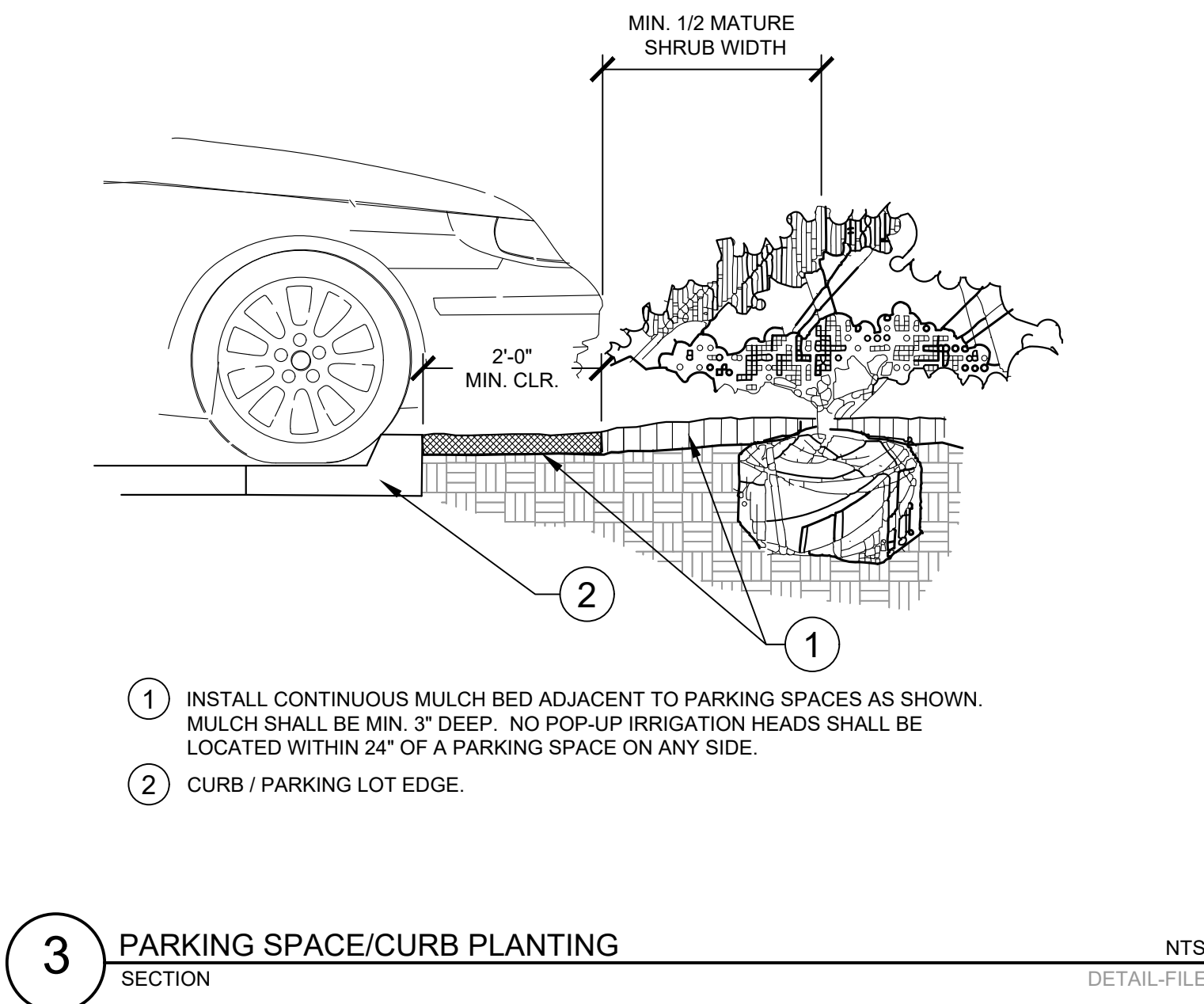
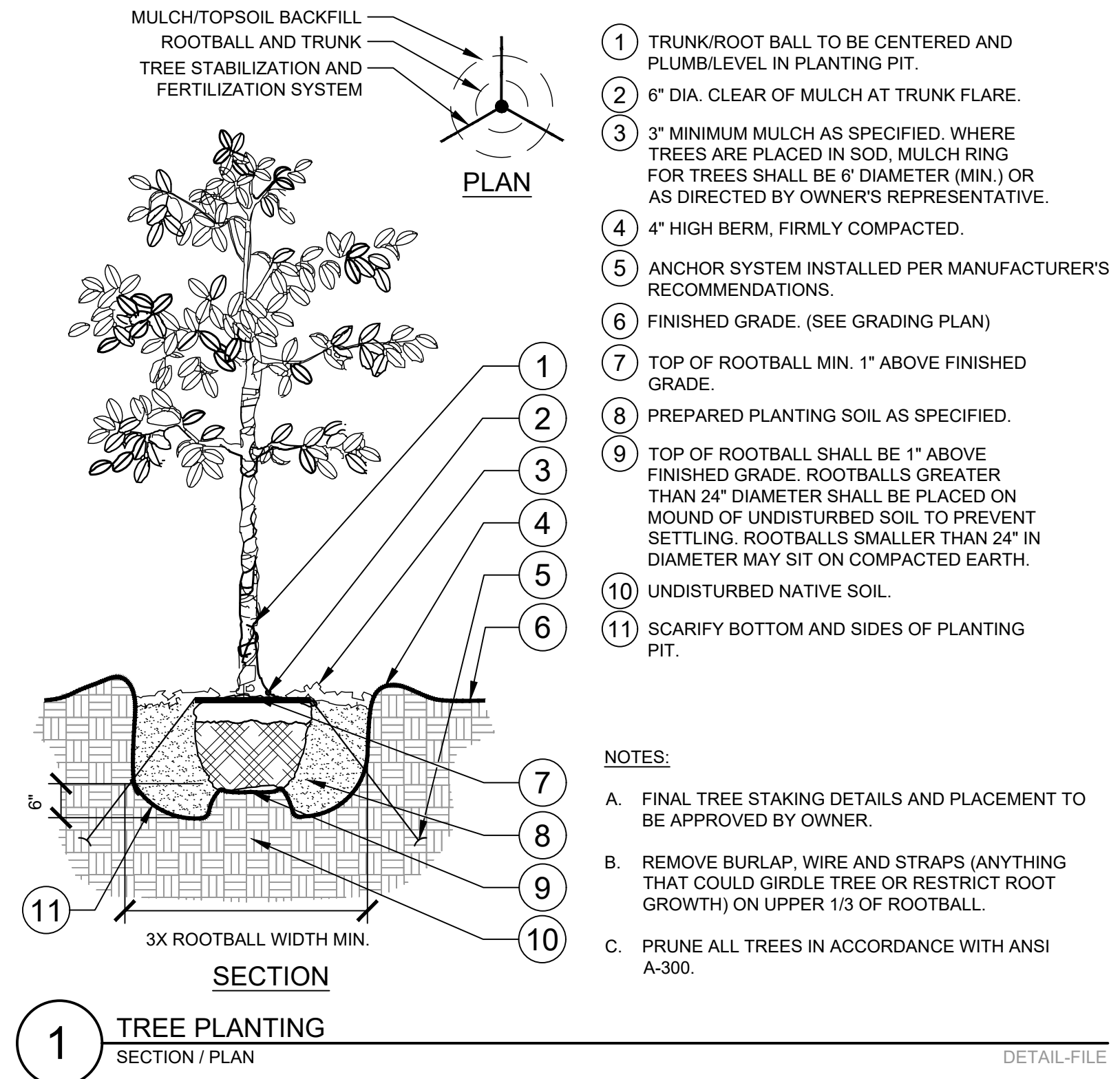
**CONSTRUCTION DOCUMENT**



<p><b>PRESCOTT WENDY'S</b></p> <p>PREPARED FOR <b>TAR HEEL CAPITOL</b></p> <p>TOWN OF WAXHAW NORTH CAROLINA</p> <p>SHEET NUMBER <b>L101</b></p>	<p style="text-align: center;"><b>LANDSCAPE PLAN</b></p> <p style="text-align: center;">1000 KEMBLE STREET WAXHAW TOWNSHIP, NC</p> <div style="text-align: center;"> </div> <p>017523000 DATE: 11/06/2020 SCALE: AS SHOWN DESIGNED BY: MCH DRAWN BY: MCH CHECKED BY: MFJ</p>								
<p>© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202 WWW.KIMLEY-HORN.COM NC LICENSE #F-0102</p>									
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	REVISIONS	DATE	BY				
NO.	REVISIONS	DATE	BY						

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Clemons, Corbin - Sheet: Set: Prescott, Wendy's - Layout: L102 - LANDSCAPE DETAILS - December 15, 2020 11:40:31am - K:\CHL\PR\A\017523\_Torreal\_Capitol\000\_Prescott\_Wendy's\02 - DWG\PlanSheets\L101 - LANDSCAPE\_PLAN.dwg



- PLANT SCHEDULE NOTES:**
- ALL PLANT MATERIAL SHALL COMPLY WITH THE SIZING AND GRADING STANDARDS AS SET FORTH IN THE MOST CURRENT EDITION IF ANSI Z60.180 - AMERICAN STANDARD FOR NURSERY STOCK.
  - NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN AUTHORIZATION OF THE PROJECT LANDSCAPE ARCHITECT.
  - VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLAN SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  - CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY THEIR WORK.
  - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY PROJECT LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF TRIPPLE SHREDDED HARDWOOD MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH.
  - ALL PROPOSED TREES WITHIN SIGHT TRIANGLES TO BE LIMBED UP TO CLEAR SIGHT OBSTRUCTION.
  - ALL PLANTING PER CITY OF CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS (CMLDS) AND LANDSCAPE CONSTRUCTION STANDARDS.
- GENERAL NOTES:**
- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE AS HATCHED ON THE LANDSCAPE PLAN.
  - SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ON-SITE PRIOR TO PLANTING TO CONFIRM PROPER SOIL AMENDMENTS.
  - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
  - IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO SODDING ACTIVITY.
  - ALL TREE SAVE AREAS LESS THAN 30' WIDE MUST BE STAKED PRIOR TO SITE PLAN SUBMITTAL.

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH TRYON ST., SUITE 200, CHARLOTTE, NC 28202  
WWW.KIMLEY-HORN.COM  
NC LICENSE #F-0102

PROFESSIONAL SEAL  
MARGARET J. WENDY  
12/01/2020  
017523000  
DATE: 11/06/2020  
SCALE: AS SHOWN  
DESIGNED BY: MCH  
DRAWN BY: MCH  
CHECKED BY: MFJ

**LANDSCAPE DETAILS**  
1000 KEMBLE STREET  
WAXHAW TOWNSHIP, NC

PRESCOTT WENDY'S  
PREPARED FOR  
**TAR HEEL CAPITOL**  
TOWN OF WAXHAW  
NORTH CAROLINA  
SHEET NUMBER  
**L102**

**CONSTRUCTION DOCUMENT**

