SITE CONSTRUCTION PLANS for

PRESCOT WENDYS

1000 KEMBLE STREET WAXHAW TOWNSHIP, UNION COUNTY, NORTH CAROLINA

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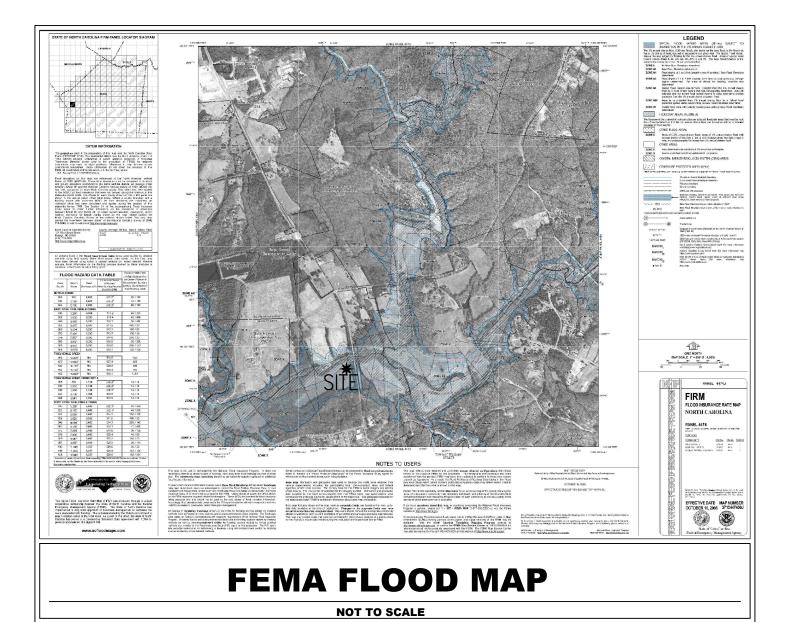
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SITE LOCATION MAP



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PROJECT OWNER AND CONSULTANT INFORMATION

DEVELOPER: TARHEEL CAPITOL

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CONSTRUCTION **DOCUMENT**





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SPECIFICATIONS

DELETERIOUS MATERIAL

- ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 5. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY REGULATORY AGENCY REPRESENTATIVES.
- 6. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- 7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY LAND SURVEYOR. ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS
 REQUIRED BY CODES
- 9. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE STATE DEPARTMENT OF TRANSPORTATION STRUCTURE STANDARDS AND REGULATIONS (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER
- 11. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE EXISTING OR BETTER CONDITION.
- 13. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 14. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 16. ALL WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 7. TRAFFIC CONTROL ON ALL STATE, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

CONSTRUCTION TESTING

CONSTRUCTION TESTING

- IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL TESTS REQUIRED BY THE JURISDICTIONAL AGENCIES HAVING AUTHORITY.
- 2. IF DETERMINED BY THE OWNER, THE CONTRACTOR SHALL PROVIDE ADDITIONAL CONSTRUCTION TESTING. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR REQUIRED
- 3. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- 4. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- EACH BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A
 JURISDICTIONALLY-APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN
 SERVICE.

AS-BUILTS/RECORD DRAWINGS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE
- CONTRACTOR.

 THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEYS SEALED BY A STATE REGISTERED PROFESSIONAL LAND SURVEYOR DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS. THE RECORD DRAWINGS SHALL BE PREPARED TO THE SAME LEVEL OF DETAILS AS PROVIDED ON THE DESIGN
- THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER RECORD DRAWINGS IN BOTH PDF AND AUTOCAD FORMAT FOR ALL PAVING, GRADING, AND STORMWATER BMPS, AND
- . THE CONTRACTOR SHALL PROVIDE A SEPARATE UTILITY RECORD DRAWING IN AUTOCAD AND PDF FORMAT. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE
- IN ADDITION TO THE OWNER AND ENGINEER REQUIRED SURVEYS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL RECORD DRAWINGS AND AS-BUILT INFORMATION AS REQUIRED BY THE JURISDICTION.

GENERAL ACCESSIBILITY NOTES

STORMWATER DRAINAGE PIPES AND STRUCTURES.

- THE CONTRACTOR SHALL REVIEW ALL APPLICABLE STATE AND LOCAL GUIDELINES AS THEY
 APPLY TO THE ACCESSIBILITY AND SIGNAGE.
- 2. ALL CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BF RFPI ACED AT THE CONTRACTOR'S EXPENSE.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED COMPLIANT WITH THE LATEST EDITION
 OF THE ADA STANDARDS FOR ACCESSIBILE DESIGN AS PUBLISHED BY THE DEPARTMENT OF
 JUSTICE.UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE
 ENGINEER, SURVEYOR, OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE
 TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE
- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- 5. PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- 6. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- 7. ANY COMPONENTS OF THE PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- 8. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.

GENERAL EROSION CONTROL NOTES

- PRIOR TO CONSTRUCTION THE CONTRACTOR MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS STREAMS/WETLANDS, NATURAL BUFFERS, TREE, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.)
- 2. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- 3. BMPS PROPOSED FOR SITE DEVELOPMENT HAVE BEEN DESIGNED TO ADDRESS CONSTRUCTION STORMWATER RUNOFF. IN THE EVENT THE BMPS BECOME INEFFECTIVE AT PREVENTING SEDIMENT FROM LEAVING THE SITE, IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT ADDITIONAL BMPS.THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN BMPS AS DESCRIBED IN THE GENERAL PERMIT. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BYTHE EROSION CONTROL INSPECTOR.
- 4. CONTRACTOR SHALL REVIEW THE GENERAL PERMIT PRIOR TO COMMENCING CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLANS AND GENERAL PERMIT ONSITE AT ALL TIMES.
- 5. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE
- 6. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE
- MINIMUM STANDARDS AND SPECIFICATIONS OF THE STATE WHICH THE WORK IS PERFORMED.

 THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH
- 8. ALL CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.

APPLICABLE STATE EROSION AND SEDIMENT CONTROL REGULATIONS

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- 10. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- PAVEMENT REPLACEMENT.

 1. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- 2. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING. THE BUILDING(S). AND SITE PAVING.
- 13. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION.
- 5. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- 16. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. CONTACT PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
- 17. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-8802), AND AS REQUIRED BY THE GENERAL PERMIT.
- 18. THE CONTRACTOR SHALL MAINTAIN JURISDICTIONALLY REQUIRED BUFFERS OF UNDISTURBED NATURAL VEGETATION BETWEEN THE DISTURBED PORTIONS OF THE SITE AND SURFACES WATERS AT ALL TIMES. BUFFERS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION.
- 19. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO THE APPROPRIATE GOVERNING ENTITY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
- 20. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 2:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- 21. NO PARKING SHALL BE LOCATED OUTSIDE THE LIMITS OF DISTURBANCE.
- 22. NO CONSTRUCTION LAYDOWN OR STAGING SHALL BE LOCATED OUTSIDE THE LIMITS OF DISTURBANCE.
- 23. ALL DRAINAGE SWALES MUST BE GRADED AND RIP-RAP MUST BE REPLACED AS REQUIRED TO CONTROL EROSION. RIP-RAP WILL CONSIST OF 50 125 POUND STONES PLACED AT ALL HEADWALLS, AND WHERE NOTED ON CONSTRUCTION DRAWINGS. SEE DETAIL SHEET FOR OUTFALL PIPE SIZE CHART.
- 24. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED FOR ADDITIONAL CONTRACTOR LAYDOWN AREA. CONTRACTOR TO COORDINATE WITH ENGINEER DURING CONSTRUCTION. THE LIMITS OF DISTURBANCE SHOULD CONTAIN ANY ADDITIONAL LAYDOWN AREAS. IF ADDITIONAL LAYDOWN AREA IS NEEDED OUT SIDE THE LIMITS OF DISTURBANCE, A REVISED EROSION CONTROL PLAN SHOULD BE REVIEWED AND PERMITTED.

25 PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED

- TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
- 26. ALL TEMPORARY STORMWATER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- 7. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, STOCKPILES . FLOOD PLAIN AREA OR A DESIGNATED BUFFER. ALL STOCKPILES SHALL BE IMMEDIATELY STABILIZED AS REQUIRED BY THE GENERAL PERMIT

STORMWATER NOTES

- 1. REFER TO GENERAL UTILITY NOTES FOR ADDITIONAL REQUIREMENTS PERTAINING TO UNDERGROUND UTILITY AND STORMWATER PIPE INSTALLATION.
- ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- PIPE LENGTHS, GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE ONLY. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS.
- ALL STORM PIPE INSTALLED SHALL BE CLASS III RCP, UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING STORMWATER PIPE MATERIALS, MODIFIED, DAMAGED OR DEFORMED, ETC. SHALL NOT BE REUSED UNLESS SPECIFICALLY DIRECTED BY THE ENGINEER.
- . ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENT AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- 6. ALL PIPES SHALL BE BEDDED PER MANUFACTURER'S RECOMMENDATIONS.4. ALL ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY
- H-20 RATED TRAFFIC RIMS AND GRATES

 ALL CLEANOUT COVERS WITHIN THE PAVEMENT SECTIONS SHALL BE RATED FOR HEAVY DUTY TRAFFIC (H-20 RATED).

 WEEPHOLES ARE TO BE CONSTRUCTED IN ALL DRAINAGE STRUCTURES, A MINIMUM OF 1
- WEEPHOLE PER STRUCTURE. WEEPHOLES ARE TO BE CONSTRUCTED IN THE BOTTOM 1/3 OF STRUCTURE AND COVERED ON THE OUTSIDE OF THE STRUCTURE BY A BAG MADE OF FILTER FABRIC AND FILLED WITH #78 STONE.
 7. CONTRACTOR SHALL PROVIDE CATCH BASIN INLET PROTECTION ON ALL EXISTING AND
- PROPOSED INLETS UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

 3. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER
- MANUFACTURER'S RECOMMENDATIONS.

 9. GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- 10. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES
- 11. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.

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GENERAL DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES SHALL BE INCLUDED WITH THE BID. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- DEMOLITION AS DEPICTED ON THE DEMOLITION PLAN IS INTENDED TO DESCRIBE GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND LAWFUL DISPOSAL OF ALL STRUCTURES, PAVING, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS NECESSARY.
- 4. ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR ONLY AFTER NOTIFICATION OF THE ENGINEER AND AUTHORIZATION TO PROCEED IS GIVEN BY THE OWNER
- 5. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS ONLY AFTER NOTIFICATION OF THE ENGINEER AND AUTHORIZATION TO PROCEED IS GIVEN BY THE OWNER.
- 6. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ALL EXISTING FACILITIES AND OUTLOTS AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE SERVICE PROVIDERS AND COORDINATION THROUGH THE PROPERTY OWNER(S). THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE ITEMS SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- 9. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION
- 10. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONTRACTOR SHALL CONSULT THE ENGINEER AND OWNER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- 11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER
- 12. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING BUSINESSES AND PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING IMPROVEMENTS AND CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL COORDINATE WITH THE OWNER(S)/ LEASEE(S) PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
- 13. SHOULD CONSTRUCTION ACTIVITIES DAMAGE EXISTING FEATURES, THE CONTRACTOR SHALL REPLACE THE FEATURES WITH NEW MATERIALS. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- 14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACES. FINISHED SURFACES TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED. SAW CUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAW CUT EXISTING PAVEMENT AT THE RIGHT-OF-WAY. SAW CUTS SHALL BE MADE FULL DEPTH THROUGH THE EXISTING PAVEMENT. DISCARDED PAVEMENT SHALL BE REMOVED WITHOUT UNDERMINING THE EXISTING PAVEMENT. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
- 5. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE PROPERTY OWNERS AND UTILITY PROVIDERS TO MINIMIZE DISTURBANCE AND INCONVENIENCE.
- 16. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONTRACTOR SHALL CONSULT THE ENGINEER AND OWNER

IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.

18. ANY WATER WELLS ENCOUNTERED ARE TO BE BROUGHT TO THE PROJECT ENGINEER
 ATTENTION IMMEDIATELY AND PROPERLY ABANDONED BY A LICENSED WELL DRILLER.
 19. ANY SEPTIC SYSTEMS ENCOUNTERED SHALL BE BROUGHT TO THE THE PROJECT ENGINEER
 ATTENTION IMMEDIATELY AND SHALL BE PROPERLY DEMOLISHED.

GENERAL PAVING NOTES

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT, EXISTING PAVEMENT AND ANY STRUCTURES.
 THE PROPOSED SPOT ELEVATIONS SHOWN ARE FINISHED ELEVATIONS INCLUDING ASPHALT AND CONCRETE. REFER TO PAVEMENT SECTIONS AND CURB DETAILS TO ESTABLISH CORRECT

SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS

- CONTRACT.

 3. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL REVIEW
- THE RECCOMENDATIONS OF THE GEOTECHNICAL ENGINEER PRIOR TO PAVING.

 4. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- 5. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR STATE DEPT. OF TRANSPORTATION SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 6. ALL ON-SITE STRIPING IS TO BE PAINTED, UNLESS OTHERWISE NOTED. ALL STRIPING IN PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC STRIPING.
 7. TRANSVERSE EXPANSION JOINTS ARE TO BE PROVIDED IN CONCRETE SIDEWALKS AND
- COMBINED WALKS/CURBS WHERE SHOWN AND AT INTERVALS NOT TO EXCEED 12 X THE WIDTH OF THE WALK.

 EXPANSION JOINTS SHALL BE INSTALLED IN CONCRETE PAVEMENTS AND WALKS AT ALL
- LOCATIONS WHERE PAVEMENTS AND WALKS ABUT A VERTICAL SURFACE SUCH AS A CURB, WALL, COLUMN, ETC.

 CONTRACTION JOINTS SHALL BE PROVIDED AT EQUAL INTERVALS BETWEEN EXPANSION JOINTS IN CONCRETE WALKS. INSTALL CONTRACTION JOINTS AS SHOWN BUT IN NO CASE AT INTERVALS
- GREATER THAN 1.5 X THE WIDTH OF THE WALK.

 10. CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY ORACLE AND FREE THE MARKS.
- ANY CRACKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION.

 1. ALL NEW CONCRETE SHALL BE DOWELED INTO ALL EXISTING CONCRETE (PAVING, SIDEWALKS, CURB, ETC.). TRANSVERSE EXPANSION JOINTS ARE TO BE PROVIDED IN CONCRETE SIDEWALKS AND COMBINED WALKS/CURBS AS SHOWN ON THE DETAILS AND AT INTERVALS NOT TO EXCEED
- 12 TIMES THE WIDTH OF THE WALK.

 12. ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.

GENERAL UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO CONSTRUCTION.
 CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN ENCROACHMENT AGREEMENT PERMIT, AS REQUIRED. TO CONSTRUCT UTILITY CONNECTIONS.
- 2. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 3. REFER TO ARCHITECTURAL /MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR CONTINUATION OF UTILITIES WITHIN 5 FEET OF STRUCTURES.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT 811 FOR THE IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.

 5. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE
- ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 6. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE UTILITY PROVIDER FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE. THE CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER(S) AND RESPECTIVE UTILITY COMPANY REPRESENTATIVE.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

 CONTRACTOR SHALL SAW CUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO
- INSTALL UNDERGROUND ELECTRIC, TELEPHONE, SEWER, WATER, AND COMMUNICATION CONDUITS. PAVEMENTS, WALKS, CURBS AND OTHER SURFACE IMPROVEMENTS REQUIRING REMOVAL FOR INSTALLATION OF UNDERGROUND UTILITIES SHALL BE RESTORED TO THEIR PRESENT CONDITION UNLESS OTHERWISE SHOWN.
- 10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL POWER COMPANY STANDARDS.
- 11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
- 12. PRESSURE UTILITY MAINS AND SERVICE LINES MAY NEED TO BE INSTALLED AT A DEPTH GREATER THAN THAT SPECIFIED OR SHOWN ON THE DRAWINGS TO CLEAR EXISTING AND PROPOSED CROSSING UTILITIES. IN SUCH CASES, THE CONTRACTOR SHALL INSTALL VERTICAL BENDS AS REQUIRED TO ACHIEVE APPROPRIATE CLEARANCE BETWEEN THE CROSSING UTILITIES.
- 13. WHERE GRADE MODIFICATIONS (CUT OR FILL) ARE SHOWN ADJACENT TO EXISTING VALVE BOX COVERS AND MANHOLE CASTINGS, THE VALVE BOX COVERS AND MANHOLE CASTINGS SHALL BE ADJUSTED FLUSH WITH THE PROPOSED GRADE.
- 14. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- 15. ALL PROPOSED STUBS SHALL BE CAPPED AND SHALL BE PROVIDED WITH FIELD MARKERS.

 16. CONTRACTOR TO PROVIDE AND INSTALL CONDUIT FOR SITE LIGHTING PER SITE LIGHTING PLAN
- (BY OTHERS).17. CONTRACTOR TO PROVIDE AND INSTALL CONDUIT FOR IRRIGATION PER IRRIGATION PLAN (BY OTHERS).
- 18. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, SURVEYED, AND APPROVED BEFORE BACKFILLING.19. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 ALL CHANGES IN DIRECTION OF THE CONDUIT SHALL UTILIZE STANDARD SWEEPS WITH A
 MINIMUM BENDING RADIUS LISTED IN THE NEC. NO MORE THAN (2) 90-DEGREE BENDS WILL BE
 ALLOWED BETWEEN PULLING POINTS, OR A TOTAL OF 180 DEGREES COMBINED IN SEVERAL
 BENDS. PULL BOXES SHALL BE LOCATED EVERY 400 FEET UNLESS THE COMBINED TOTAL OF
- BENDS. PULL BOXES SHALL BE LOCATED EVERY 400 FEET UNLESS THE COMBINED TOTAL OF BENDS REQUIRE ADDITIONAL MANHOLES.

 21. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL
- CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).

 22. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT. THE MOST STRINGENT SHALL GOVERN.
- 23. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PI ANS
- 24. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY DUCTILE IRON PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 25. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
 26. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL
- BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 27. UNDERGROUND WATER AND SANITARY SEWER LINES SHALL BE SURVEYED BY STATE LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.

 28. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCI UDE, BUT

MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A

MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO

UNDERGROUND UTILITY, INCLUDING STORMWATER PIPES, SHALL BE INSTALLED IN ACCORDANCE

- THE UTILITY PROVIDERS, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

 29. IF DETERMINED NECESSARY BY THE LOCAL JURISDICTION, THE CONTRACTOR SHALL ABANDON EXISTING WATER METERS. CUT THE CORPS OFF, AND AIR-GAP THE SERVICES.
- A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.B. EXCAVATED MATERIAL SHALL BE LACED ON THE UPHILL SIDE OF TRENCHES.

WITH THE FOLLOWING STANDARDS:

GENERAL GRADING NOTES

- ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 2. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL
- POINTS RELATED TO EARTHWORK.

 3. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE
- RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

 4. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK. AND THIS MUST BE VERIFIED BY THE
- GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.

 5. CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
- SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.

 6. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS
- WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.

 7. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL
- BLASTING AND SAFETY REQUIREMENTS

 8. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE
- REGRADED AND SEEDED.

 9. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- 11. FIELD ADJUSTMENTS OF RIM ELEVATIONS OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. MAXIMUM HEIGHT OF ADJUSTING RINGS SHALL NOT EXCEED 12-INCHES. ADJUSTMENTS OF CASTINGS WHERE THE TOTAL HEIGHT OF ADJUSTING RINGS WOULD EXCEED 12 INCHES SHALL BE MADE BY REPLACING THE CONE AND/OR BARREL SECTION OF THE STRUCTURE.
- 12. WHERE GRADE MODIFICATIONS ARE SHOWN ADJACENT TO EXISTING VALVE BOX COVERS AND MANHOLE CASTINGS, THE VALVE BOX COVERS AND MANHOLE CASTINGS SHALL BE ADJUSTED FLUSH WITH THE PROPOSED GRADE.
- 13. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
 14. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER
- PRIOR TO ANY EXCAVATION.

 15. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.

JURISDICTIONAL AGENCY OR TO STATE DEPARTMENT OF TRANSPORTATION STANDARDS. IN THE

16. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL

EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

17. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SEEDDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED

BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE

- SEEDDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.

 18. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL):1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR APPROPRIATE SLOPE STABILIZATION ON ALL SLOPES STEEPER THAN 3:1.

 CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING
- SEED MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 20. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 21. ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 98 PERCENT OF ASTM D-698 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY A GEOTECHNICAL ENGINEER. FILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 8" LIFTS. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION, THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (P.I. BETWEEN 4
- 22. GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.

REPLACED AS RECOMMENDED BY A GEOTECHNICAL ENGINEER.

WATER DISTRIBUTION NOTES

24. UNSUITABLE FILL BENEATH BUILDING PADS AND PAVED SURFACES MUST BE EXCAVATED AND

23. ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.

- CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDINGS BASED ON ARCH / MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
 A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN WATER LINES AND SEWERS SHALL BE MAINTAINED AT ALL TIMES. A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN WATER LINES AND SANITARY/STORM SEWERS SHALL BE MAINTAINED AT CROSSINGS.
 IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES
- SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).

AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE

WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE

- 9. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 48 INCHES OF COVER AS MEASURED FROM THE TOP OF THE PIPE TO THE FINAL FINISH GRADE ABOVE THE PIPE.
 10. THRUST BLOCKS OR JOINT RESTRAINTS SHALL BE INSTALLED ON ALL WATER LINES AT ALL
- BENDS, TEES AND HYDRANTS PER THE DETAILS.

 11. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF FITTINGS AND
- 12. WATER LINES SHALL BE AS FOLLOWS:
 6" AND LARGER, PVC C-900, DR-18, PER ASTM D 2241
 6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER
- ANSI 816.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.

 13. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.

 14. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE
- SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.

 15. BACKFLOW PREVENTIOPN ASSEMBLIES TO BE INSTALLED ABOVE-GROUND SHALL BE INSTALLED WITHIN INSULATED ENCLOSURE AND PER JURISDICTIONAL REQUIREMENTS. ENCLOSURES SHALL INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER. CONTRACTOR SHALL ENSURE THE BACKFLOW PREVENTION ASSEMBLY AND ENCLOSURE IS INSTALLED OUTSIDE OF SIGHT DISTANCE TRIANGLES AT INTERSECTIONS WITH VEHICULAR TRAVEL WAYS.
- 16. ALL BACKFLOW PREVENTERS SHALL BE HEATED.

APPURTENANCES ROUNDED TO THE NEAREST FOOT.

SANITARY SEWER NOTES

- CONTRACTOR TO LOCATE LATERAL CONNECTIONS TO BUILDING PER PLUMBING PLANS.
 PLACE CLEAN-OUTS ON SANITARY SEWER LATERALS AS REQUIRED BY PLUMBING CODE.
 PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES AND ARE
- ROUNDED TO THE NEAREST FOOT.

 4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN WATER LINES AND SEWERS SHALL BE MAINTAINED AT ALL TIMES. A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN WATER LINES AND SEWERS SHALL BE MAINTAINED AT CROSSINGS. IN THE EVENT THAT MINIMUM SEPARATION REQUIREMENTS CANNOT BE MET, THE CONTRACTOR SHALL UTILIZE PRESSURE-TYPE
- WATER PIPE FOR THE SEWER PER DETAIL.

 5. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

. SANITARY SEWER STRUCTURES SHALL BE AS FOLLOWS:

COVERS AND FRAMES PER THE SAME.

- 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP 6" PVC SCHEDULE 40
- DUCTILE IRON PIPE PER AWWA C150
 6. WHENEVER VERTICAL DISTANCE BETWEEN OUTGOING AND INCOMING SEWERS IS MORE THAN 2 FEET A OUTSIDE DROP MANHOLE SHALL BE INSTALLED.
- 48" DIAMETER PRECAST POLYETHYLENE IN ACCORDANCE WITH ASTM D1248. MANHOLES SHALL HAVE A COMPRESSIVE STRENGTH THAT MEETS ASTM D2412.

 8. ALL MANHOLES AND CLEANOUTS SHALL BE H20 TRAFFIC GRADE AND RATED WITH HEAVY DUTY

48" DIAMETER PRECAST CONCRETE MANHOLE PER ASTM C478.

REVISIONS DATE

19999

© 2020 KIMLEY-HÖRN AND ASSOCIATES, IN PHONE: 704-333-5131 WWW.KIMLEY-HORN.COM

SEAL 046983

DATE 006/2020

AS SHOWN AS SHOWN WCH CD BY MCH CD BY

TO6, SCALE AS DESIGNED B

ERAL NOTE

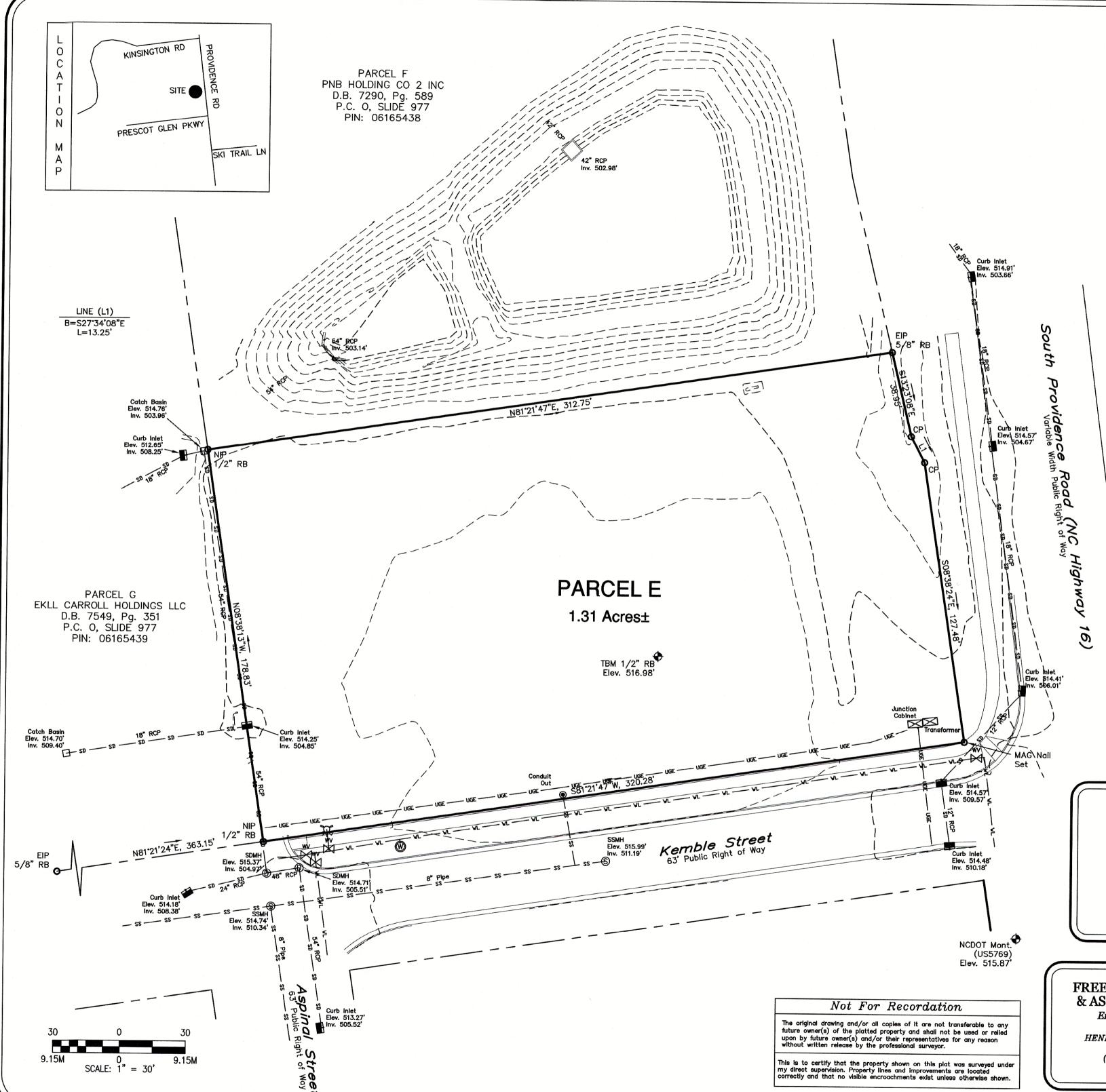
SAPITOL

PREPARED FOR TAR HEEL CAP

SHEET NUMBER

Ω

DOCUMENT





LEGEN	1D:	
	NIP EIP CP	NEW IRON PIN EXISTING IRON PIN CALCULATED POINT ONLY POWER POLE LIGHT POLE WATER VALVE GAS VALVE WATER METER FIRE HYDRANT SANITARY SEWER MANHOLE STORM DRAIN MANHOLE CATCH BASIN CLEANOUT CURB INLET TRANSFORMER OVERHEAD POWER FENCE LINE

SURVEY NOTES

- 1) The basis of bearings for this survey is NC Grid based on NAD83(2011).
- 2) The basis of elevations for this survey is NAVD88 based on an OPUS Session performed on July 7, 2020.
- 3) There could easements that affect this property which should be contained in a current title report. Title report not furnished.



LB C-1562

Plat of Boundary Survey for Tar Heel Capitol

1000 Kemble Street
Waxhaw Township, Union County
State of North Carolina
Parcel E, Prescot Village - Phase 1

FREELAND - CLINKSCALES & ASSOCIATES, INC. of NC

Engineers * Land Surveyors

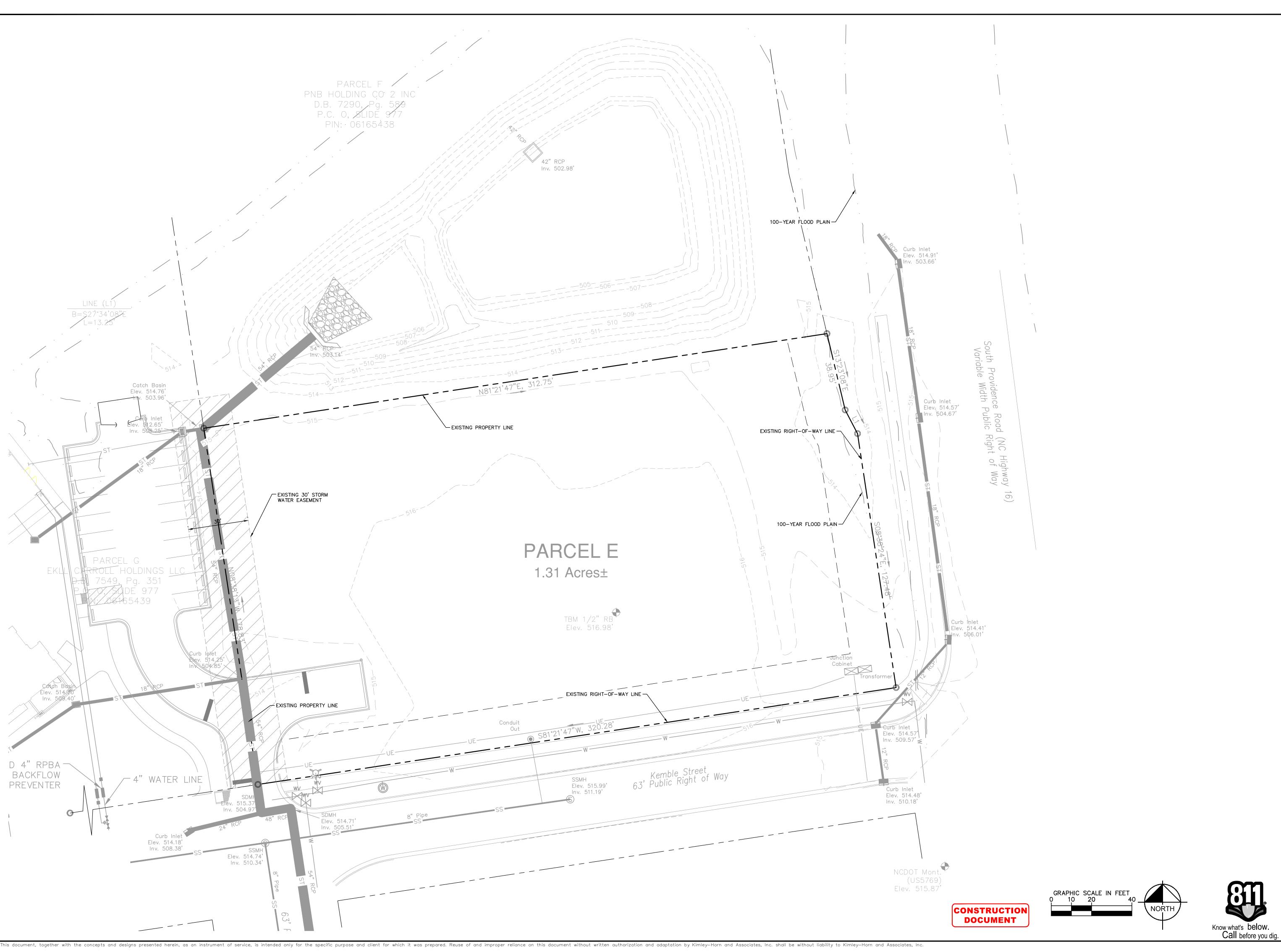
201 2nd AVE. EAST

HENDERSONVILLE, N.C. 28792

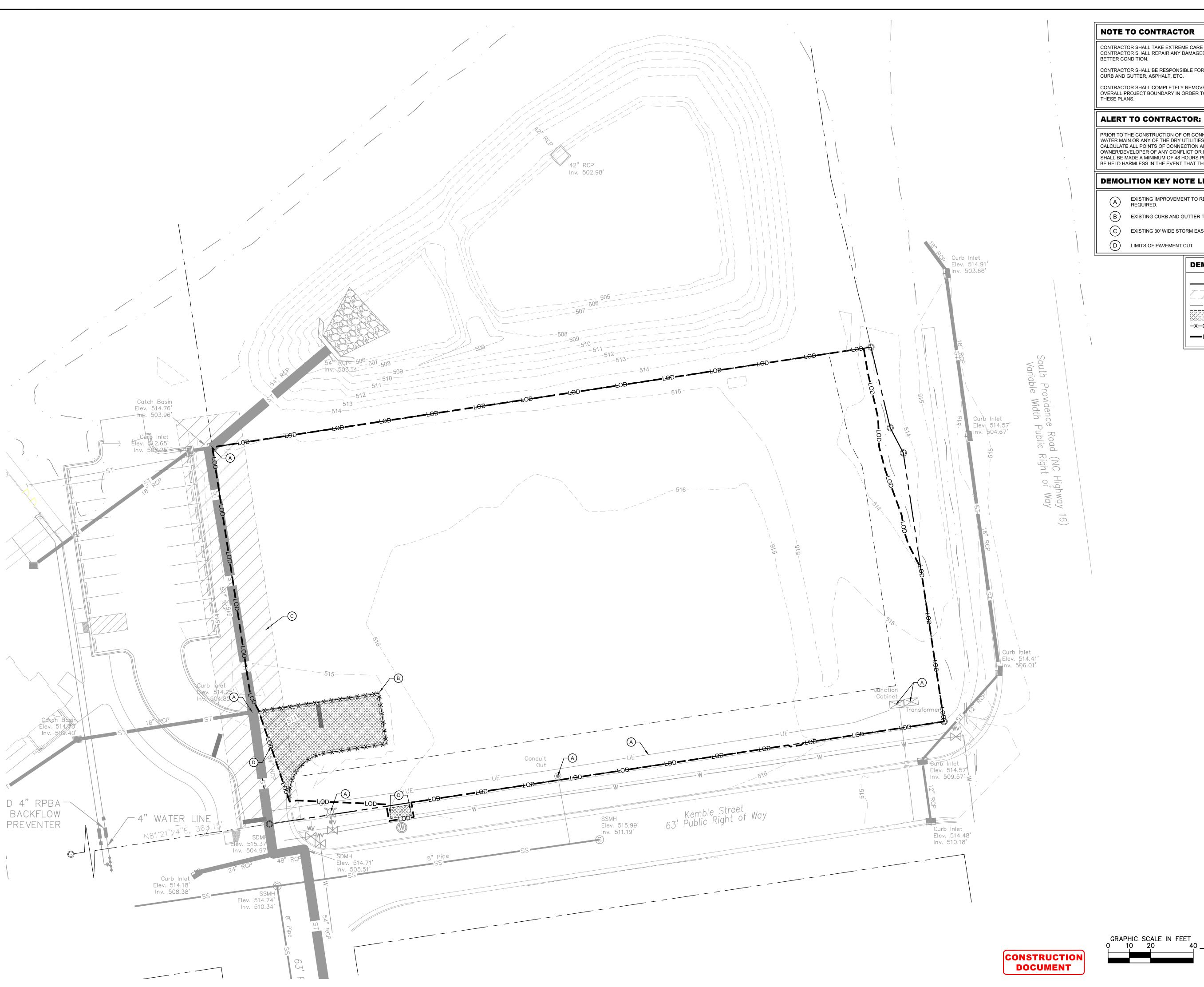
(828) 697-6539

(828) 697-4195 (fax)
fcaofnc@outlook.com
Firm No. C-1562

REF. PLAT CAB.	0/977
REF. DEED. BOOK	7549/351
TAX MAP	06165437
PARTY CHIEF	ADM
DRAWN	ADM
DATE	JULY 1, 2020
DWG.NO.	H40349







CONTRACTOR SHALL TAKE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES.
CONTRACTOR SHALL REPAIR ANY DAMAGED FEATURES/UTILITIES TO THAT OF EXISTING OR

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPAIRS TO ANY DAMAGED ROADWAYS,

CONTRACTOR SHALL COMPLETELY REMOVE ALL FEATURES WITHIN THE LIMITS OF CONSTRUCTION / OVERALL PROJECT BOUNDARY IN ORDER TO CONSTRUCT PROPOSED IMPROVEMENTS AS SHOWN IN

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEC AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEC AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

DEMOLITION KEY NOTE LEGEND

EXISTING IMPROVEMENT TO REMAIN. ADJUSTMENT TO PROPOSED GRADES MAY BE

EXISTING CURB AND GUTTER TO BE REMOVED.

EXISTING 30' WIDE STORM EASEMENT

DEMOLITION LEGEND

PROPERTY BOUNDARY 30' EXISTING

BUFFER
FULL DEPTH PAVEMENT REMOVAL
—CLEAN SAWCUT EDGE -X-X-X-X-X-X-X EXISTING LINEAR ITEM TO BE REMOVED

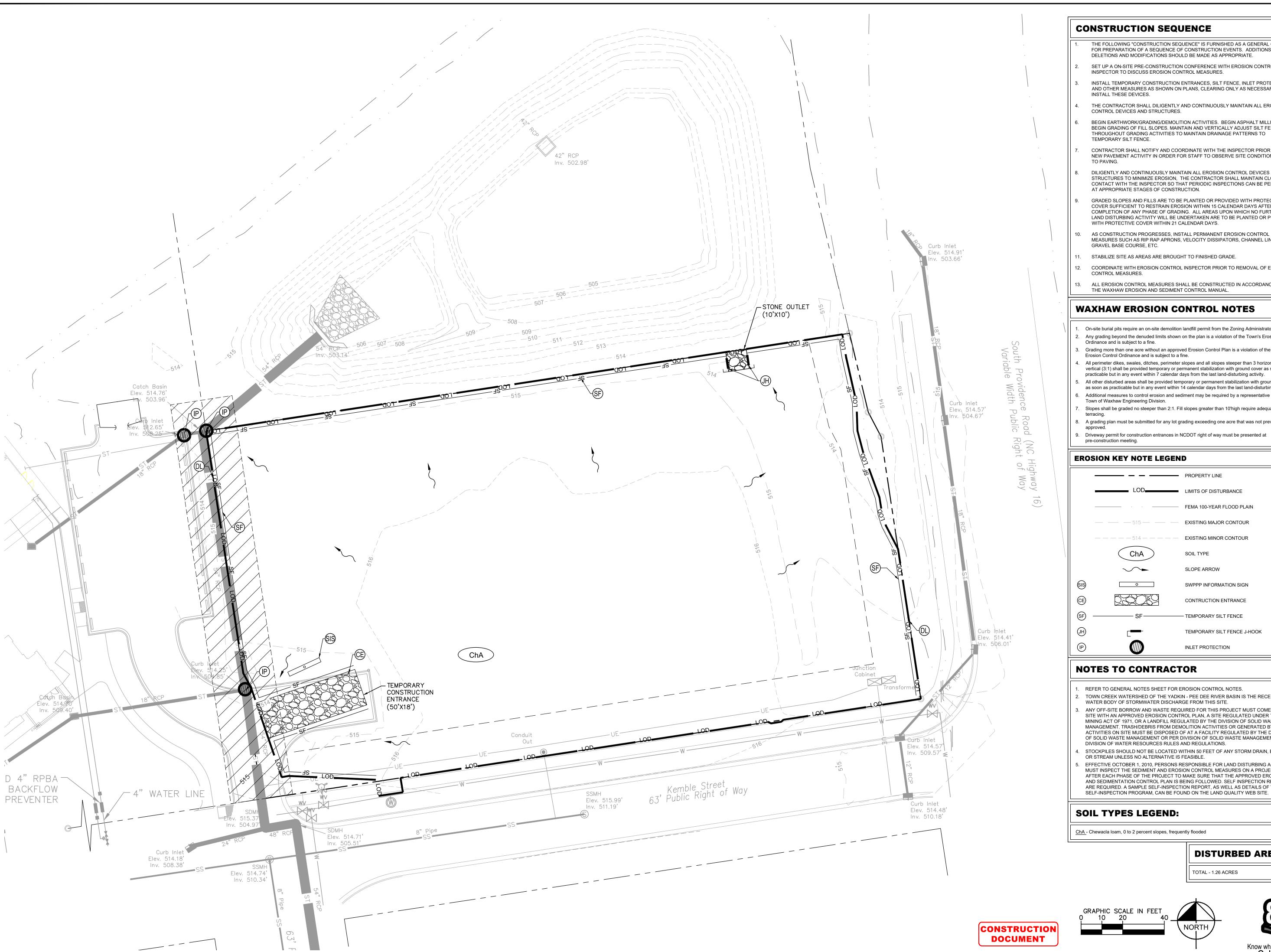
LOD LIMITS OF DISTURBANCE (LOD)



SHEET NUMBER

C105

Know what's below.
Call before you dig.



CONSTRUCTION SEQUENCE

- THE FOLLOWING "CONSTRUCTION SEQUENCE" IS FURNISHED AS A GENERAL GUIDE FOR PREPARATION OF A SEQUENCE OF CONSTRUCTION EVENTS. ADDITIONS, DELETIONS AND MODIFICATIONS SHOULD BE MADE AS APPROPRIATE.
- SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, SILT FENCE, INLET PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- BEGIN EARTHWORK/GRADING/DEMOLITION ACTIVITIES. BEGIN ASPHALT MILLING. BEGIN GRADING OF FILL SLOPES. MAINTAIN AND VERTICALLY ADJUST SILT FENCE THROUGHOUT GRADING ACTIVITIES TO MAINTAIN DRAINAGE PATTERNS TO TEMPORARY SILT FENCE.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE INSPECTOR PRIOR TO ANY NEW PAVEMENT ACTIVITY IN ORDER FOR STAFF TO OBSERVE SITE CONDITION PRIOR
- DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION, THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- GRADED SLOPES AND FILLS ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER SUFFICIENT TO RESTRAIN EROSION WITHIN 15 CALENDAR DAYS AFTER THE COMPLETION OF ANY PHASE OF GRADING. ALL AREAS UPON WHICH NO FURTHER LAND DISTURBING ACTIVITY WILL BE UNDERTAKEN ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER WITHIN 21 CALENDAR DAYS.
- AS CONSTRUCTION PROGRESSES, INSTALL PERMANENT EROSION CONTROL MEASURES SUCH AS RIP RAP APRONS, VELOCITY DISSIPATORS, CHANNEL LINERS, GRAVEL BASE COURSE, ETC.
- 11. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WAXHAW EROSION AND SEDIMENT CONTROL MANUAL.

WAXHAW EROSION CONTROL NOTES

- 1. On-site burial pits require an on-site demolition landfill permit from the Zoning Administrator. 2. Any grading beyond the denuded limits shown on the plan is a violation of the Town's Erosion control Ordinance and is subject to a fine.
- 3. Grading more than one acre without an approved Erosion Control Plan is a violation of the Town's Erosion Control Ordinance and is subject to a fine.
- 4. All perimeter dikes, swales, ditches, perimeter slopes and all slopes steeper than 3 horizontal to 1 vertical (3:1) shall be provided temporary or permanent stabilization with ground cover as soon as
- practicable but in any event within 7 calendar days from the last land-disturbing activity. All other disturbed areas shall be provided temporary or permanent stabilization with ground cover as soon as practicable but in any event within 14 calendar days from the last land-disturbing activity.
- Additional measures to control erosion and sediment may be required by a representative of the Town of Waxhaw Engineering Division.
- Slopes shall be graded no steeper than 2:1. Fill slopes greater than 10'high require adequate
- 8. A grading plan must be submitted for any lot grading exceeding one acre that was not previously
- 9. Driveway permit for construction entrances in NCDOT right of way must be presented at pre-construction meeting.

EROSION KEY NOTE LEGEND

— — PROPERTY LINE LIMITS OF DISTURBANCE FEMA 100-YEAR FLOOD PLAIN — — 515— — **EXISTING MAJOR CONTOUR** EXISTING MINOR CONTOUR ChA SOIL TYPE SLOPE ARROW SWPPP INFORMATION SIGN CONTRUCTION ENTRANCE - TEMPORARY SILT FENCE TEMPORARY SILT FENCE J-HOOK INLET PROTECTION

NOTES TO CONTRACTOR

- 1. REFER TO GENERAL NOTES SHEET FOR EROSION CONTROL NOTES. 2. TOWN CREEK WATERSHED OF THE YADKIN - PEE DEE RIVER BASIN IS THE RECEIVING WATER BODY OF STORMWATER DISCHARGE FROM THIS SITE.
- 3. ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.
- 4. STOCKPILES SHOULD NOT BE LOCATED WITHIN 50 FEET OF ANY STORM DRAIN, BASIN, OR STREAM UNLESS NO ALTERNATIVE IS FEASIBLE.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE

SOIL TYPES LEGEND:

<u>ChA</u> - Chewacla loam, 0 to 2 percent slopes, frequently flooded

DISTURBED AREA

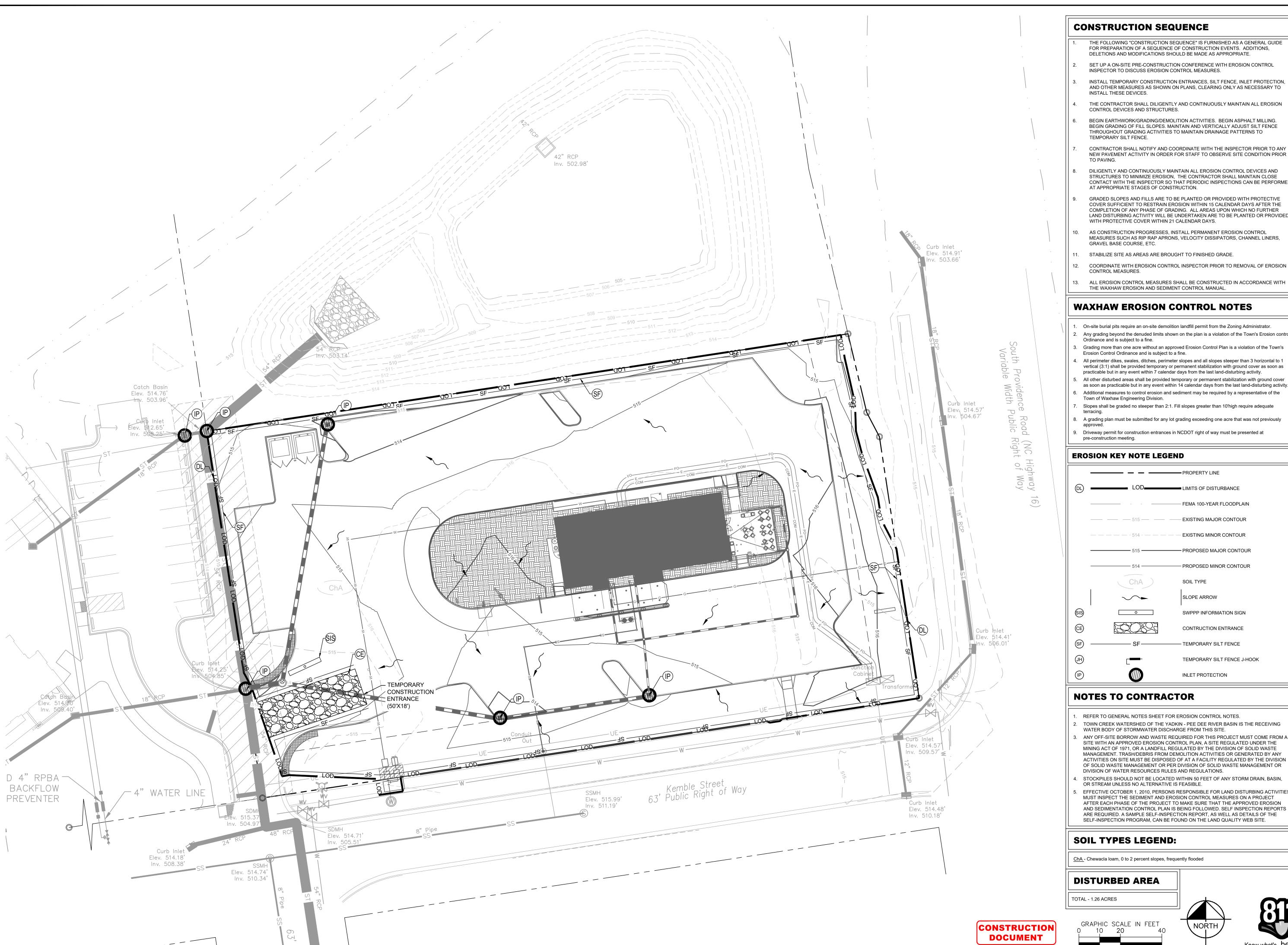
TOTAL - 1.26 ACRES





Know what's below.

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EROSION KEY NOTE LEGEND

PROPERTY LINE — — — — - 514 - — — — EXISTING MINOR CONTOUR - PROPOSED MINOR CONTOUR ChA SOIL TYPE SLOPE ARROW SWPPP INFORMATION SIGN CONTRUCTION ENTRANCE

NOTES TO CONTRACTOR

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- TEMPORARY SILT FENCE

INLET PROTECTION

TEMPORARY SILT FENCE J-HOOK

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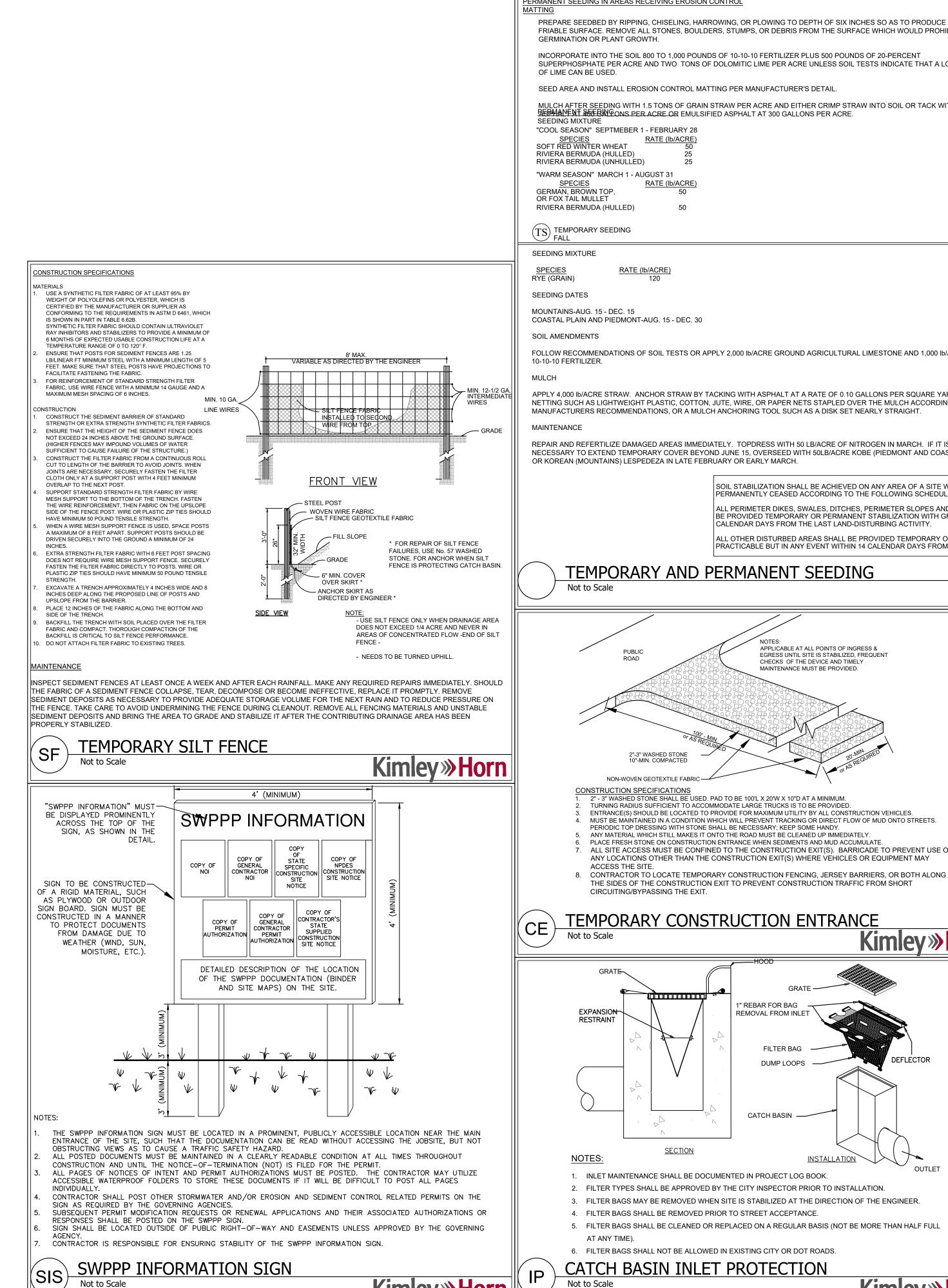
SOIL TYPES LEGEND:

<u>ChA</u> - Chewacla loam, 0 to 2 percent slopes, frequently flooded

DISTURBED AREA







This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without liability to Kimley—Horn and Associates, Inc. shall be without liability to Kimley—Horn and Associates, Inc.

(PS) PERMANENT SEEDING OVERALL SITE SEEDING, SPRIGGING, AND SODDING SEED, SPRIGG, & SOD ALL DISTURBED AREAS IN ACCORDANCE WITH LAWNS AND GRASSES SPECIFICATIONS AND L104 (SODDING AND SPRIGGING PLAN). PERMANENT SEEDING IN AREAS RECEIVING EROSION CONTROL PREPARE SEEDBED BY RIPPING, CHISELING, HARROWING, OR PLOWING TO DEPTH OF SIX INCHES SO AS TO PRODUCE A LOOSE, FRIABLE SURFACE. REMOVE ALL STONES, BOULDERS, STUMPS, OR DEBRIS FROM THE SURFACE WHICH WOULD PROHIBIT GERMINATION OR PLANT GROWTH. INCORPORATE INTO THE SOIL 800 TO 1,000 POUNDS OF 10-10-10 FERTILIZER PLUS 500 POUNDS OF 20-PERCENT SUPERPHOSPHATE PER ACRE AND TWO TONS OF DOLOMITIC LIME PER ACRE UNLESS SOIL TESTS INDICATE THAT A LOWER RATE SEED AREA AND INSTALL EROSION CONTROL MATTING PER MANUFACTURER'S DETAIL. FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 Ib/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 Ib/ACRE 10-10-10 MULCH AFTER SEEDING WITH 1.5 TONS OF GRAIN STRAW PER ACRE AND EITHER CRIMP STRAW INTO SOIL OR TACK WITH LIQUID 전달관심시트시T ≨등도입시약ONS PER ACRE OR EMULSIFIED ASPHALT AT 300 GALLONS PER ACRE. "COOL SEASON" SEPTMEBER 1 - FEBRUARY 28 RATE (lb/ACRE) "WARM SEASON" MARCH 1 - AUGUST 31 RATE (lb/ACRE) RATE (lb/ACRE) COASTAL PLAIN AND PIEDMONT-AUG. 15 - DEC. 30 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 Ib/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 Ib/ACRE

APPLY 4,000 Ib/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, NETTING SUCH AS LIGHTWEIGHT PLASTIC, COTTON, JUTE, WIRE, OR PAPER NETS STAPLED OVER THE MULCH ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS, OR A MULCH ANCHORING TOOL SUCH AS A DISK SET NEARLY STRAIGHT.

REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50LB/ACRE KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

TS TEMPORARY SEEDING LATE WINTER/EARLY SPRING

SEEDING MIXTURE

RATE (lb/ACRE) RYE (GRAIN) ANNÙAL LEŚPEDEZA (KOBE IN KOREAN IN MOUNTAINS)

PIEDMONT AND COASTAL PLAIN,

OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.

MOUNTAINS - ABOVE 2500 FT: FEB. 15 - MAY 15

BELOW 2500 FT: FEB. 1 - MAY 1 PIEDMONT - JAN. 1 - MAY 1 COASTAL PLAIN-DEC. 1 - APR. 15

APPLY 4,000 Ib/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, NETTING SUCH AS LIGHTWEIGHT PLASTIC, COTTON, JUTE, WIRE, OR PAPER NETS STAPLED OVER THE MULCH ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS, OR A MULCH ANCHORING TOOL SUCH AS A DISK SET NEARLY STRAIGHT

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER

(TS) TEMPORARY SEEDING SUMMER

SEEDING MIXTURE RATE (lb/ACRE) SPECIES
GERMAN MILLET

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 lb/ACRE.

SEEDING DATES

PIEDMONT-MAY 1 - AUG. 15 COASTAL PLAIN-APR. 15 - AUG. 15

SOIL AMENDMENTS

MOUNTAINS-MAY 15 - AUG. 15

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 Ib/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 Ib/ACRE 10-10-10 FERTILIZER.

APPLY 4,000 Ib/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, NETTING SUCH AS LIGHTWEIGHT PLASTIC, COTTON, JUTE, WIRE, OR PAPER NETS STAPLED OVER THE MULCH ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS, OR A MULCH ANCHORING TOOL SUCH AS A DISK SET NEARLY STRAIGHT.

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER

SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR ERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:

ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY

TEMPORARY AND PERMANENT SEEDING

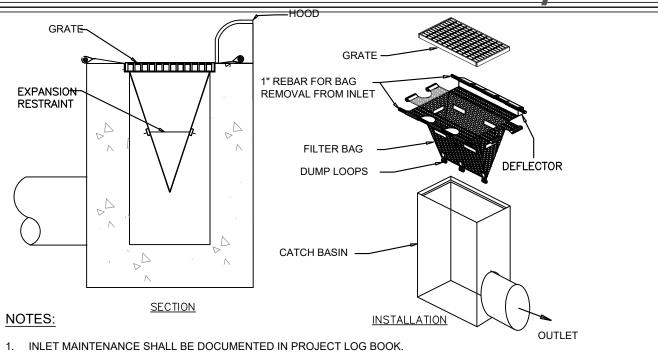
APPLICABLE AT ALL POINTS OF INGRESS & EGRESS UNTIL SITE IS STABILIZED, FREQUENT CHECKS OF THE DEVICE AND TIMELY 2"-3" WASHED STONE 10"-MIN. COMPACTED NON-WOVEN GEOTEXTILE FAB CONSTRUCTION SPECIFICATIONS
1. 2" - 3" WASHED STONE SHALL BE USED. PAD TO BE 100'L X 20'W X 10"D AT A MINIMUM. TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED

ENTRANCE(S) SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOP DRESSING WITH STONE SHALL BE NECESSARY: KEEP SOME HANDY. ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY

PLACE FRESH STONE ON CONSTRUCTION ENTRANCE WHEN SEDIMENTS AND MUD ACCUMULATE. ALL SITE ACCESS MUST BE CONFINED TO THE CONSTRUCTION EXIT(S). BARRICADE TO PREVENT USE OF ANY LOCATIONS OTHER THAN THE CONSTRUCTION EXIT(S) WHERE VEHICLES OR EQUIPMENT MAY

THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING/BYPASSING THE EXIT.

TEMPORARY CONSTRUCTION ENTRANCE



2. FILTER TYPES SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO INSTALLATION.

3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER. 4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.

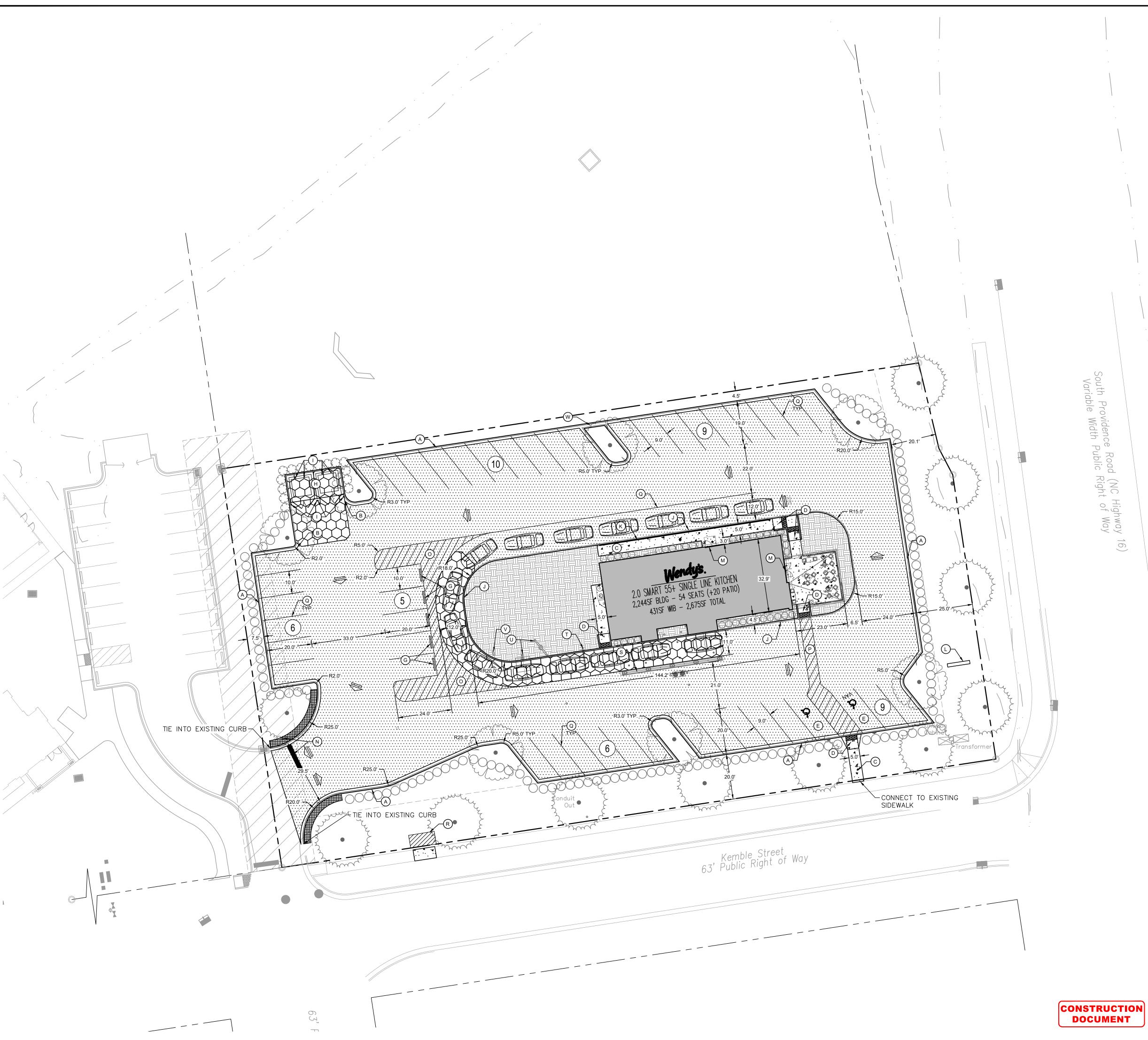
5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL

CATCH BASIN INLET PROTECTION

Kimley Horn

CONSTRUCTION **DOCUMENT**

1|4|4|4|4|<



SITE DEVELOPMENT PLAN NOTES

I. SEE "GENERAL NOTES" SHEET FOR SITE GENERAL CONSTRUCTION NOTES, PAVING, STRIPING, GRADING, AND ZONING NOTES.

2. SEE "SURVEY" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND

3. SEE "SITE DETAILS" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS. 4. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS

OTHERWISE NOTED. 5. DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL

UNLESS OTHERWISE SHOWN.

6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

PROPOSED IMPROVEMENTS LEGEND

HEAVY DUTY ASPHALT PAVEMENT CONCRETE SIDEWALK	PROPERTY BOUNDARY 30' EXISTING STORM EASEMENT 20' LANDSCAPE
HEAVY DUTY CONCRETE PAVEMENT STAMPED CONCRETE	BUFFER SIGNS
LANDSCAPED AREA PAINTED ISLANDS (~2' O.C. @ 45')	• SITE LIGHTING • BOLLARD / WHEEL STOP

SITE PLAN KEY NOTES

SITE IMPROVEMENTS

(A) 18" STANDARD CONCRETE CURB AND GUTTER

(B) GUTTER END TRANSITION

CONCRETE SIDEWALK PER DETAIL. WIDTH PER PLAN. 2% MAX. CROSS SLOPE, 5% MAX LONGITUDINAL ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL FOR PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).

SITE LIGHTING POLE / FIXTURE TYPICAL (SEE LIGHTING PLANS FOR DETAILS) (POLE BASE PAINTED

TRAFFIC YELLOW) CONCRETE WHEEL STOPS (TYPICAL)

DUMPSTER AND RECYCLE AREA. REFER TO ARCHITECTURAL PLAN FOR DESIGN INFORMATION.

6" DIAMETER PIPE BOLLARD, PAINTED TRAFFIC YELLOW, CONCRETE FILLED.

6" CONCRETE HEADER CURB

GUIDE / GUARD RAIL.

PROPOSED MONUMENT SIGN

PROPOSED BUILDING ENTRANCE/EXIT

24" WIDE PAINTED STOP BAR AND STOP SIGN (R1-1).

PAINTED ISLAND; 4" TRAFFIC WHITE STRIPING 2'-0" O.C., 45° TO THE PARKING SPACE (TYP.) OR

PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS.

SWSL /4" - SINGLE WHITE SOLID LINE - 4" WIDE

PROPOSED WATER EASEMENT

SEE ARCHITECTURAL PLANS FOR PORTE COCHERE AND CURB DESIGN

CANOPY BAR. SEE ARCHITECTURAL PLANS FOR DETAIL ORDER STATION. SEE ARCHITECTURAL PLANS FOR DETAIL

PRE-SELL BOARD. SEE ARCHITECTURAL PLANS FOR DETAIL

12" CONCRETE FLUME

ZONING CODE SUMMARY

PROJECT NAME: CLIENT NAME: PRESCOTT WENDY'S TAR HEEL CAPITOL PHONE#

PLANS PREPARED BY: KIMLEY-HORN AND ASSOCIATES (704)409-1812 PHONE# TAX PARCEL ID: 06165437 E STREET ADDRESS: 1000 KEMBLE STREET

WAXHAW, NORTH CAROLINA 28173 CONDITIONAL USE - GENERAL ZONING: COMMERCIAL (CU-C2)

PROPOSED USE: RESTAURANT BUILDING SF: 3,400 SF 1.31 ACRES LOT SIZE:

JURISDICTION: TOWN OF WAXHAW YARD REQUIREMENTS: SETBACK (EAST): SIDE YARD (NORTH):

PARKING SUMMARY

SIDE YARD (SOUTH):

REAR YARD:

PARKING REQUIREMENT: 15 SPACES PER 1000 SF

TOTAL PARKING REQUIRED: 34 SPACE INC. 2 ADA (1 VAN)

TOTAL PARKING PROVIDED: 45 SPACES INC. 2 ADA (1 VAN)

OPEN SPACE SUMMARY

PARCEL AREA: 1.31 ACRES (57,064 SF)
TOTAL IMPERVIOUS AREA (PAVEMENT, WALKS, AND BUILDING): 0.00 ACRES (0 SF) **EXISTING** -

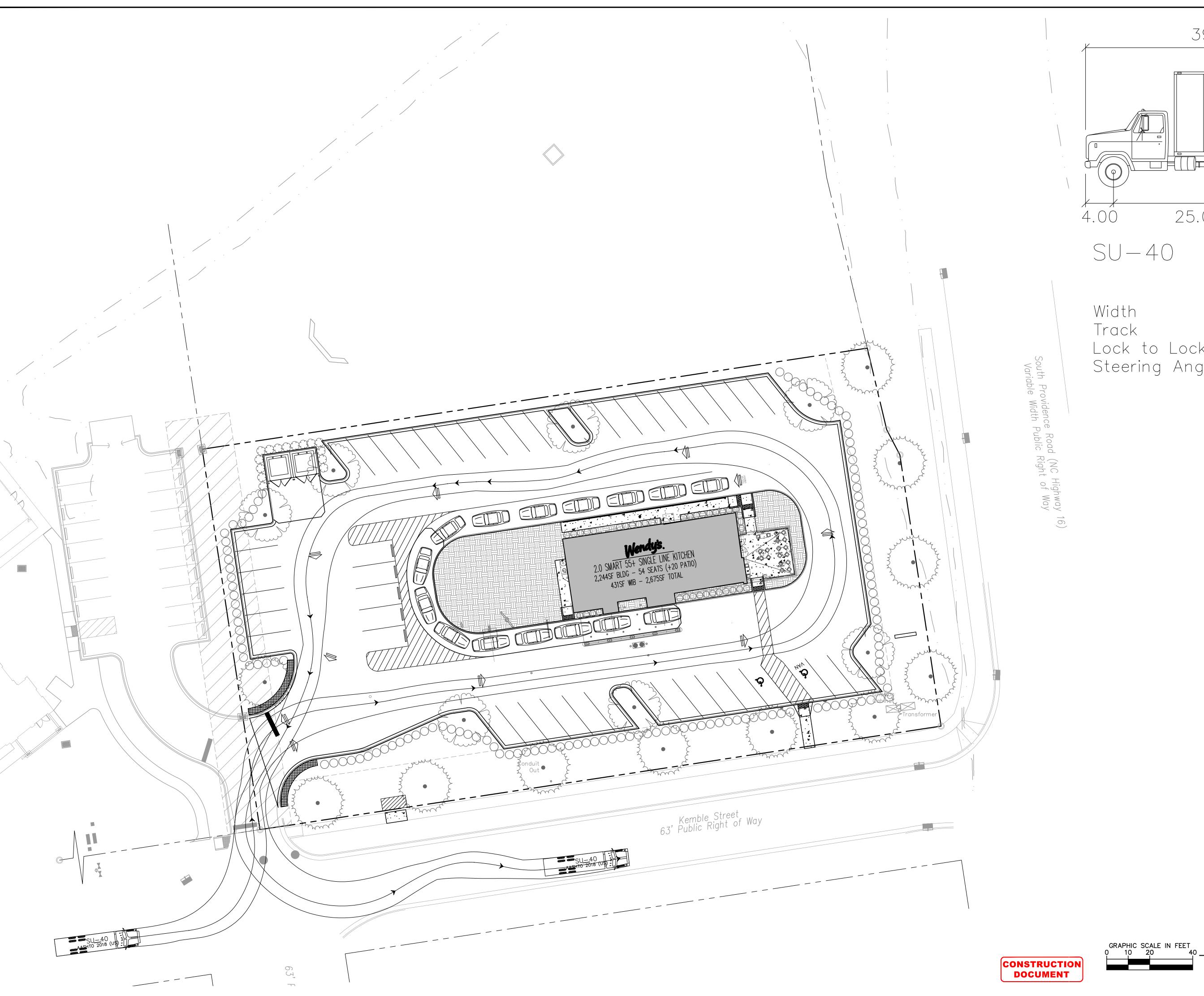
PROPOSED - 0.88 ACRES (18,618 SF / 32.6%)

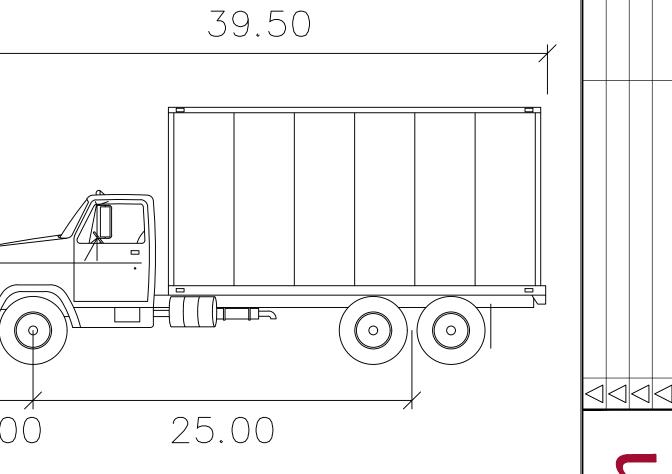




SHEET NUMBER C301

SITE



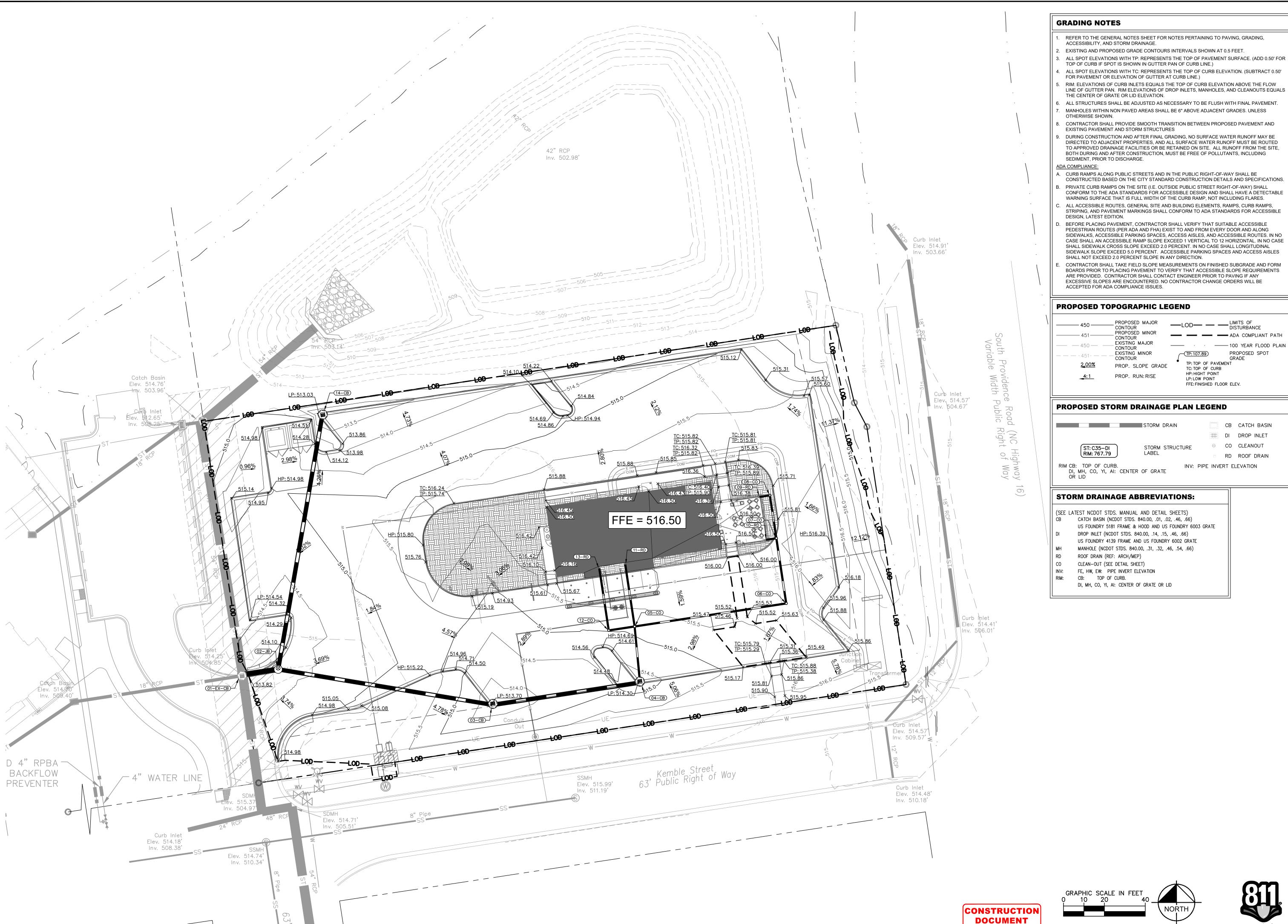


feet

: 8.00 : 8.00 Lock to Lock Time : 6.0 Steering Angle : 31.8

SITE





- REFER TO THE GENERAL NOTES SHEET FOR NOTES PERTAINING TO PAVING, GRADING, ACCESSIBILITY, AND STORM DRAINAGE.
- EXISTING AND PROPOSED GRADE CONTOURS INTERVALS SHOWN AT 0.5 FEET.
- . ALL SPOT ELEVATIONS WITH TP: REPRESENTS THE TOP OF PAVEMENT SURFACE. (ADD 0.50' FOR TOP OF CURB IF SPOT IS SHOWN IN GUTTER PAN OF CURB LINE.)
- ALL SPOT ELEVATIONS WITH TC: REPRESENTS THE TOP OF CURB ELEVATION. (SUBTRACT 0.50'
- FOR PAVEMENT OR ELEVATION OF GUTTER AT CURB LINE.) RIM: ELEVATIONS OF CURB INLETS EQUALS THE TOP OF CURB ELEVATION ABOVE THE FLOW
- ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
- MANHOLES WITHIN NON PAVED AREAS SHALL BE 6" ABOVE ADJACENT GRADES. UNLESS
- . CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES
- DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.

- A. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.

PROPOSED TOPOGRAPHIC LEGEND

1	450	CONTOOR	—LOD— — —	LIMITS OF DISTURBANCE
	451	PROPOSED MINOR CONTOUR		ADA COMPLIANT P
	——————————————————————————————————————	CONTOON	· ·	-100 YEAR FLOOD
	— — — - 451- — — —	EXISTING MINOR CONTOUR	TP: 107.89	PROPOSED SPOT GRADE
	<u>2.00%</u>	PROP. SLOPE GRADE	TP: TOP OF PAVEMENTC: TOP OF CURB	NT
		5555 BUN 5165	HP: HIGHT POINT	

LP: LOW POINT

FFE: FINISHED FLOOR ELEV.

PROPOSED STORM DRAINAGE PLAN LEGEND

	STORM DRAIN		CB	CATCH BASI
			DI	DROP INLET
ST: C35-DI	STORM STRUCTURE	©	СО	CLEANOUT
RIM: 767.79	LABEL		RD	ROOF DRAIN
RIM CB: TOP OF CURB. DI, MH, CO, YI, AI: CENTER OR LID		PIPE INVE	RT EI	LEVATION

STORM DRAINAGE ABBREVIATIONS:

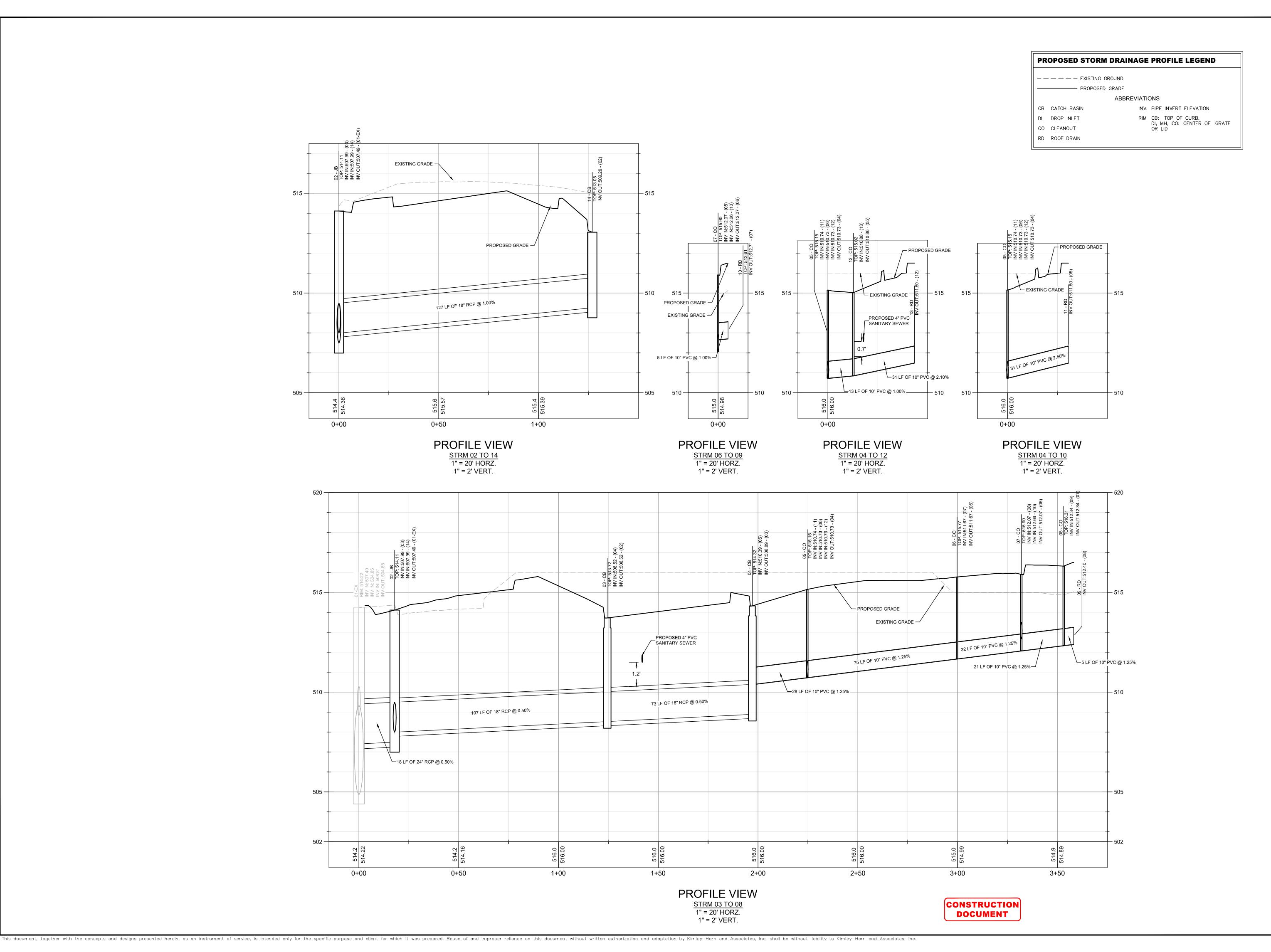
SEE LATEST NCDOT STDS. MANUAL AND DETAIL SHEETS) CATCH BASIN (NCDOT STDS. 840.00, .01, .02, .46, .66) US FOUNDRY 5181 FRAME & HOOD AND US FOUNDRY 6003 GRATE DROP INLET (NCDOT STDS. 840.00, .14, .15, .46, .66) US FOUNDRY 4139 FRAME AND US FOUNDRY 6002 GRATE MANHOLE (NCDOT STDS. 840.00, .31, .32, .46, .54, .66) ROOF DRAIN (REF: ARCH/MEP) CLEAN-OUT (SEE DETAIL SHEET) INV: FE, HW, EW: PIPE INVERT ELEVATION

SHEET NUMBER C401



Know what's below.

Call before you dig.



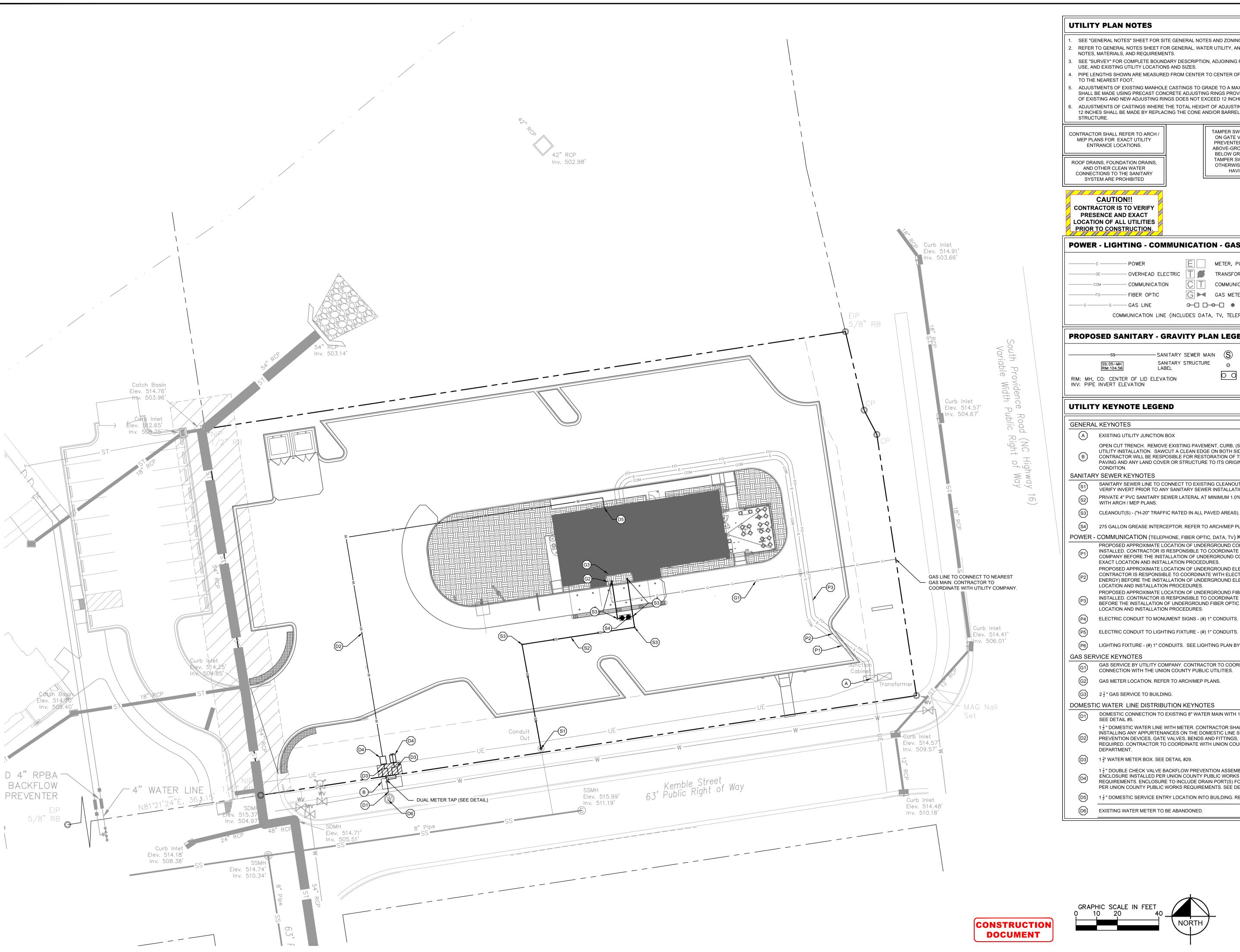
S

STORM PROFILE

FOR APITOL

WENDY'S

PRE SHEET NUMBER C405



- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL NOTES AND ZONING NOTES. . REFER TO GENERAL NOTES SHEET FOR GENERAL, WATER UTILITY, AND SANITARY SEWER,
- 3. SEE "SURVEY" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND
- USE, AND EXISTING UTILITY LOCATIONS AND SIZES. I. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES ROUNDED
- ADJUSTMENTS OF EXISTING MANHOLE CASTINGS TO GRADE TO A MAXIMUM OF 12 INCHES
- SHALL BE MADE USING PRECAST CONCRETE ADJUSTING RINGS PROVIDED THE TOTAL HEIGHT OF EXISTING AND NEW ADJUSTING RINGS DOES NOT EXCEED 12 INCHES.
- ADJUSTMENTS OF CASTINGS WHERE THE TOTAL HEIGHT OF ADJUSTING RINGS WOULD EXCEED 12 INCHES SHALL BE MADE BY REPLACING THE CONE AND/OR BARREL SECTION OF THE

MEP PLANS FOR EXACT UTILITY

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER

PREVENTER ASSEMBLIES LOCATED ABOVE-GROUND. VALVES INSTALLED BELOW GROUND DO NOT REQUIRE TAMPER SWITCHES UNLESS NOTED OTHERWISE BY LOCAL AUTHORITY HAVING JURISDICTION.

TAMPER SWITCH CONDUIT REQUIRED

ON GATE VALVES, AND BACKFLOW

1|4|4|4|4|4

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT **LOCATION OF ALL UTILITIES**

POWER - LIGHTING - COMMUNICATION - GAS LEGEND

- 1				
	Е	POWER	E	METER, PULL BOX
	OE	OVERHEAD ELECTRIC		TRANSFORMER, POWER POLE
	сом	- COMMUNICATION	CT	COMMUNICATION, TELEPHONE BO
	F0	FIBER OPTIC	G ►	GAS METER / VALVE
	G G	-GAS LINE	⊕—□ —	Ə—□ ♦ SITE LIGHTING
	COMM	IUNICATION LINE (INCLI	JDES DATA,	TV, TELEPHONE)

PROPOSED SANITARY - GRAVITY PLAN LEGEND

ss	SANITARY SEWER MAIN	S	МН	MANHOLE
SS: 05-MH RIM: 104.56	SANITARY STRUCTURE LABEL	⊚	СО	CLEANOU ⁻
RIM: MH, CO: CENTER OF LID EL	EVATION	0 0	GT	GREASE 1

(A) EXISTING UTILITY JUNCTION BOX

OPEN CUT TRENCH. REMOVE EXISTING PAVEMENT, CURB, (SIDEWALK) TO FACILITATE UTILITY INSTALLATION. SAWCUT A CLEAN EDGE ON BOTH SIDES OF TRENCH. THE

CONTRACTOR WILL BE RESPOSIBLE FOR RESTORATION OF THE EXISTING STREET PAVING AND ANY LAND COVER OR STRUCTURE TO ITS ORIGINAL OR BETTER

SANITARY SEWER LINE TO CONNECT TO EXISTING CLEANOUT. CONTRACTOR TO

- VERIFY INVERT PRIOR TO ANY SANITARY SEWER INSTALLATION. PRIVATE 4" PVC SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE. COORDINATE
- WITH ARCH / MEP PLANS.
- CLEANOUT(S) ("H-20" TRAFFIC RATED IN ALL PAVED AREAS).
- (S4) 275 GALLON GREASE INTERCEPTOR. REFER TO ARCH/MEP PLANS FOR DETAIL.

POWER - COMMUNICATION (TELEPHONE, FIBER OPTIC, DATA, TV) KEYNOTES

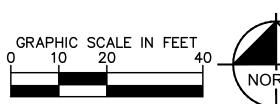
- PROPOSED APPROXIMATE LOCATION OF UNDERGROUND COMMUNICATIONS TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH TELEPHONE COMPANY BEFORE THE INSTALLATION OF UNDERGROUND COMMUNICATIONS ON EXACT LOCATION AND INSTALLATION PROCEDURES.
 - PROPOSED APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ELECTRIC COMPANY (DUKE ENERGY) BEFORE THE INSTALLATION OF UNDERGROUND ELECTRIC LINES ON EXACT LOCATION AND INSTALLATION PROCEDURES.
 - PROPOSED APPROXIMATE LOCATION OF UNDERGROUND FIBER OPTIC CABLE TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH CABLE COMPANY BEFORE THE INSTALLATION OF UNDERGROUND FIBER OPTIC CABLE ON EXACT
 - LOCATION AND INSTALLATION PROCEDURES. ELECTRIC CONDUIT TO MONUMENT SIGNS - (#) 1" CONDUITS.

 - LIGHTING FIXTURE (#) 1" CONDUITS. SEE LIGHTING PLAN BY OTHERS.

- GAS SERVICE BY UTILITY COMPANY. CONTRACTOR TO COORDINATE UTILITY CONNECTION WITH THE UNION COUNTY PUBLIC UTILITIES.
- GAS METER LOCATION. REFER TO ARCH/MEP PLANS.
- (G3) 2½" GAS SERVICE TO BUILDING.

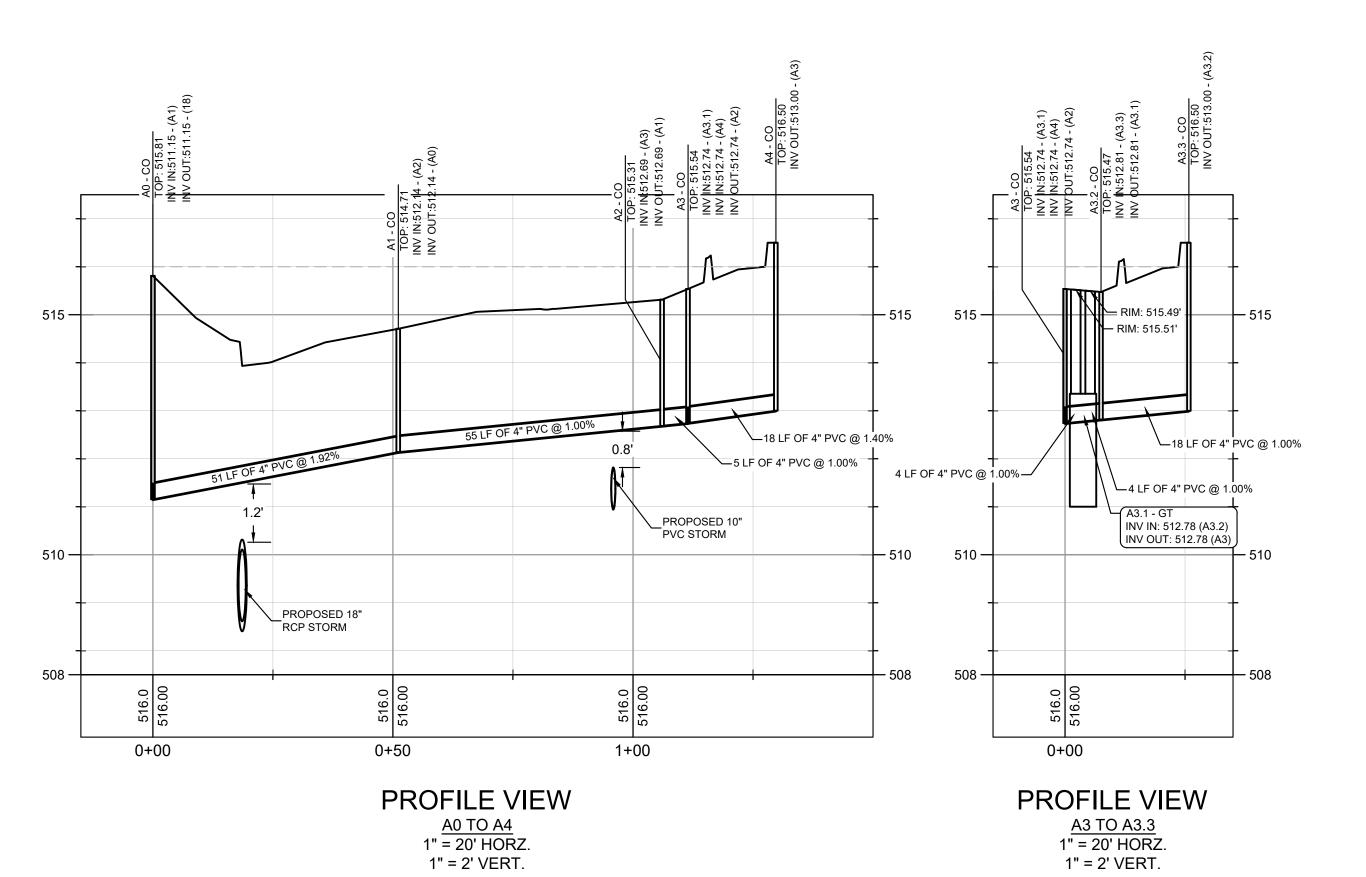
DOMESTIC WATER LINE DISTRIBUTION KEYNOTES

- DOMESTIC CONNECTION TO EXISTING 8" WATER MAIN WITH $1\frac{1}{2}$ " CORPORATION STOP. $1\frac{1}{2}$ " DOMESTIC WATER LINE WITH METER. CONTRACTOR SHALL BE RESPONSIBLE FOR
- INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH UNION COUNTY PUBLIC WORKS
- $1\frac{1}{2}$ " WATER METER BOX. SEE DETAIL #29.
- $1\,\frac{1}{2}$ " DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY WITHIN INSULATED ENCLOSURE INSTALLED PER UNION COUNTY PUBLIC WORKS DEPARTMENT REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER UNION COUNTY PUBLIC WORKS REQUIREMENTS. SEE DETAIL SHEET.
- $1\frac{1}{2}$ " DOMESTIC SERVICE ENTRY LOCATION INTO BUILDING. REFER ARCH/MEP PLANS.
- EXISTING WATER METER TO BE ABANDONED.





PROPOSED SANITARY PROFILE LEGEND ---- EXISTING GROUND MH: MANHOLE CO: CLEANOUT - PROPOSED GRADE GT: GREASE TRAP RIM: MH, CO: CENTER OF LID ELEVATION INV: PIPE INVERT ELEVATION

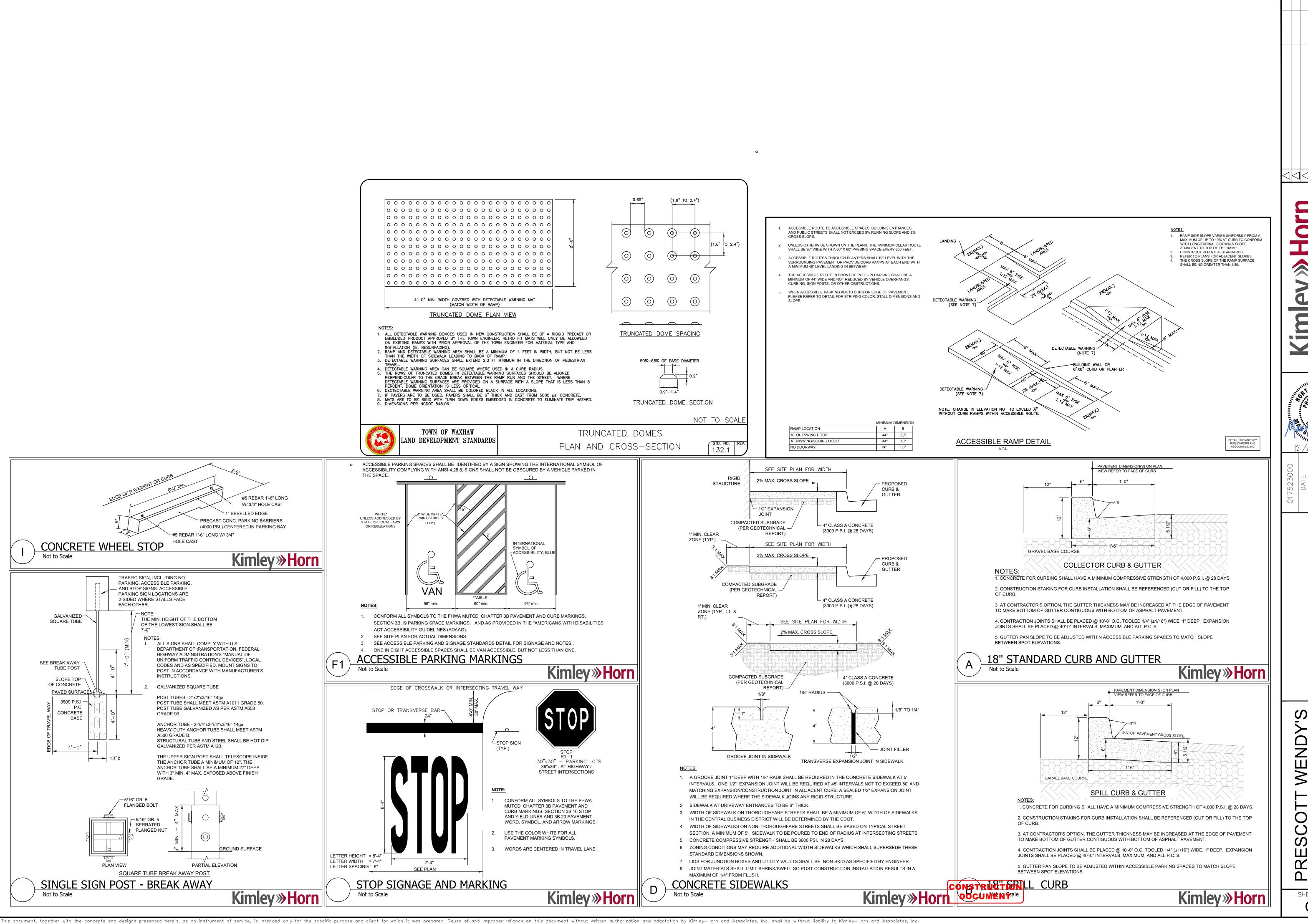


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CONSTRUCTION **DOCUMENT**

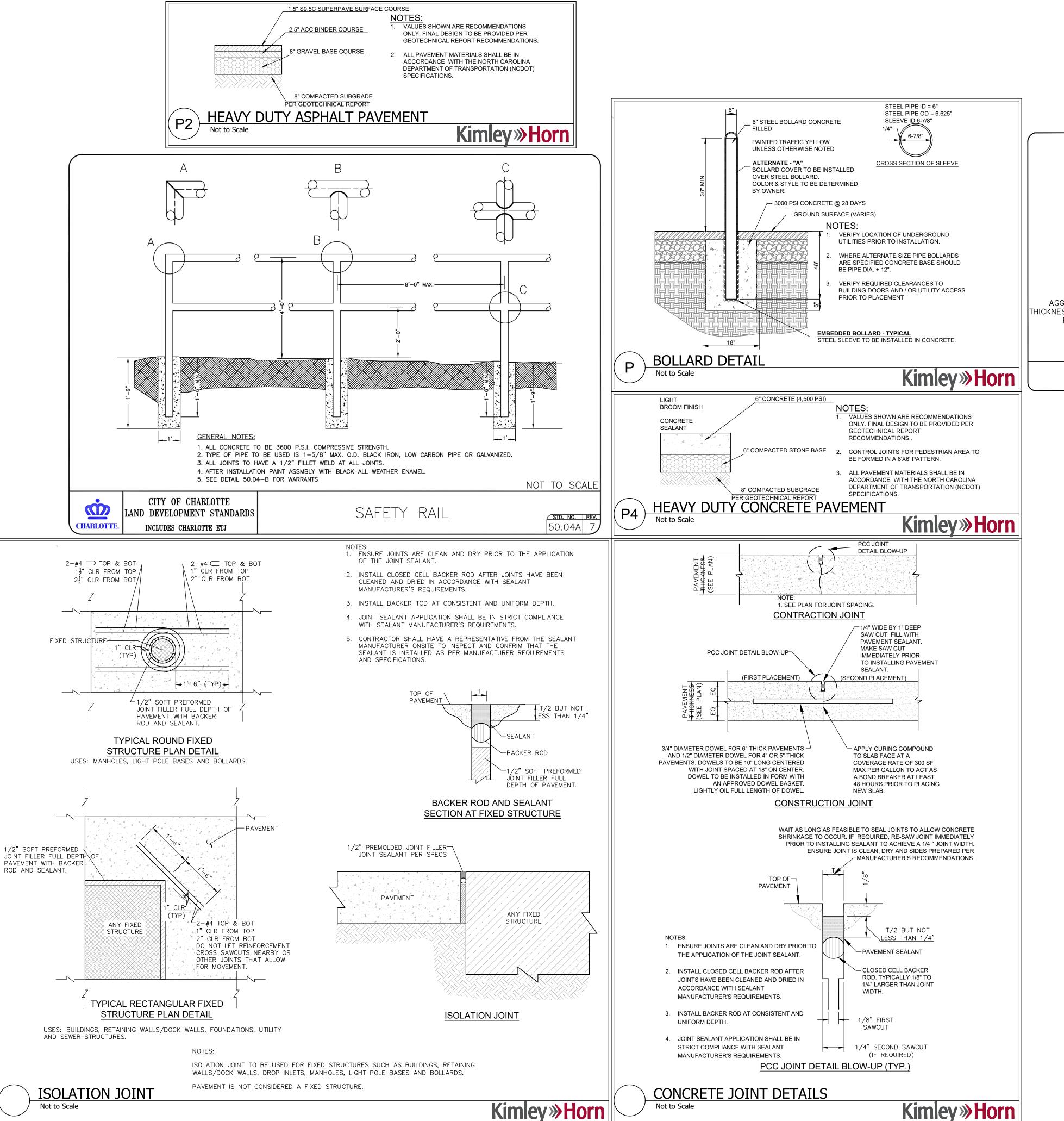
SSWR PROF

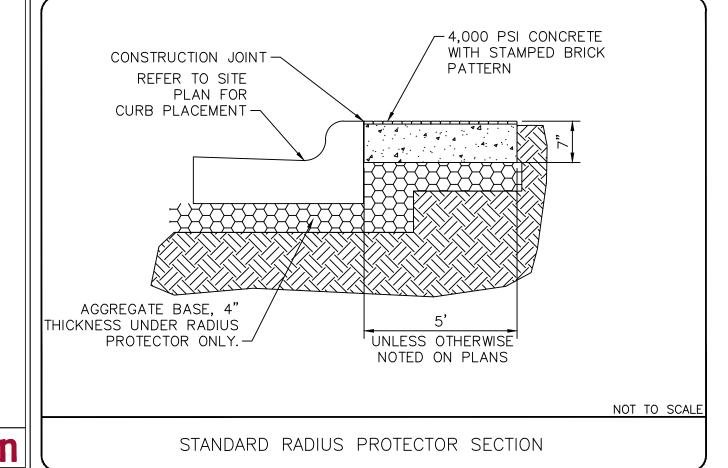
PRE SHEET NUMBER C505



4|4|4|4|4|

S





CONSTRUCTION

DOCUMENT

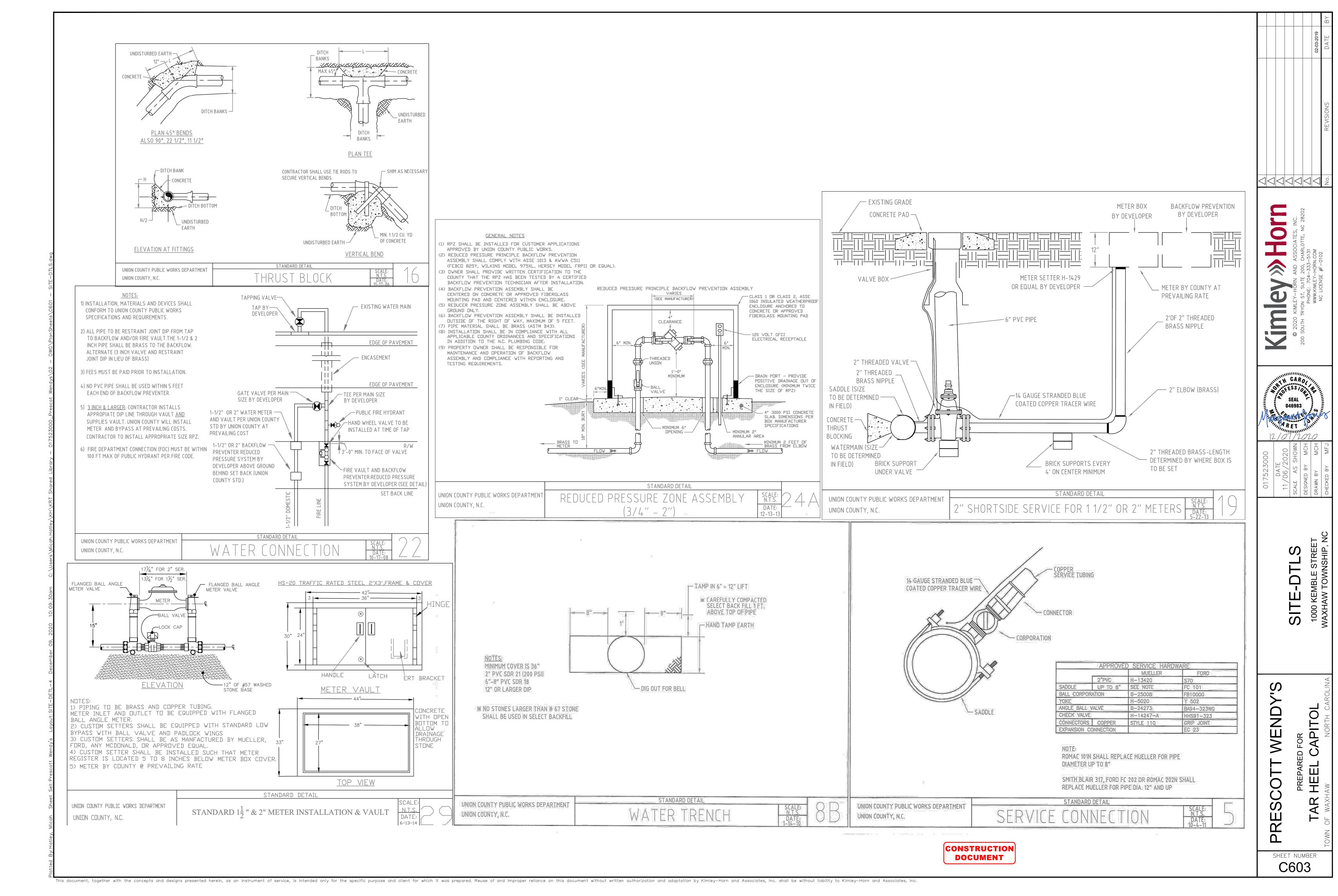
TLS STREET NOW SHIP. NO

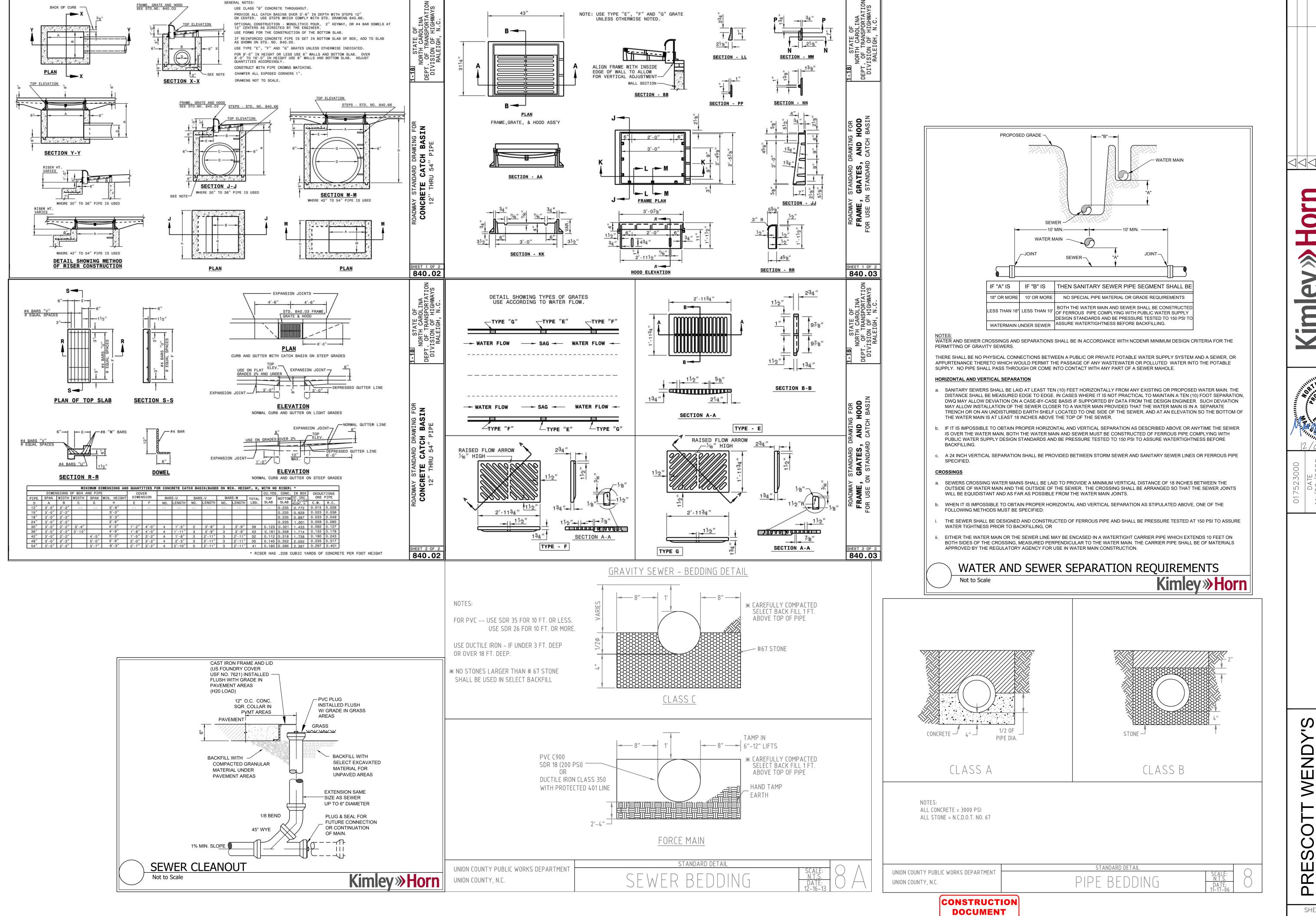
SITE-DTL

SCOTT WENDY'S

PREPARED FOR

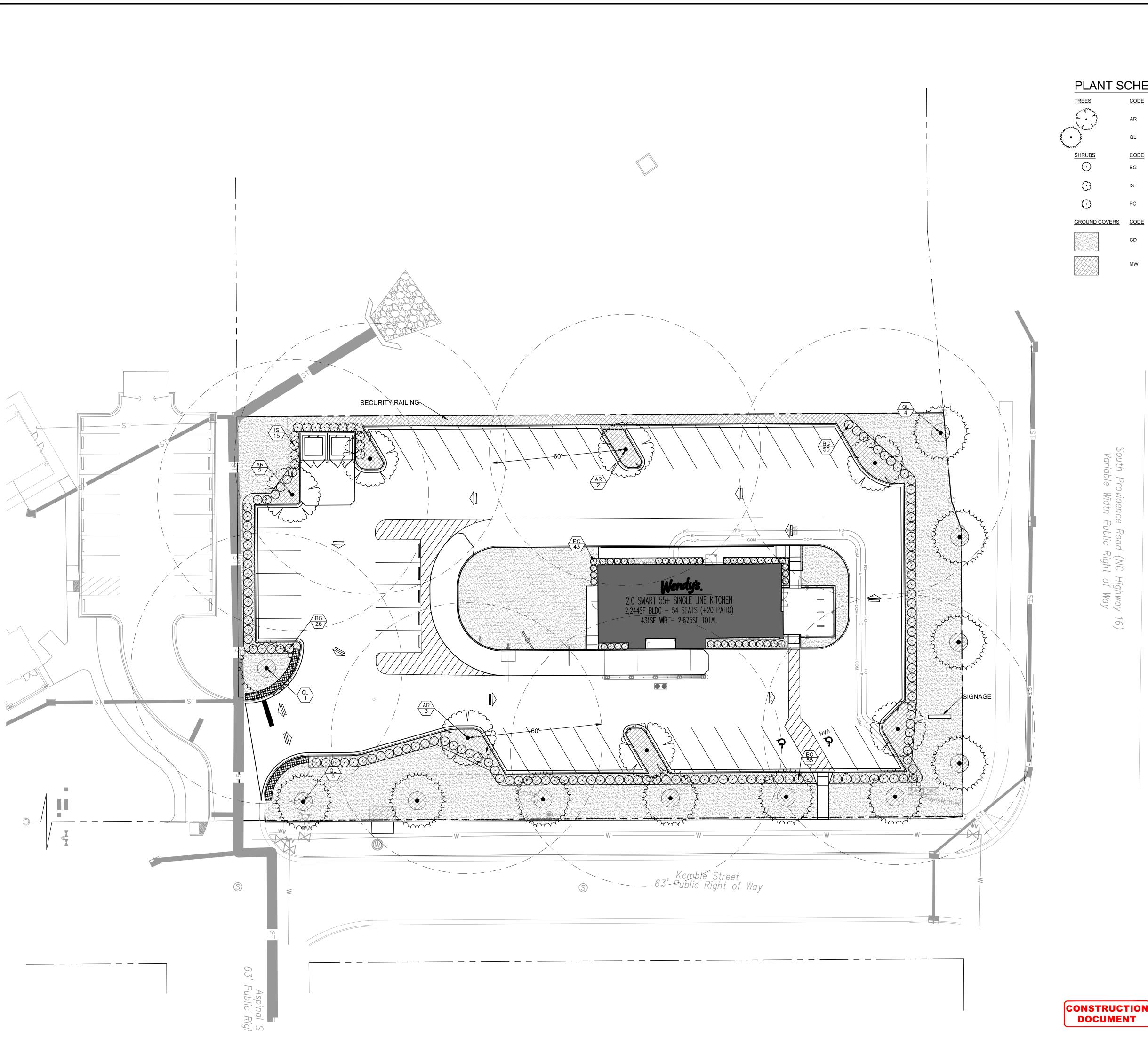
R HEEL CAPITOL



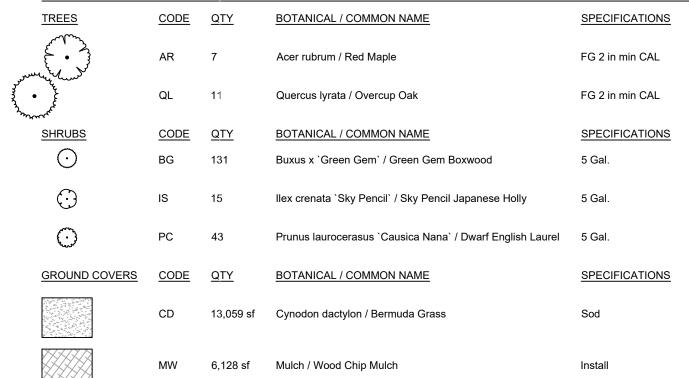


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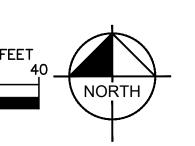
-DTI SITE







STREET TREE REQUIR	EMENTS (per city code section 9	-13)
South Providence Road 180 linear feet	Required	Provided
Trees	1 per 40 - 60 ft. = 4 trees	4 trees
kemble Street 307 linear feet	Required	Provided
Trees	1 per 40 - 60 ft. =6 trees	6 trees
PARKING REQUIREM	ENTS (per city code section 9-12)
Parking	Required	Provided
Trees	No parking space may be more than 60' from a tree	9 trees
SCREENING (percit	y code section 9-69,9-9,9-10)	
Screening	Required	Provided
Shrubs	Parking areas shall be screened from adjacent roads with shrubs	parking screening
Shrubs	A continuous landscape strip shall be provided adjacent to public streets	continuous landscape stri along South Providence Road
Shrubs	Dumpsters or trash handling areas are to be screened from abutting properties or	15 shrubs





Know what's below.
Call before you dig.

1 TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT.

(2) 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.

3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.

4 4" HIGH BERM, FIRMLY COMPACTED.

5 ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

(6) FINISHED GRADE. (SEE GRADING PLAN)

(7) TOP OF ROOTBALL MIN. 1" ABOVE FINISHED

8 PREPARED PLANTING SOIL AS SPECIFIED.

9 TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.

(10) UNDISTURBED NATIVE SOIL.

(11) SCARIFY BOTTOM AND SIDES OF PLANTING

NOTES

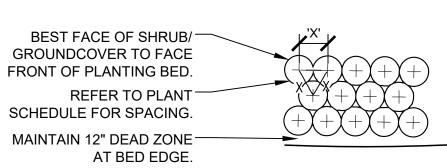
A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

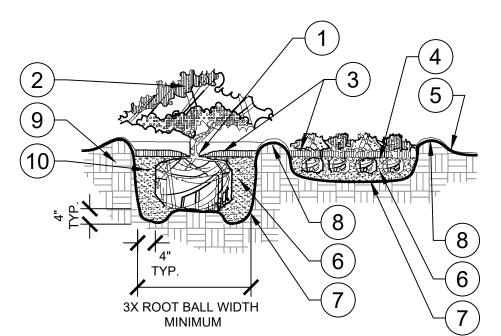
C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

TREE PLANTING
SECTION / PLAN

DETAIL-FILE



<u>PLAN</u>



SECTION

1) TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.

2 PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.

(3) 3" MULCH LAYER AS SPECIFIED.

4 EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.

5 FINISHED GRADE (SEE GRADING PLAN).

6 PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.

(7) SCARIFY OF PLANTING PIT SIDES AND BOTTOM.

(8) 4" HIGH BERM FIRMLY COMPACTED.

(9) UNDISTURBED NATIVE SOIL.

10) FERTILIZER TABLETS (MAX 3"

NOTES:

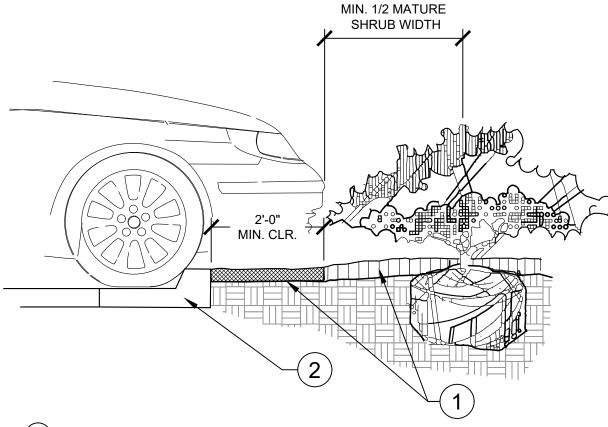
A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

- B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
- C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

SHRUB/GROUNDCOVER PLANTING

SECTION / PLAN

DETAIL-FILE



1 INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.

2 CURB / PARKING LOT EDGE.

PARKING SPACE/CURB PLANTING
SECTION

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DETAIL-FILE

PLANT SCHEDULE NOTES:

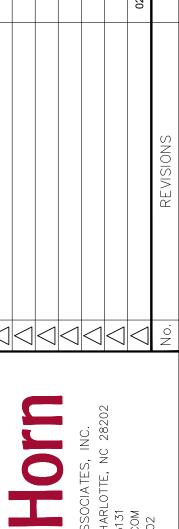
- ALL PLANT MATERIAL SHALL COMPLY WITH THE SIZING AND GRADING STANDARDS AS SET FORTH IN THE MOST CURRENT EDITION IF ANSI Z60.180 - AMERICAN STANDARD FOR NURSERY STOCK.
- 2. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN AUTHORIZATION OF THE PROJECT LANDSCAPE ARCHITECT.
- 3. VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLAN SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 4. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY THEIR WORK.
- 5. ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY PROJECT LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 6. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF TRIPPLE SHREDDED HARDWOOD MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF
- ALL PROPOSED TREES WITHIN SIGHT TRIANGLES TO BE LIMBED UP TO CLEAR SIGHT OBSTRUCTION.
- 8. ALL PLANTING PER CITY OF CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS (CMLDS) AND LANDSCAPE CONSTRUCTION STANDARDS.

GENERAL NOTES:

- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE AS HATCHED ON THE LANDSCAPE PLAN.
- 2. SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ON-SITE PRIOR TO PLANTING TO CONFIRM PROPER SOIL AMENDMENTS.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- 4. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO SODDING ACTIVITY.
- 5. ALL TREE SAVE AREAS LESS THAN 30' WIDE MUST BE STAKED PRIOR TO SITE PLAN SUBMITTAL.

CONSTRUCTION DOCUMENT





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DATE
11/06/2020
SCALE AS SHOWN
DESIGNED BY MCH
DRAWN BY MCH

1000 KEMBLE STREET

SAPITOL

TAR HE